

**PERMIT ISSUED**

**City of Portland, Maine - Building or Use Permit Application**  
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 0-1175  
Issue Date: OCT 5 2001  
CBI: 398 A035

Location of Construction: 694 Allen Ave  
Owner Name: L.E. Lydon Jr. Construction Inc.  
Owner Address: 3 Shaw Farm Road  
City of Portland  
Phone: 799-5495

Business Name: n/a  
Contractor Name: L.E. Lydon Jr. Construction, Inc.  
Contractor Address: 3 Shaw Farm Road Cape Elizabeth  
Phone: 2077995459

Lessee/Buyer's Name: n/a  
Phone: n/a  
Permit Type: Demolitions  
Zone:

Past Use: Single Family  
Proposed Use: Single Family / Demolition of existing barn, to allow for construction fo new single family home.  
Permit Fee: ~~\$108.00~~ \$54  
Cost of Work: \$5,000.00  
CEO District: 2  
INSPECTION Use Group: *RSU* Type: *SB*  
*Boea* *qq*

Proposed Project Description: Demolition of barn  
Signature: *W/A*  
Signature: *Boea qq*

Permit Taken By: *gg*  
Date Applied For: 09/20/2001  
Zoning Approval  
Signature: *W/A*  
Signature: *Boea qq*  
Action:  Approved  Approved w/conditions  Denied  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input checked="" type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> Date: 10/5/01 DC	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 10/5/01 DC

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

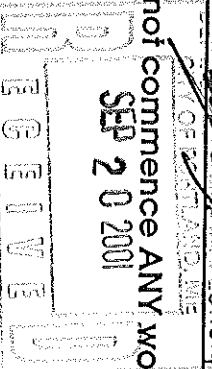
Location/Address of Construction: <u>694 Allen Ave</u>	
Total Square Footage of Proposed Structure <u>N/A</u>	Square Footage of Lot <u>30,371.</u>
Tax Assessor's Chart, Block & Lot Chart# <u>398 Block# R035001</u>	Owner: <u>J. E. Lydon Jr. Construction Inc.</u>
	Telephone: <u>799-5495</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	
Applicant name, address & telephone: <u>J. E. Lydon Jr. Const Inc. 3 Shaw Farm Rd. Cape Elizabeth, ME 04107</u>	
Current use: <u>Barn</u>	Cost Of Work: \$ <u>5,000.00</u>
If the location is currently vacant, what was prior use: <u>Barn</u>	Fee: \$ <u>5400</u>
Approximately how long has it been vacant: _____	
Proposed use: _____	
Project description: <u>Demolition of existing Barn, to allow for construction of new single family Home.</u>	
Contractor's name, address & telephone: <u>J. E. Lydon Jr. Const Inc. 3 Shaw Farm Rd. C.E. ME. 04107 799-5495</u>	
Who should we contact when the permit is ready: <u>Larry Lydon</u>	
Mailing address: <u>3 Shaw Farm Rd. C.E. ME. 04107</u>	
Phone: <u>799-5495</u>	

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 9-17-01

This is not a permit, you may not commence ANY work until the permit is issued



Carol 9/20/01

# PLUMBING APPLICATION

## PROPERTY ADDRESS

Town or Plantation: Bridland  
 Street: 694 Allen Ave  
 Subdivision Lot #: 1  
**PROPERTY OWNERS NAME**

Last: Lyden First: Marie  
 Applicant Name: Scott Peltis  
 Mailing Address of Owner/Applicant (If Different): Westbrook, Me 04092

### Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

Signature of Owner/Applicant

Date: 1/16/2

Local Plumbing Inspector Signature

Date Approved

2008 JAN 17 7:45 AM  
 Date Permit Issued: 1/17/02 \$ 2401.00  Fee Double Fee Changed  
 Local Plumbing Inspector Signature: \_\_\_\_\_ L.P.I. # 215913  
395 A 034

### Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

## PERMIT INFORMATION

This Application is for:

