

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	06-0844	Issue Date:		CBL:	398 A002001
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Location of Construction:	31 SUMMIT ST	Owner Name:	JOHNSON WESLEY D & AMY F	Phone:	
Business Name:		Contractor Name:	C W Hannon Excavating	Contractor Address:	31 SUMMIT ST
Lessee/Buyer's Name:		Phone:		Portland	
				Permit Type:	Alterations - Dwellings
					Zone: R-2

PERMIT ISSUED

Permit Fee:	\$381.00	Cost of Work:	\$40,000.00	Number of Permits:	5
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Proposed Use:	Single Family Removing and replacing existing foundation that is crumbling. Interior renovations of new foundation	FIRE DEPT:	<input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION:	Use Group: R3 Type: SB
Proposed Project Description:	Removing and replacing existing foundation that is crumbling. Interior renovations of new foundation	Signature:		Signature:	JMB 7/27/06

Signature:		Date:	
Action:	<input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		

Permit Taken By:	dmartin	Date Applied For:	06/06/2006
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.		
2. Building permits do not include plumbing, septic or electrical work.		
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		

Special Zone or Reviews	<input type="checkbox"/> Shoreland <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan
Zoning Appeal	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied
Historic Preservation	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied

Maj Minor MM Denied
 Date: 6/27/06
of both companies

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, if Any,
Attached

Permit Number: 060844

This is to certify that JOHNSON WESLEY D & Y.F. JOHNSON JTS/C W H
has permission to Removing and replacing existing foundation
AT 31 SUMMIT ST

JOHNSON JTS/C W H

398_A002001

PERMIT ISSUED

JUL 28 2006

provided that the person or persons accepting this permit shall comply with all
of the provisions of the Statutes of the City of Portland, Oregon
the construction, maintenance and use of buildings and structures, and of the
this department.

Apply to Public Works for street line
and grade if nature of work requires
such information.

Notification inspection must be
and work on permit
before this starting or
issued or proposed-in
24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be
procured by owner before this build-
ing or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____

James Bourke 7/27/06
Director - Building & Inspection Services

Department Name

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0844	Date Applied For: 06/06/2006	CBL: 398 A002001
Owner Name: JOHNSON WESLEY D & AMY F J	Owner Address: 31 SUMMIT ST	Phone:
Business Name: C W Hannon Excavating	Contractor Address:	Phone: (207) 642-2018
Lessee/Buyer's Name:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family Removing and replacing existing foundation that is crumbling. Interior renovations of new foundation	Proposed Project Description: Removing and replacing existing foundation that is crumbling. Interior renovations of new foundation
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Dept: Zoning Status: Approved with Conditions Reviewer: Marge Schmuckal Approval Date: 06/22/2006
Note: Ok to Issue:

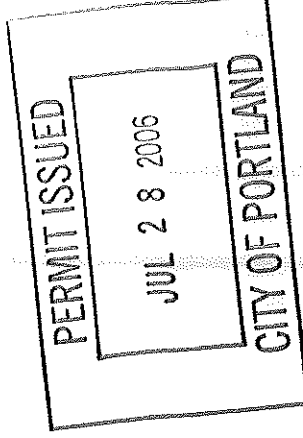
- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. It is understood that all rebuilding and replacing is within the existing footprint of the existing building. Any enlargement shall require a separate permit and review.

Dept: Building Status: Approved with Conditions Reviewer: Jeanine Bourke Approval Date: 07/27/2006
Note: Ok to Issue:

- 1) Separate permits are required for any electrical, plumbing, or heating.
- 2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans and additional submissions.

Comments:

07/19/2006-jmb: left vm to owner for more info per list with permit
07/19/2006-jmb: Wes J. Called back and clarified questions, Hancock will draw a stair detail and provide LVL specs.
07/27/2006-jmb: received details, ok to issue





General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

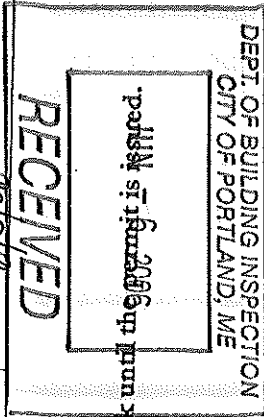
Location/Address of Construction: <u>31 Summit St. Portland</u>		Square Footage of Lot
Total Square Footage of Proposed Structure		<u>33,106 ft² (0.76 acres)</u>
Tax Assessor's Chart, Block & Lot	Owner	Telephone:
Chart# <u>398</u> Block# <u>A</u> Lot# <u>002</u>	<u>Amy & Wesley Johnson</u>	<u>8786553</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:	Cost Of
	<u>31 Summit St. Portland, ME 07103</u>	Work: \$ <u>40,000.00</u>
Current Specific use:		Fee: \$ _____
If vacant, what was the previous use?		C of O Fee: \$ _____
Proposed Specific use:	_____	
Project description:	<u>① Tacking of home / front porch / deck</u> <u>② Demolition and removal of existing foundation (8' x 12' Stone, Crumbling foundation)</u> <u>③ Replacement of foundation with full height poured foundation / grading / appropriate drainage system. Will be water - cut basement.</u> <u>④ Rough-in plumbing and rough framing for finished basement / insulation.</u>	
Contractor's name, address & telephone:	<u>1) James Mary (tacking) 839-3213</u> <u>2) C.W. Harmon Excavating, Inc. (excav / new foundation) 642-2018</u>	
Who should we contact when the permit is ready:	<u>Wesley R. Johnson</u>	
Mailing address:	<u>Same</u>	
	Phone: <u>878 6553</u>	

