

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | | | | |
|------------|---------|-------------|-------------|------|-------------|
| Permit No: | 03-0548 | Issue Date: | MAY 21 2003 | CBL: | 343 D009001 |
|------------|---------|-------------|-------------|------|-------------|

| | | | | | | | | |
|---------------------------|---------------|------------------|-----------------------------|---------------------|-----------------------|--------|------------|----|
| Location of Construction: | 219 Allen Ave | Owner Name: | Scovill John E & Gail H Jrs | Owner Address: | 3 Brook St Ext | Phone: | 532-6343 | |
| Business Name: | | Contractor Name: | Michael Mallory | Contractor Address: | PORTLAND | Phone: | 2078296249 | |
| Lessee/Buyer's Name | | Phone: | | Permit Type: | Additions - Dwellings | | Zone: | RS |

| | | | | | | | | | |
|-------------------------------|--|---------------|------------|-------------|-----------------------------------|---------------------------------|-------------|---|---|
| Past Use: | Two Family | Proposed Use: | Two Family | Permit Fee: | \$44.00 | Cost of Work: | \$2,500.00 | CEO District: | 2 |
| Proposed Project Description: | Repair existing deck floor & railings. remove existing stairs and build new stairs off 4x20 deck | | | PIRE DEPT: | <input type="checkbox"/> Approved | <input type="checkbox"/> Denied | INSPECTION: | Use Group: <i>SPB</i> Signature: <i>R3 CARA 1999</i> Date: <i>5/21/03</i> | |

| | | | | | | | | |
|------------------|-----|-------------------|------------|------------------------|---|--|-------|--|
| Permit Taken By: | jmb | Date Applied For: | 05/21/2003 | Signature: | PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied | | Date: | |
| | | | | Zoning Approval | | | | |

| | | |
|---|---|---|
| Special Zone or Reviews | Zoning Appeal | Historic Preservation |
| <input type="checkbox"/> Shoreland <input checked="" type="checkbox"/> Wetland <i>approved</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>JMB 5/21/03</i> | <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: | <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>JMB</i> |

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

| | | | |
|---|---------|------|-------|
| SIGNATURE OF APPLICANT | ADDRESS | DATE | PHONE |
| | | | |
| RESPONSIBLE PERSON IN CHARGE OF WORK. TITLE | | DATE | PHONE |
| | | | |

City of Portland, Maine - Building or Use Permit

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| Permit No: | 03-0548 | Date Applied For: | 05/21/2003 | CBL: | 343 D009001 |
| Location of Construction: | 219 Allen Ave | Owner Name: | Scovill John E & Gail H Jrs | Owner Address: | 3 Brook St Ext |
| Business Name: | | Contractor Name: | Michael Mallory | Contractor Address: | Portland |
| Lessee/Buyer's Name: | | Phone: | | Permit Type: | Additions - Dwellings |

Proposed Use: Two Family
 Proposed Project Description: Repair existing deck floor & railings, remove existing stairs and build new stairs off 4x20 deck

Dept: Zoning Status: Approved Reviewer: Jeanine Bourke Approval Date: 05/21/2003
 Note: Exterior stairs are allowed if under 3 units per the R5 zone requirements Ok to Issue:

2) This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.
 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building Status: Approved with Conditions Reviewer: Jeanine Bourke Approval Date: 05/21/2003
 Note: Vertical rise between landings or platforms can be no more than 12' Ok to Issue:

*9/10/03 - Stair heads/risers OK - Return
 OK no other problems seen OK to Clear*

*CBL # 343-D-9
 Permit # 03-0548*



All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

| | | | |
|--|--|---|--|
| Location/Address of Construction: <u>219 Allen Ave</u> | | Square Footage of Lot <u>31,311.76</u> | |
| Total Square Footage of Proposed Structure <u>80</u> | | | |
| Tax Assessor's Chart, Block & Lot Chart# <u>343</u> Block# <u>D</u> Lot# <u>9</u> | Owner: <u>John Seavilk</u> <u>17 Brook Street</u> <u>Houlton, ME 04730</u> | Telephone: <u>532-6343</u> | |
| Lessee/Buyer's Name (if Applicable) | Applicant name, address & telephone: <u>Karyn Seavilk</u> <u>219 Allen Ave</u> <u>Portland, ME</u> <u>780-3482</u> <u>Ext 336</u> | Cost Of Work: \$ <u>2500.00</u> Fee: \$ <u>44.00</u> | |
| Current use: <u>Residence</u> | | | |
| If the location is currently vacant, what was prior use: _____ | | | |
| Approximately how long has it been vacant: _____ | | | |
| Proposed use: <u>Decks 12' x 10'</u> | | | |
| Project description: <u>Bringing 2 existing decks up to code. New railings, new floors, new stairs and adding piece onto 2nd floor deck.</u> | | | |
| Contractor's name, address & telephone: <u>Michael Mallory, N. Vermont, ME 829-6249</u> | | | |
| Who should we contact when the permit is ready: <u>Karyn Seavilk</u> | | | |
| Mailing address: <u>219 Allen Ave, Portland, ME</u> | | | |
| We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>780-3482 Ext 336</u> or <u>797-0688</u> | | | |