1.  NEW PLUMBING  
 2.  RELOCATED PLUMBING

Type of Structure To Be Served:

1.  SINGLE FAMILY DWELLING  
 2.  MODULAR OR MOBILE HOME  
 3.  MULTIPLE FAMILY DWELLING  
 4.  OTHER - SPECIFY \_\_\_\_\_

Plumbing To Be Installed By:

1.  MASTER PLUMBER  
 2.  OIL BURNERMAN  
 3.  MFG.D. HOUSING DEALER/MECHANIC  
 4.  PUBLIC UTILITY EMPLOYEE  
 5.  PROPERTY OWNER

LICENSE # 6718594

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Number	Column 2 Type of Fixture	Number	Column 1 Type of Fixture
<p><b>OR</b></p> <p>HOOK-UP: to an existing subsurface wastewater disposal system.</p> <p>PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.</p> <p><b>OR</b></p> <p>TRANSFER FEE [\$6,001]</p>	2	Hosebibb / Sillcock	1	Bathtub (and Shower)
		Floor Drain	1	Shower (Separate)
		Urinal	1	Sink
		Drinking Fountain	3	Wash Basin
		Indirect Waste	3	Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.	1	Clothes Washer
		Grease / Oil Separator	1	Dish Washer
		Dental Cuspidor	1	Garbage Disposal
		Bidet		Laundry Tub
		Other: _____		Water Heater
	Fixtures (Subtotal) Column 2	12	Fixtures (Subtotal) Column 1	
	Fixtures (Subtotal) Column 2	12	Fixtures (Subtotal) Column 1	
	<b>Total Fixtures</b>	14		

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

Fixture Fee	80
Transfer Fee	100
Hook-Up & Relocation Fee	80
<b>Permit Fee (Total)</b>	<b>260</b>

# ELECTRICAL PERMIT

## City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:  
 The undersigned hereby applies for a permit to make electrical installations  
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,  
 National Electrical Code and the following specifications:

Date 7/18/10

Permit # 1697

CBL# 398

4034

LOCATION: 696 Allen Ave METER MAKE & # \_\_\_\_\_  
 CMP ACCOUNT # \_\_\_\_\_ OWNER Larry Lyden (Lyden Construction)  
 TENANT \_\_\_\_\_ PHONE # \_\_\_\_\_

									TOTAL EACH FEE
OUTLETS	40	Receptacles	25	Switches	6	Smoke Detector			20
FIXTURES	6	Incandescent	5	Fluorescent	1	Strips			20
SERVICES		Overhead	X	Underground	X	TTL AMPS	<800		15.00
		Overhead		Underground			>800		25.00
Temporary Service		Overhead		Underground		TTL AMPS			25.00
METERS	1	(number of)							25.00
MOTORS		(number of)							1.00
RESID/COM		Electric units				Exterior			2.00
HEATING		oil/gas units		Interior		Wall Ovens			5.00
APPLIANCES	1	Ranges		Cook Tops		Fans			2.00
		Insta-Hot		Water heaters		Dishwasher			2.00
	1	Dryers		Disposals	1	Washing Machine			2.00
		Compactors		Spa	1				2.00
MISC. (number of)		Others (denote)							3.00
		Air Cond/win				Pools			10.00
		Air Cond/cent				Thermostat			5.00
		HVAC		EMS					10.00
		Signs							5.00
		Alarms/res							15.00
		Alarms/com							2.00
		Heavy Duty(CRKT)							25.00
		Circus/Carnv							5.00
		Alterations							15.00
		Fire Repairs							1.00
		E Lights							20.00
		E Generators							4.00
PANELS	1	Service		Remote		Main			5.00
TRANSFORMER		0-25 Kva							8.00
		25-200 Kva							10.00
		Over 200 Kva							35.00
INSPECTION:		MINIMUM FEE/COMMERCIAL	45.00			TOTAL AMOUNT DUE			46.20
		Will be ready		or will call		MINIMUM FEE			46.20