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

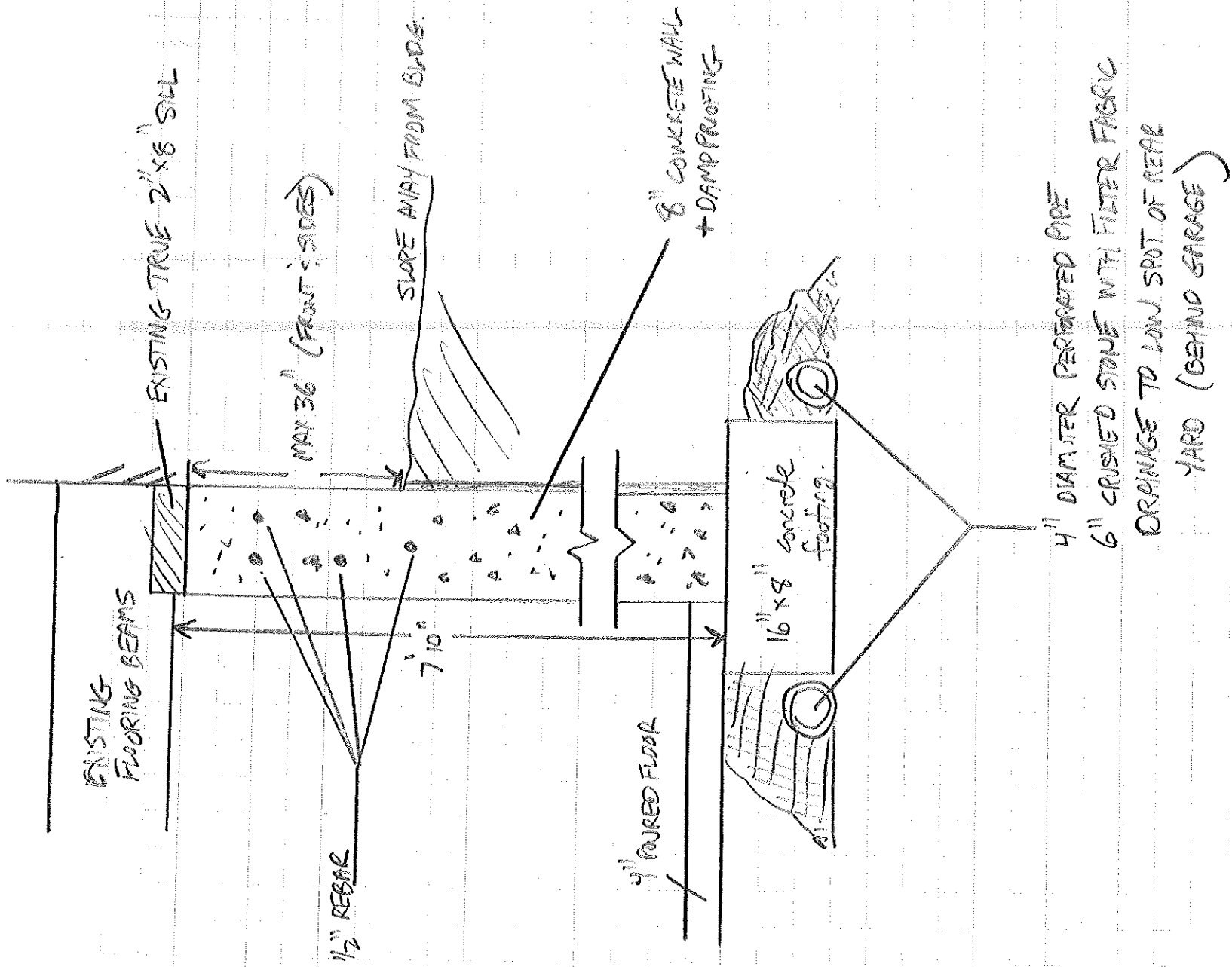
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Wesley Johnson Date: 2/9/9



This is not a permit; you may not commence ANY work until the permit is issued.

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME



31 SUMMIT ST.
 NEW FOUNDATION SCHEMATIC

PLUMBING APPLICATION

PROPERTY ADDRESS

Town or Plantation: Portland
 Street: 31 Summit St
 Subdivision Lot #: _____
 PROPERTY OWNERS NAME

Last: Johnson First: Ary & Wesley
 Applicant Name: Paul Cullen Plumbing
 Mailing Address of Owner/Applicant (If Different): 8 Stewart Square Rd, Standish, ME 04084

Owner/Applicant Statement
 I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a permit.
Paul Cullen 9/18/06
 Signature of Owner/Applicant Date

PORTLAND PERMIT # 10023 STATE COPY
 Date Permit Issued: 9/18/06 \$ 130.00 If Double Fee Charged
 Local Plumbing Inspector Signature: Thomas Hartley L.P.I. # 0744

398 A 002

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature _____ Date Approved _____