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Officials authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

| | |
|--|----------------------|
| Signature of applicant: <u>Karyn Seavilk</u> | Date: <u>5-12-23</u> |
|--|----------------------|

This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

219 Allen Ave

Framing 2x8 @ 12" w 2' over top of air beam (10' span)

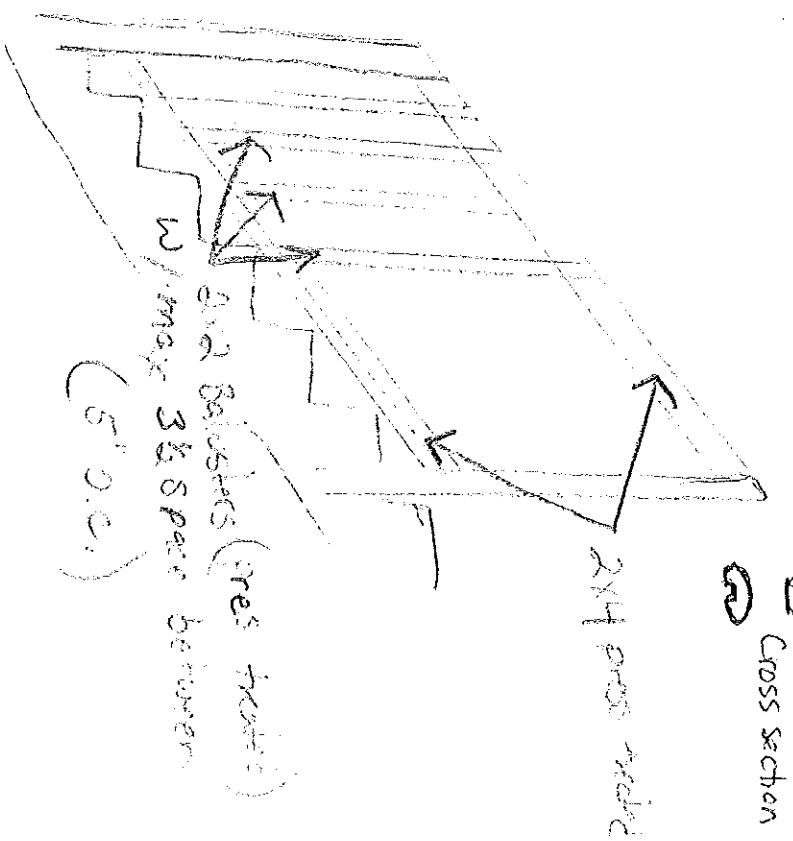
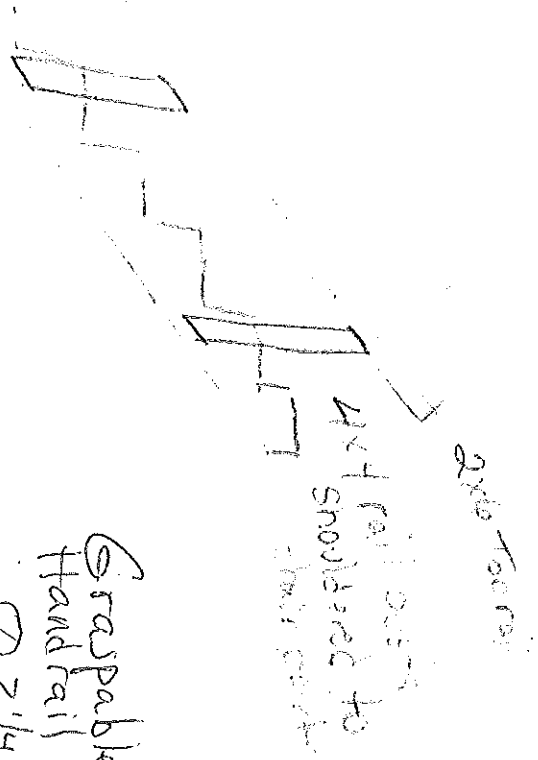
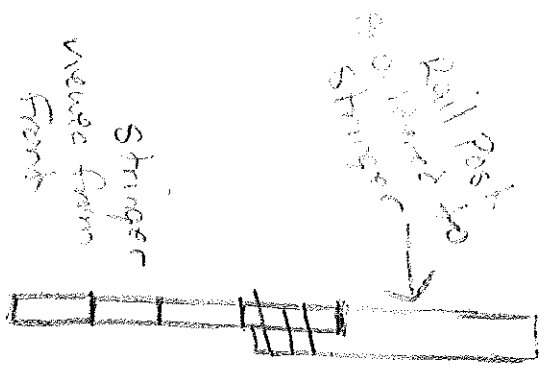
Beams 2) 4x6 @ 4' on 0' 10' + 20'