CONTRACTORS NAME Stephenson Electric MASTER LIC. # 50016788  
 ADDRESS 235 Favor Rd LIMITED LIC. # \_\_\_\_\_  
 TELEPHONE 838-5433  
 SIGNATURE OF CONTRACTOR [Signature]

W/R# \_\_\_\_\_  
CBL: 378 A 037

# PORTLAND

Service Address 676 Allen Ave

Account # \_\_\_\_\_

Meter make and Number \_\_\_\_\_

House # \_\_\_\_\_ Lot # \_\_\_\_\_ Apartment # \_\_\_\_\_

Development Name \_\_\_\_\_

~~Open~~ Contractor Name Larry Lyden

Electrician Stephan Electric

Circle one on each line

NEW       UPGRADE  
 TEMP       PERM  
 OVERHEAD       UNDERGROUND

Inspector: M. Collins

Comments: PASS!

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

City of Portland Electrical Permit: 1697

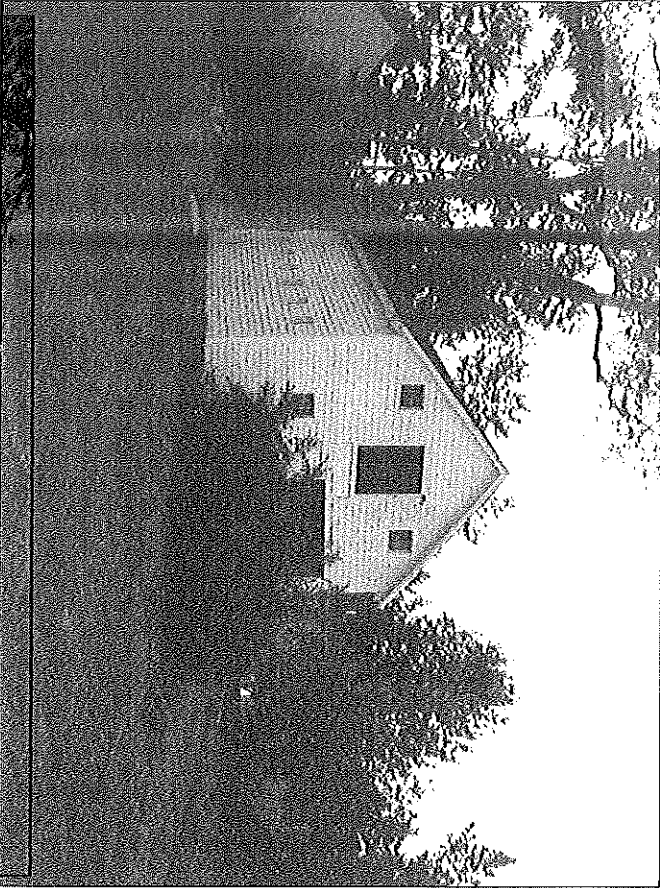
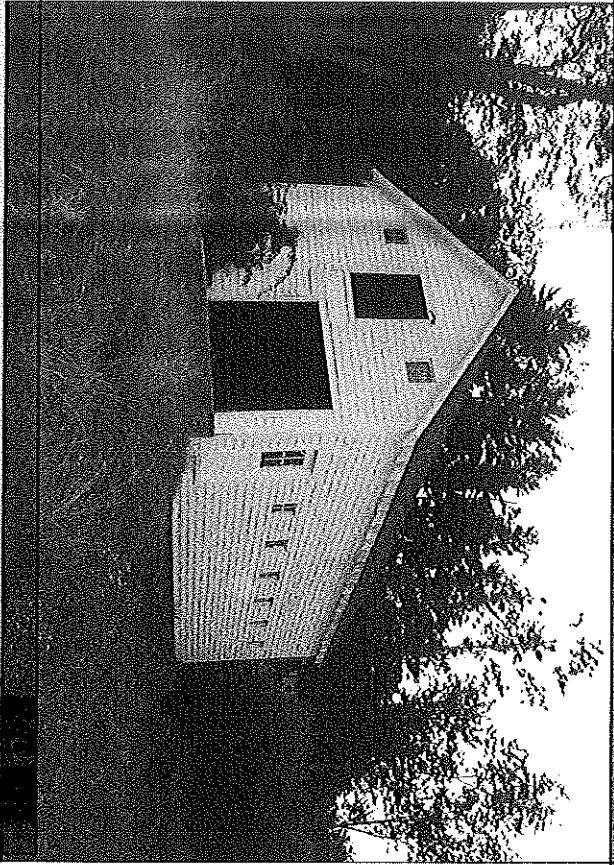
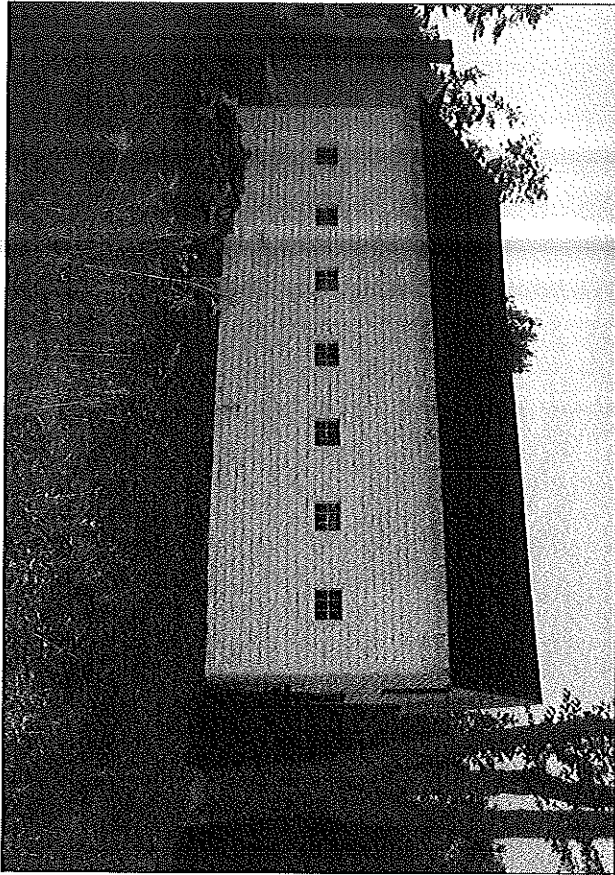
Called in by: M. Collins Date: 7/19/01 Time: 1:35 pm