PERMIT INFORMATION

This Application is for

1. NEW PLUMBING
 2. RELOCATED PLUMBING

Type of Structure To Be Served:

1. SINGLE FAMILY DWELLING
 2. MODULAR OR MOBILE HOME
 3. MULTIPLE FAMILY DWELLING
 4. OTHER - SPECIFY _____

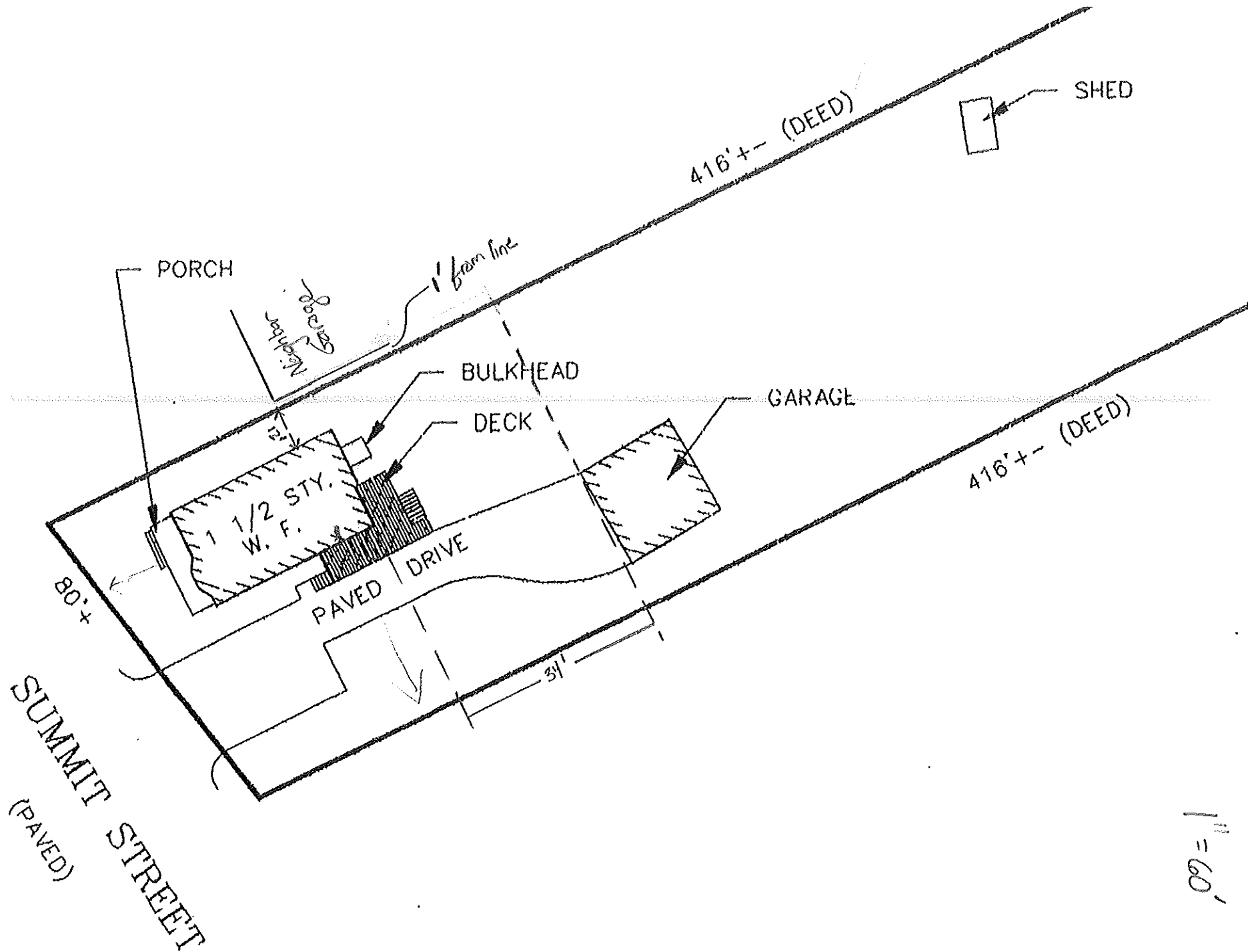
Type of Structure To Be Installed By:

1. MASTER PLUMBER
 2. OIL BURNERMAN
 3. MFG'D. HOUSING DEALER/MECHANIC
 4. PUBLIC UTILITY EMPLOYEE
 5. PROPERTY OWNER
 LICENSE # 62126

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2 Type of Fixture	Number	Column 1 Type of Fixture
<p>HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.</p> <p>OR</p> <p>HOOK-UP: to an existing subsurface wastewater disposal system.</p> <p>DEPT OF BUILDING INSPECTION CITY OF PORTLAND, ME lines, drains and piping without new fixtures. SEP 18 2006 RECEIVED</p>	Hosebibb / Sillcock	1	Bathtub (and Shower)
	Floor Drain		Shower (Separate)
	Urinal		Sink
	Drinking Fountain	1	Wash Basin
	Indirect Waste	1	Water Closet (Toilet)
	Water Treatment Softener, Filter, etc.	1	Clothes Washer
	Grease / Oil Separator		Dish Washer
	Roof Drain		Garbage Disposal
	Bidet		Laundry Tub
	Other: _____		Water Heater
Fixtures (Subtotal) Column 2			Fixtures (Subtotal) Column 1
			Fixtures (Subtotal) Column 2
			Total Fixtures
			Fixture Fee
			Transfer Fee
			Hook-Up & Relocation Fee
			Permit Fee (Total)