Decking 1) 4x6 @ 7' pressure treated just like existing concrete deck

Decking 5/4x6 fastened w/ 3/4 galv. nails

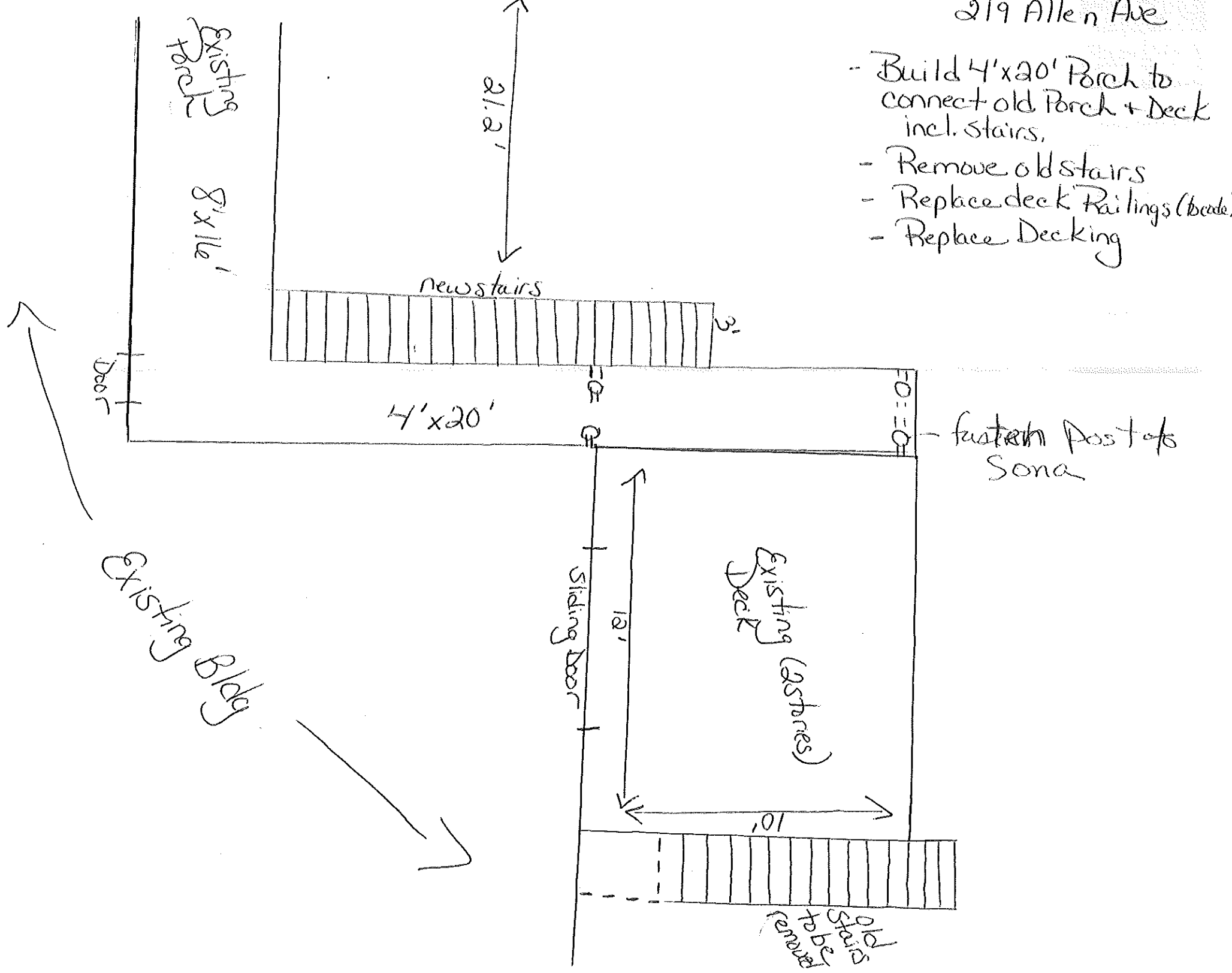
Railings @ min 36"

Rise & Run of stairs max ^{7 3/4"} rise as per ~~BOCA 1999~~ BOCA 1999 with Run of 10" NET



219 Allen Ave

- Build 4'x20' Porch to connect old Porch + Deck incl. stairs.
- Remove old stairs
- Replace deck Railings (beade)
- Replace Decking



Existing Porch

8'x16'

21.2'

new stairs

3'

4'x20'

Door

fasten Post of Sona

Existing Bldg

Existing Deck (asphres)

Sliding Door

12'

10'

Old Stairs to be removed

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or ~~874-8693~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initialzing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

PS Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection: Prior to pouring concrete