Faxed to CNIP: 7/19/01 by: C. HARRIS

Portland Service Operations  
Central Maine Power Company

207-791-8000







City of Portland  
Inspection Services Division  
Demolition Call List

Site Address: 694 Allen Ave. Ext. Owner: A. E. Lyden Jr. Coast. Inc.

Structure Type: Wood Frame Contractor: A. E. Lyden Jr. Coast. Inc.

UTILITY APPROVALS	APPROVAL NUMBER	CONTACT NAME	DATE
Central Maine Power	1-800-750-4000	Mark Hathorn	9-17-01
NYNEX	878-7000	Jeff Larose	9-18-01
Northern Utilities	797-8002 X6241	Carolyn Small	9-17-01
Portland Water District	761-8310	Donna Nelson	9-17-01
Public Cable Co.	775-3431 X257	Dennis Swenson	9-17-01
Dig Safe***	1-888-344-7233	2001 3710222	9-14-01

\*\*\*After call, there is a wait of 72 hrs before digging can begin)

CITY APPROVALS	APPROVAL NUMBER	CONTACT NAME	DATE
DPW/Sewer Division(J. DiPaolo)	874-8300 X8467	Todd Merkle	9-14-01
DPW/Traffic Division(K. Doughy)	874-8300 X8437	Barry Ash	9-17-01
DPW/Foresty Division(J. Taling)	874-8300 X8389	Jeff Taling	9-17-01
DPW/Sealed Drain Permit(C. Meritt)	874-8300 X8822	Todd Merkle	9-14-01
Building Inspections(Insp required)	874-8300 X8703	Jessie Bourke	9-12-01
Historic Preservation	874-8300 X8726	Obi. Andrews	9-14-01
Fire Dispatcher	874-8300 X8676	Kevin Norton	9-14-01