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

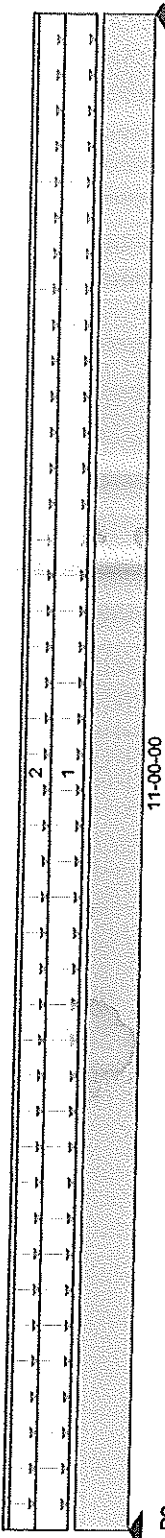
#7422



NOTE: THIS IS NOT A BOUNDARY SURVEY. This plan is made for the purpose of showing the location of structures within the apparent boundary lines. **THE PREPARER IS NOT LIABLE FOR ANY**

Job Name:
Address:
City, State, Zip,
Customer:
Code reports: ESR-1040

File Name: BC CALC Project
Description: FB02
Specifier:
Designer:
Company:
Misc:



B0

LL 220 lbs
DL 1202 lbs

11'-00'-00

B1
LL 220 lbs
DL 1202 lbs

Total of Horizontal Design Spans = 11-00-00

Load Summary

Tag Description	Load Type	Ref.	Start	End	Live	Dead	Snow	Wind	Roof Live	Trib.
1 Standard Load	Unf. Area (psf)	Left	00-00-00	11-00-00	100%	90%	100%	133%	125%	01-00-00
2	Unf. Lin. (plf)	Left	00-00-00	11-00-00	0	200				n/a

Controls Summary

Pos. Moment	Value	% Allowable	Duration	Load Case	Span Location
3910 ft-lbs	28.0%	100%	1	1 - Internal	
End Shear	1198 lbs	19.0%	1	1 - Left	
Total Load Defl.	L/775 (0.17")	31.0%	1	1	
Live Load Defl.	L/5010 (0.026")	7.2%	1	1	
Span / Depth	13.9	n/a		1	

Notes

Design meets Code minimum (L/240) Total load deflection criteria.

Design meets Code minimum (L/360) Live load deflection criteria.

Minimum bearing length for B0 is 1-1/2".

Minimum bearing length for B1 is 1-1/2".

Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing +
1/2 intermediate bearing

Disclosure

Completeness and accuracy of input must be verified by anyone who would rely on output as evidence of suitability for particular application. Output here based on building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with current Installation Guide and applicable building codes. To obtain Installation Guide or ask questions, please call (800)232-0788 before installation.

BC CALC®, BC FRAMER®, AJS™
ALLJOIST®, BC RIM BOARD™, BCi®,
BOISE GLULAM™, SIMPLE FRAMING
SYSTEM®, VERSA-LAM®, VERSA-RIM
PLUS®, VERSA-RIM®,
VERSA-STRAND®, VERSA-STUD® are
trademarks of Boise Wood Products, L.L.C.

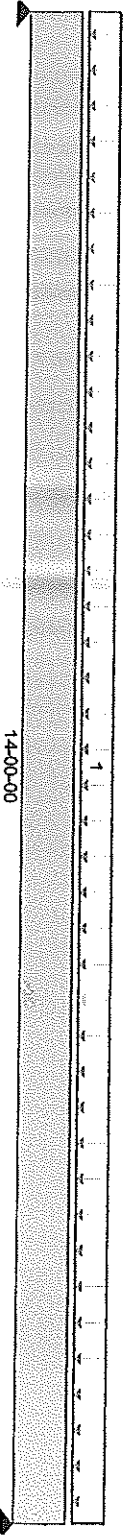
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

JUL 20 2006

RECEIVED

Job Name:
Address:
City, State, Zip:
Customer:
Code reports: ESR-1040

File Name: BC CALC Project
Description: FB01
Specifier:
Designer:
Company:
Misc:



B0
LL 3360 lbs
DL 952 lbs

B1
LL 3360 lbs
DL 952 lbs

Total of Horizontal Design Spans = 14-00-00

Tag Description	Load Type	Ref.	Start	End	Span Location	Live	Dead	Snow	Wind	Roof Live	Trib.
1 Standard Load	Unf. Area (psf)	Left	00-00-00	14-00-00	1 - Internal	100%	90%	100%	133%	125%	12-00-00

Controls Summary	Value	% Allowable	Duration	Load Case	Span Location
Pos. Moment	13092 ft-lbs	47.3%	100%	1	1 - Internal
End Shear	3658 lbs	30.9%	100%	1	1 - Left
Total Load Defl.	L/462 (0.363")	51.9%		1	1
Live Load Defl.	L/593 (0.283")	60.7%		1	1
Span / Depth	14:1	n/a			1