NA Re-Bar Schedule Inspection: Prior to pouring concrete

NA Foundation Inspection: Prior to placing ANY backfill

NA Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final Certificate of Occupancy: Prior to any occupancy of the structure or use. ~~NOTE: There is a \$75.00 fee per inspection at this point.~~

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

NA If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of applicant/designee

Date

Signature of Inspections Official

Date

CBL: 343-D-9

Building Permit #:

03-0518

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read Application And Notes, if Any, Attached

PERMIT ISSUED

Permit Number: 030548
MAY 21 2003

This is to certify that Scovill John E & Gail H Jrs/
has permission to Repair existing deck floor &
AT 2119 Allen Ave

Michael M...
ins, re...
e exis... stairs an...
uild new stairs **PORTLAND**
343 D009001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Inspector must inspect in process of building and work done thereon. If work is not in accordance with the approved plans, the inspector shall stop the work and require the contractor to correct the same. If the work is not in accordance with the approved plans, the inspector shall stop the work and require the contractor to correct the same. If the work is not in accordance with the approved plans, the inspector shall stop the work and require the contractor to correct the same. If the work is not in accordance with the approved plans, the inspector shall stop the work and require the contractor to correct the same.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

PENALTY FOR REMOVING THIS CARD

Carrie Bowke 5/21/03
Director - Building & Inspection Services

*ZFM
Karen*

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

| | |
|---------------|--|
| Card Number | 1 of 1 |
| Parcel ID | 343 D009001 |
| Location | 219 ALLEN AVE |
| Land Use | TWO FAMILY |
| Owner Address | SCOVILL JOHN E & GAIL H JTS 3 BROOK ST EXT HOLTON ME 04730 |

| | |
|-----------|--|
| Book/Page | 11171/298 |
| Legal | 343-D-9 ALLEN AVE 217-219 31311 SF |

Valuation Information

| | | |
|----------|-----------|-----------|
| Land | Building | Total |
| \$45,940 | \$137,440 | \$184,380 |

Property Information

| | | | | |
|------------|------------|--------------|-------------|-------------|
| Year Built | Style | Story Height | Sq. Ft. | Total Acres |
| 1987 | Duplex | 2 | 2743 | 0.719 |
| Bedrooms | Full Baths | Half Baths | Total Rooms | Attic |
| 5 | 3 | | 9 | None |
| | | | | Basement |
| | | | | Full |

Outbuildings

| Type | Quantity | Year Built | Size | Grade | Condition |
|------|----------|------------|------|-------|-----------|
|------|----------|------------|------|-------|-----------|

| | | | | | |
|--------------------------|---------------|-----------|-----------|--|--|
| Sales Information | | | | | |
| Date | Type | Price | Book/Page | | |
| 12/09/1993 | LAND + BLDING | \$115,000 | 11171-298 | | |
| 06/03/1992 | LAND + BLDING | | 10208-094 | | |

Picture and Sketch

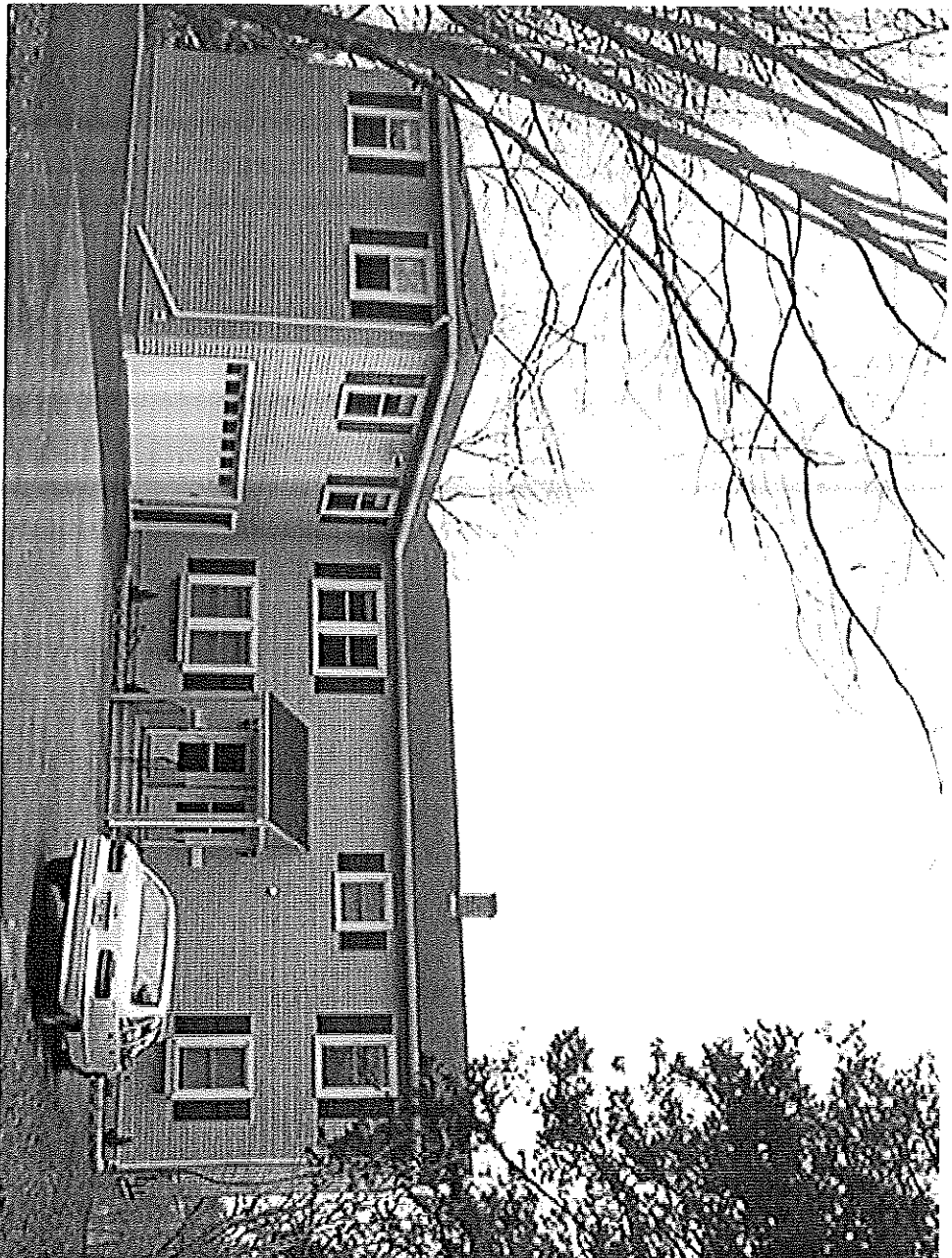
[Picture](#)