Written Notice to Adjoining Owners

ASBESTOS	NUMBER	CONTACT NAME	DATE
DEP - Environmental (Augusta)	287-2651 (Ed Antz)	Ed Antz	9-17-01
U.S. EPA Region I - No phone call required. Just mail copy of State notification to:			
Demo/Reno Clerk			
US EPA Region I (SEA)			
JFK Federal Building			
Boston, MA 02203			

I have contacted all of the necessary companies/departments as indicated above.

SIGNED: [Signature] DATE: 9-14-01

add Merkle  
650-6228



L.E. Lydon Jr. Construction Inc.  
3 Shaw Farm Road  
Cape Elizabeth, Maine 04107  
Phone/Fax 207-799-5495

Dear Abutting Landowner,

As a part of my permitting process with the City of Portland, I am required to notify all abutters of my intention to demolish and remove the existing barn located on my property at 694 Allen Avenue. This demolition and removal of materials from the site should only take a couple of days. Please call Larry Lydon @ 799-5495 or the City of Portland @ 874-8703 with any questions or concerns. Thank you.

Sincerely,



Larry Lydon

cc City of Portland  
Richard & Theresa Whitmore  
Thomas & Jacqueline Flaherty  
Katherine Attenweiler  
Jack & Ann Humeniek  
Angel & Elda Zayas  
Charles & Ann Marie Eshbach  
Joseph & Donna Russo  
Barbara Music





## **COMMERCIAL INTERIOR CONSTRUCTION AND CHANGE OF USE LESS THAN 5,000 SQUARE FEET OF LEASEABLE SPACE**

Your submissions must include the following to be accepted as a complete application:

- 1 Copy of the deed if you have owned the property less than 365 days
- 2 Copies of floor plan showing dimensions of each area and use to scale
- 2 Copies of the construction detail
- 2 Copies of the cover letter explaining the project in detail
- 1 Copy of the floor plan and construction details on 11" x 17" paper, we can not accept the application without it. Electronic plans may be submitted in place of the 11" x 17" copies.

**A plot plan will need to be submitted if there is a change of use, to include the following:**

- The shape and dimension of the lot and footprint of all structures
- Location and dimensions of parking areas and driveways (including street spaces in front of business)
- The building frontage of each tenant

**A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:**

- Cross Sections w/Framing details
- Detail of any new walls or permanent partitions
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing (if applicable)
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC  
AND ELECTRICAL INSTALLATIONS**

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All electrical installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THE PERMIT. IF THE REQUIRED INFORMATION AS STATED ABOVE IS NOT SUBMITTED WITH THE APPLICATION, THE APPLICATION WILL BE AUTOMATICALLY DENIED

The cost of the permit is as follows:

- Basic permit fee: \$30.00
- The first \$1,000.00 worth of construction is covered in the \$30.00 base fee
- Every additional \$1,000.00 of construction will cost \$6.00

Submissions for commercial work over \$50,000.00 must be done by a Design Professional



**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
DRC Copy**

L.E. Construction Inc.  
Applicant  
183 Mitchell Road, Cape Elizabeth, ME 04107  
Applicant's Mailing Address

2001-0056  
Application I. D. Number  
04/05/2001  
Application Date  
Allen Ave Lot #2  
Project Name/Description

Consultant/Agent  
Applicant Ph: (207) 799-5495 Agent Fax:  
Applicant or Agent Daytime Telephone, Fax

692 - 694 Allen Ave, Portland, Maine  
Address of Proposed Site  
398 A035001  
Assessor's Reference: Chart-Block-Lot