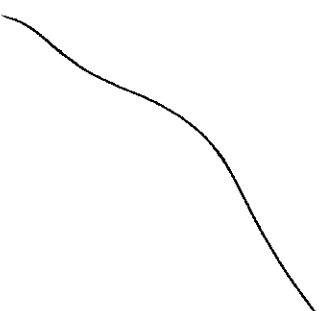
Notes

Design meets Code minimum (L/240) Total load deflection criteria.
 Design meets Code minimum (L/360) Live load deflection criteria.
 Minimum bearing length for B0 is 1-1/2".
 Minimum bearing length for B1 is 1-1/2".
 Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

Disclosure

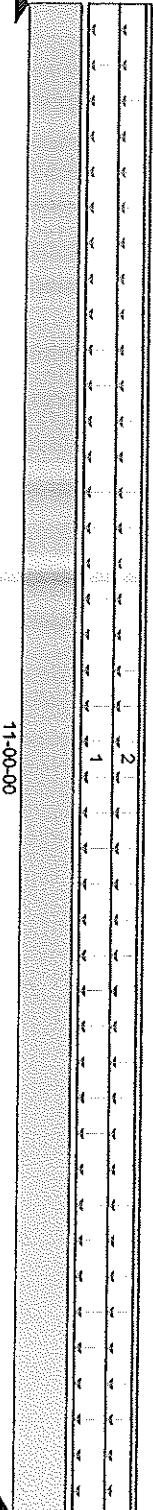
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BC CALC®, BC FRAMER®, AJS™, ALLODIST®, BC RIM BOARD™, BC®, BOISE GLULAM™, SIMPLE FRAMING SYSTEM®, VERSA-LAM®, VERSA-RIM PLUS®, VERSA-RIM®, VERSA-STRAND®, VERSA-STUD® are trademarks of Boise Wood Products, L.L.C.



Job Name:
Address:
City, State, Zip,
Customer:
Code reports: ESR-1040

File Name: BC CALC Project
Description: FB02
Specifier:
Designer:
Company:
Misc:



B0 LL 220 lbs DL 1187 lbs
B1 LL 220 lbs DL 1187 lbs

Total of Horizontal Design Spans = 11'-00-00

Tag Description	Load Type	Ref.	Start	End	Live	Dead	Snow	Wind	Roof Live	Trib.
1 Standard Load	Unf. Area (psf)	Left	00-00-00	11-00-00	40	10	100%	133%	125%	01-00-00
2	Unf. Lin. (plf)	Left	00-00-00	11-00-00	0	200				n/a

Pos. Moment	Value	% Allowable	Duration	Load Case	Span Location
3870 ft-lbs	18.2%	100%	1	1 - Internal	
End Shear	14.4%	100%	1	1 - Left	
Total Load Defl.	15.7%		1		
Live Load Defl.	3.7%		1		
Span / Depth	11.1	n/a		1	