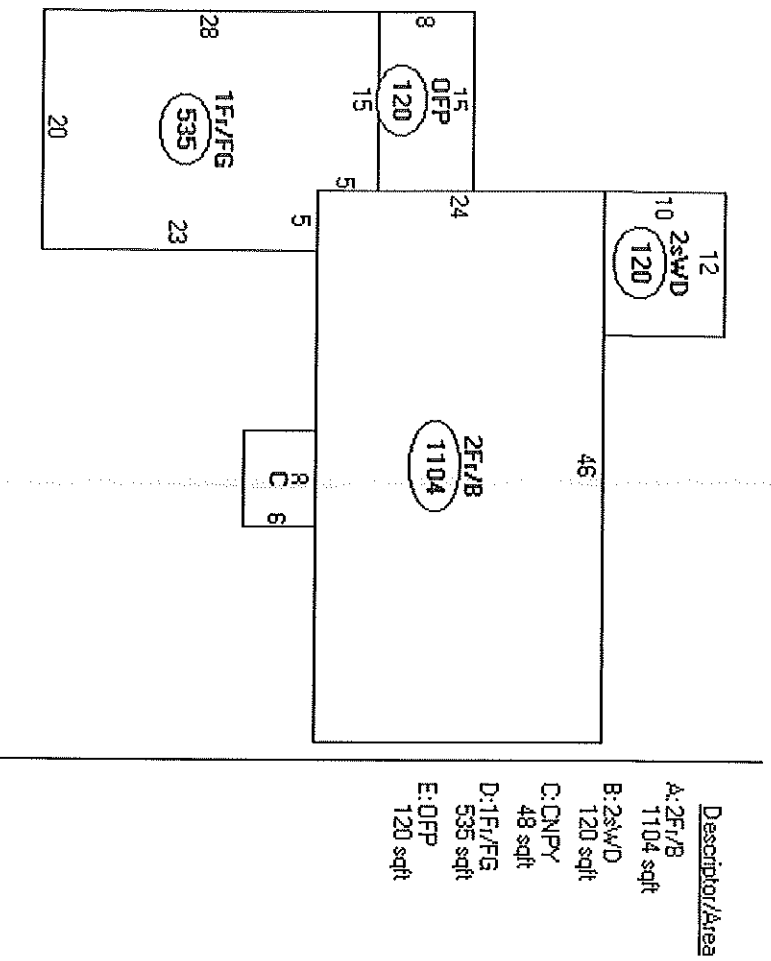
[Sketch](#)

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!