Proposed Development (check all that apply):  
 New Building  
 Building Addition  
 Change Of Use  
 Residential  
 Office  
 Retail  
 Manufacturing  
 Warehouse/Distribution  
 Parking Lot  
 Other (specify) 31'6" x 21'6" Cape w/garage  
 1,482sf  
 Proposed Building square Feet or # of Units  
 30,371sf  
 Acreage of Site  
 Zoning

Check Review Required:  
 Site Plan (major/minor)  
 Subdivision # of lots  
 PAD Review  
 14-403 Streets Review  
 Flood Hazard  
 Shoreland  
 Historic Preservation  
 DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)  
 Zoning Variance  
 Other

Fees Paid: Site Plan \$50.00 Subdivision \_\_\_\_\_  
 Engineer Review \$250.00 Date 04/05/2001

**DRC Approval Status:**

Approved  
 Approved w/Conditions See Attached  
 Denied  
 Reviewer Jay Reynolds  


Approval Date 05/10/2001 Approval Expiration 05/10/2002 Extension to \_\_\_\_\_  
 Condition Compliance Jay Reynolds signature 05/10/2001 date  
 Additional Sheets Attached  


Performance Guarantee  Required\*  Not Required  
 \* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	date	_____	amount	_____	expiration date	_____
<input type="checkbox"/> Inspection Fee Paid	_____	date	_____	amount	_____	expiration date	_____
<input type="checkbox"/> Building Permit Issue	_____	date	_____	amount	_____	expiration date	_____
<input type="checkbox"/> Performance Guarantee Reduced	_____	date	_____	remaining balance	_____	signature	_____
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	date	_____	<input type="checkbox"/> Conditions (See Attached)	_____	signature	_____
<input type="checkbox"/> Final Inspection	_____	date	_____	signature	_____	expiration date	_____
<input type="checkbox"/> Certificate Of Occupancy	_____	date	_____	signature	_____	expiration date	_____
<input type="checkbox"/> Performance Guarantee Released	_____	date	_____	signature	_____	expiration date	_____
<input type="checkbox"/> Defect Guarantee Submitted	_____	date	_____	signature	_____	expiration date	_____
<input type="checkbox"/> Defect Guarantee Released	_____	date	_____	signature	_____	expiration date	_____



**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

2001-0056

Application I. D. Number

04/05/2001

Application Date

Allen Ave Lot #2

Project Name/Description

L.E. Construction Inc.

Applicant

183 Mitchell Road, Cape Elizabeth, ME 04107

Applicant's Mailing Address

692 - 694 Allen Ave, Portland, Maine

Address of Proposed Site

398 A035001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Applicant Ph: (207) 799-5495

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

**Approval Conditions of Insp**

- 1 This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2 Separate permits shall be required for future decks, sheds, pool, and/or garage.

**Approval Conditions of DRC**

- 1 APPLICANT SHALL INSTALL CLEANOUTS EVERY 80' ON THE SANITARY SEWER LINE (PER CITY OF PORTLAND STANDARDS).
- 2 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 3 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 4 Your new street address is now 694 Allen Avenue, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 5 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 6 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext. 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 7 A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
- 8 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 9 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FEE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 10 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 694 Allen Ave

CBL 398 A035001

Issued to Paul Vose Inc & L.E. Lydon Jr. Construction Inc

Date of Issue 06/26/2002

~~This is to certify~~ that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 01-1283, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Single Family Dwelling w/ Garage

Use Group R3 Type 5B  
(Boca 1999)

### Limiting Conditions:

Any future work shall require separate permit(s)

This certificate supersedes certificate issued

Approved:

05/02  
(Date)

*Jim Reed*  
Inspector

*Bill St. Victor*  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 694 Allen Ave

CBL 398 A035001

Issued to Paul Vose Inc & L.E. Lydon Jr. Construction, Inc

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*This is to certify* that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 01-1283, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Single Family Dwelling w/ Garage

Use Group R3 Type 5B  
(Boca 1999)

### Limiting Conditions:

Any future work shall require separate permit(s)

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Approved:

06/26/02  
(Date)

*Jim Ruel*  
Inspector

*Quinn Blackler*  
Inspector of Buildings

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