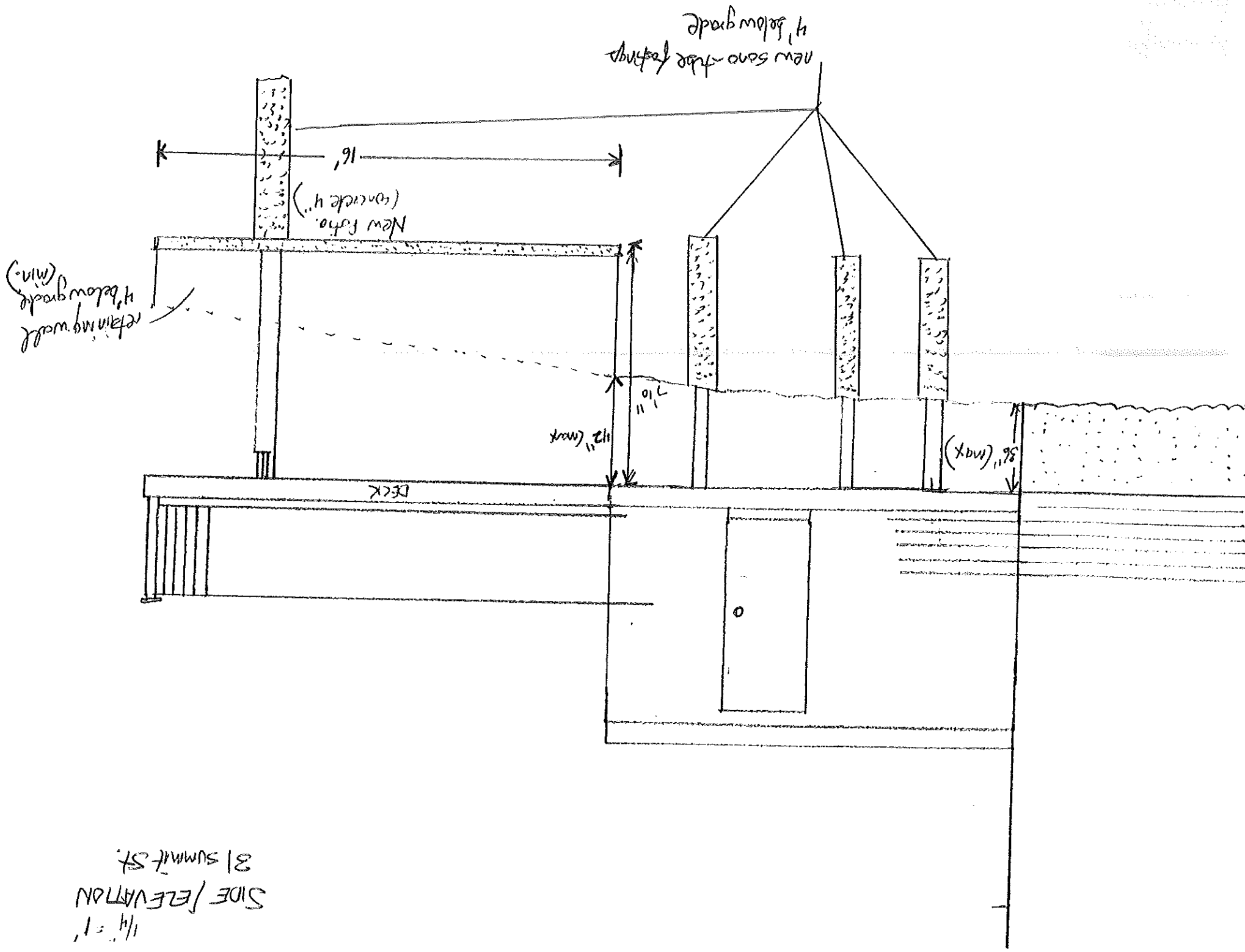
Notes

Design meets Code minimum (L240) Total load deflection criteria.
Design meets Code minimum (L360) Live load deflection criteria.
Minimum bearing length for B0 is 1'-1/2".
Minimum bearing length for B1 is 1'-1/2".
Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

Disclosure

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1/4" = 1'
 SIDE / ELEVATION
 31 SUMMIT ST.

BROOKVIEW BLVD
31 SUMMIT ST.

23' FRONT

1' 1"

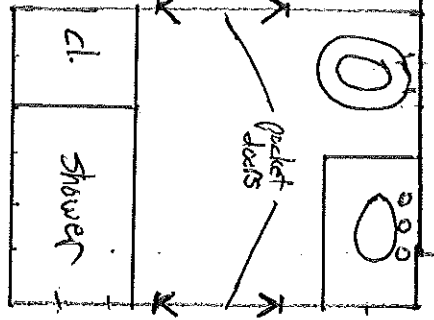
OIL TANK

FRANCE

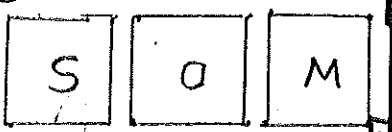
stair and
sewer
connection

40'

14 1/2"