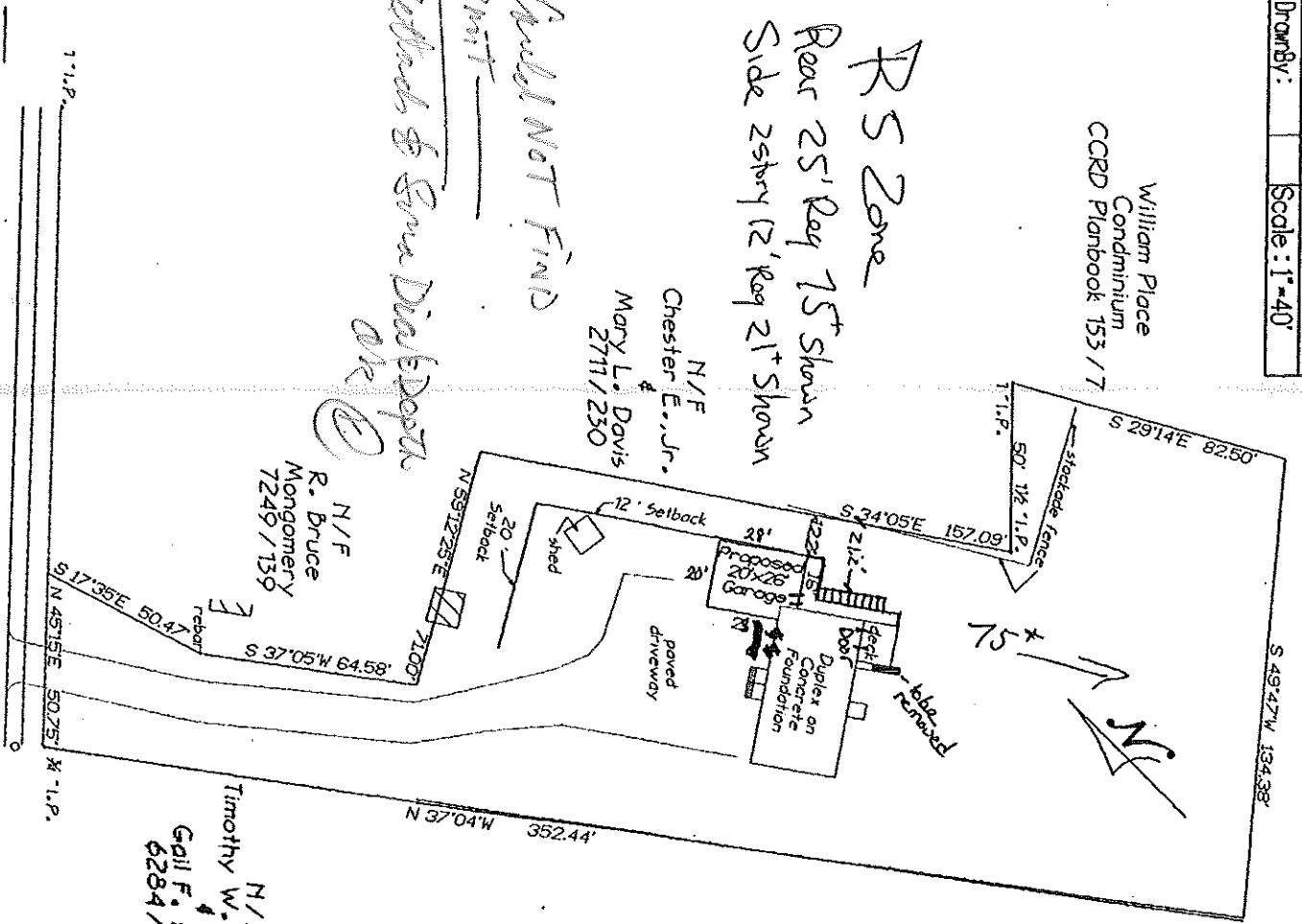
PLOT PLAN
 Proposed Garage Addition
 219 Allen Avenue
 Portland, Maine
 for
 Karyn Scovill
 BRUCE R. BOWMAN, Inc.
 Professional Land Surveyor
 Box 124, Cumberland Head, ME 04089
 Date: 10-20-00 169:000301
 Drawn by: Scale: 1"=40'

Northfield Green
 CCRD Planbook 114 / 80

William Place
 Condominium
 CCRD Planbook 153 / 7

*219 Allen Ave
 343-D-009*

*RS Zone
 Rear 25' Req 15' shown
 Side 25' req 12' req 21' shown*



N/F
 Chester E., Jr.
 Mary L. Davis
 2711 / 230

N/F
 R. Bruce
 Montgomery
 7249 / 139

N/F
 Timothy W. Hopkins
 Gail F. Reali
 6284 / 324

*6/9/03 build NOT FIND
 PERMIT
 25' setback & 5' min Dick Doster
 ok*

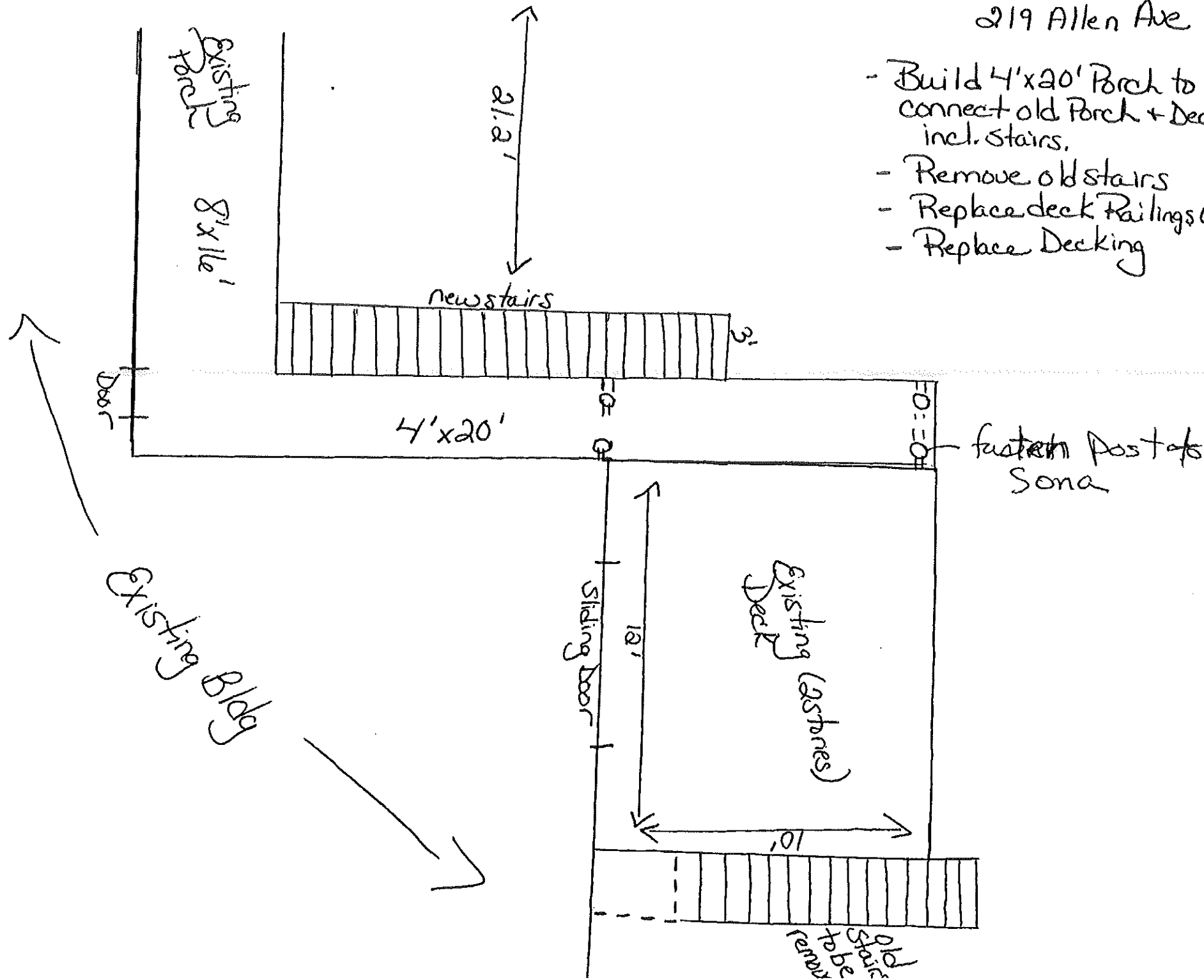
Allen Avenue

I CERTIFY THAT the monumentation
 conforms with the deed description.
 This is not a Boundary Survey.

Bruce R. Bowman, Inc.

219 Allen Ave

- Build 4'x20' Porch to connect old Porch + Deck incl. stairs.
- Remove old stairs
- Replace deck Railings (boards)
- Replace Decking



PLOT PLAN
 Proposed Garage Addition
 219 Allen Avenue
 Portland, Maine
 for
 Karyn Scovill
 BRUCE R. BOWMAN, Inc.
 Professional Land Surveyor
 Box 124 Cumberland Head 829-3559
 Date: 10-20-00 Job: 000301
 Drawn By: Scale: 1" = 40'