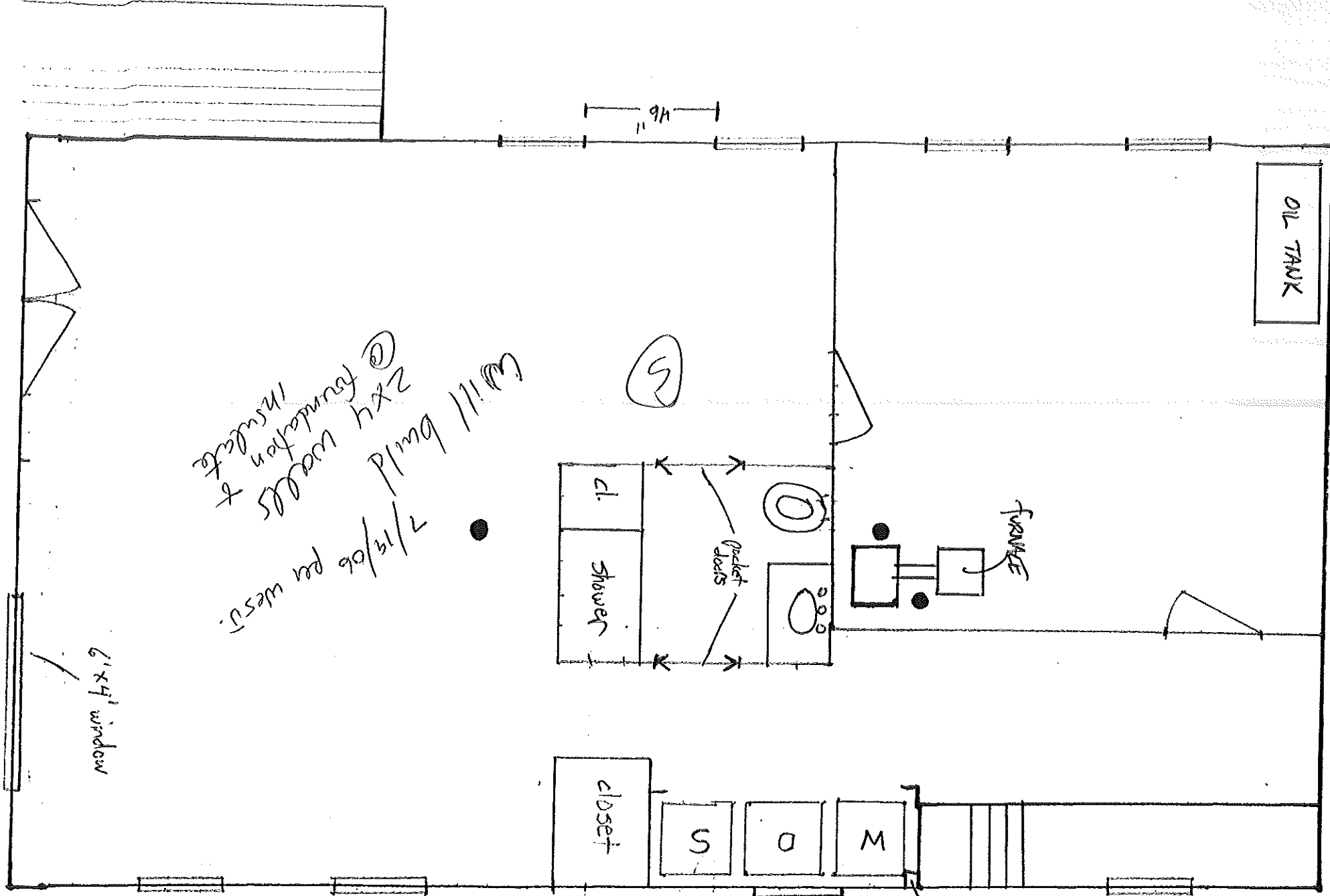
closet



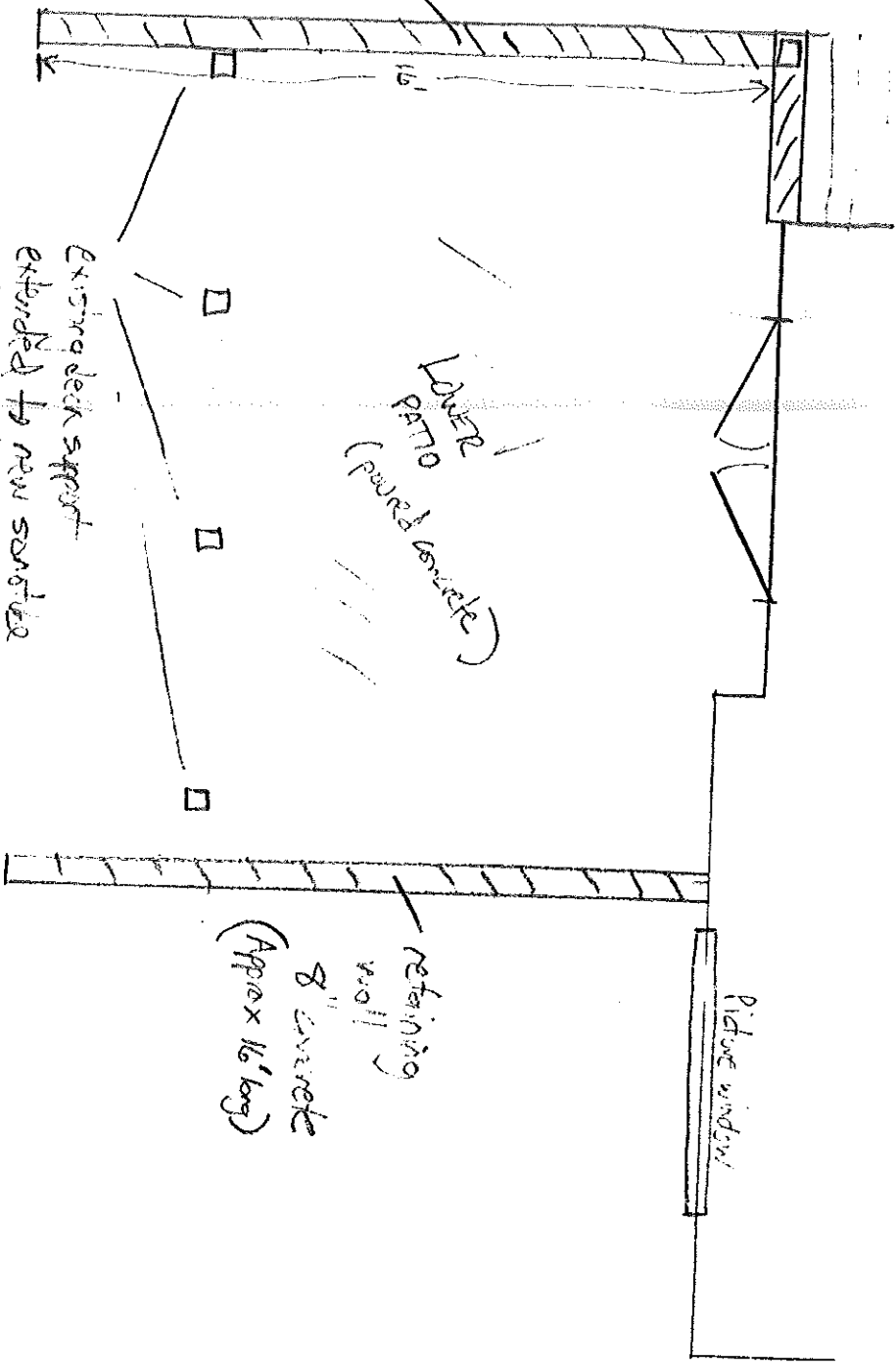
Will build
@ 2x4 joists
foundation &
insulate
7/12/06 per west.