Northfield Green
 CCRD Planbook 114 / 80

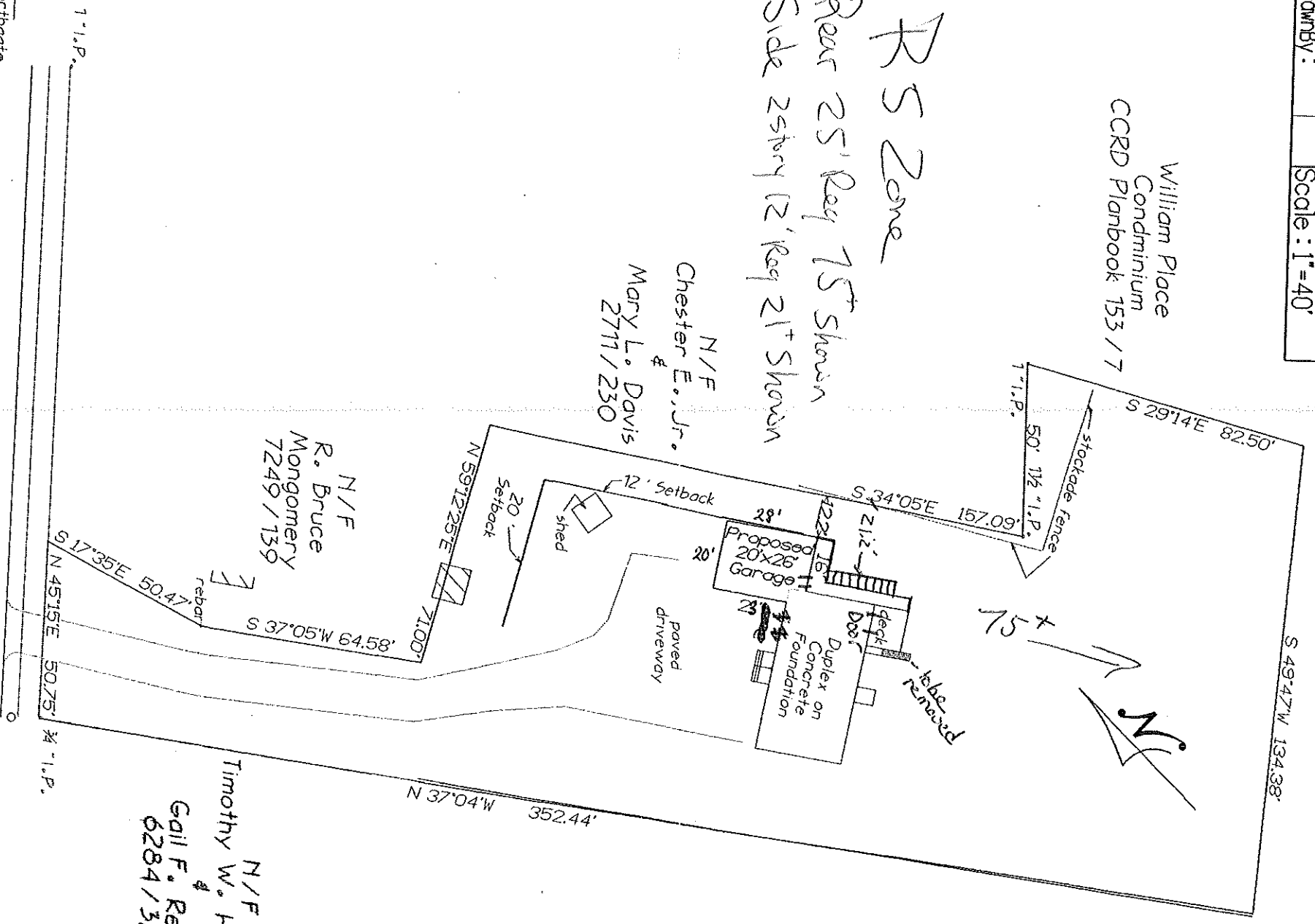
William Place
 Condominium
 CCRD Planbook 153 / 7

RS Zone
Rear 25' Req 75' shown
Side 25' Req 21' shown

N/F
 Chester E., Jr.
 &
 Mary L. Davis
 2711 / 230

N/F
 R. Bruce
 Montgomery
 7249 / 139

N/F
 Timothy W. Hopkins
 &
 Gail F. Reali
 6284 / 324



Allen Avenue

I CERTIFY THAT the monumentation
 conforms with the ~~dead~~ description.
 This is not a boundary survey.

[Signature]
 Bruce R. Bowman, Inc.

7/21/03 1st fl deck

- ① Needs Handrail
- ② spacing of Balusters at same speed of (upto) (30" High Balustrade)
- ③ Needs off 9 1/2 & 9 3/4

④ Lines off 8 1/2, 7 1/4, 7 1/4 (B-ST)
 No joint on top / top railing
 No joint on top / top railing

⑦ Guard rails at stairs only 33"-34"

- ① - B to 1st - Weld Baluster top Steps
- ② Balustrade 7 1/2, 6 7/8, 6 3/4, 6 3/4 ✓
- ③ Needs 9 1/2 - 9" ✓
- ④ Needs handrail ✓

- ① - Needs guard handrails
- ② - Balustrade only 26 to 29"
- ③ - one Balustrade Right Side 4 1/2"



B/S 10's Stairs to second floor deck okay - hand rail returns need to be done - rails are • guards on stairs 34" - spacing on balusters to stair upto 6" - needs to be less than 4"

stairs gradual to first: 11 3/8 - 10 1/2 10 1/2

Handrail 35 3/8 Okay - Handrail needs to be returned

• spacing on stairs needs to be less than 4" Trade

1st floor deck Balusters less than 4" 11 1/4 - 10 1/2 - 10 1/2
 less than 4" less than 4"

• Spacing on stairs maximum 4" 7"