6' x 7' window

Window " 52" x 23"
(poured
in
foundation)



retaining wall
8" concrete
4' base



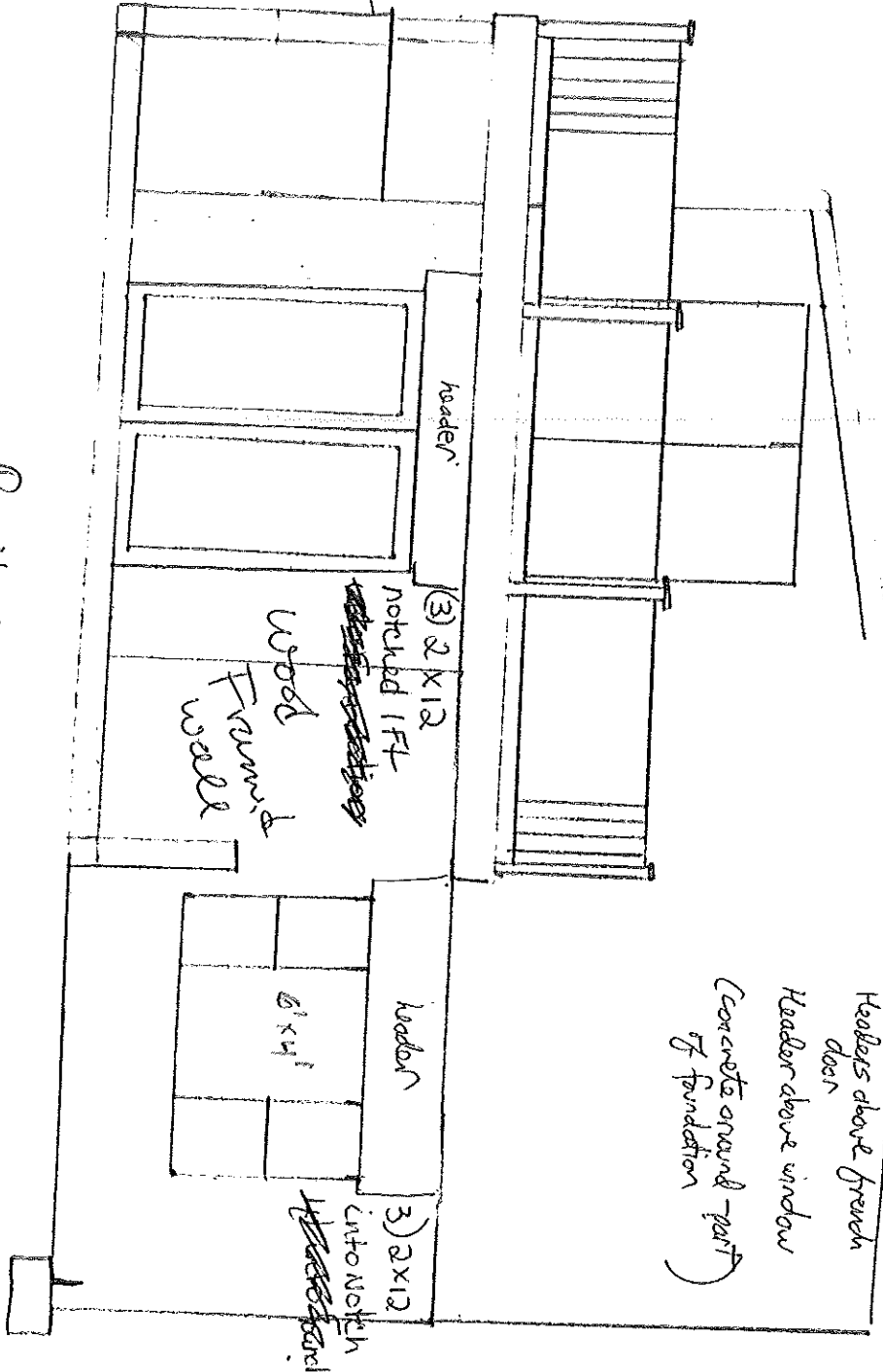
Existing deck support
extended to new concrete
footer 4' deep.

retaining
wall
8" concrete
(Approx 16' long)

Picture window

LOWER
PATIO
(poured concrete)

Headers above french
door
Header above window
(concrete around part
of foundation)



1/4" = 1'

REAR VIEW

header

(3) 2x12

notched 1ft

wood
framed
wall

header

(3) 2x12

into notch

6'x4'

PLUMBING APPLICATION

PROPERTY ADDRESS

Town or Plantation: Portland
 Street: 31 Summit St
 Subdivision Lot #: 51
PROPERTY OWNERS NAME
 Last: Johnson First: Ray + Wesley
 Applicant Name: Paul Collier Mackley
 Mailing Address of Owner/Applicant (if Different): 8 Summit Square Rd Standish, Me Casper

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge, and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

Signature of Owner/Applicant: [Signature]

Date: 9/18/06

66-8324
 PORTLAND
 PERMIT # 10023 TOWN COPY
 Date Permit Issued: 9/18/06
 Local Plumbing Inspector Signature: Thomas Haskett
 L.P.I. # 02778
 \$ 140.00 FEE CHANGED DOUBLE FEE
 398 A 002

Caution - Inspection Required
 I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature

Date Approved

PERMIT INFORMATION

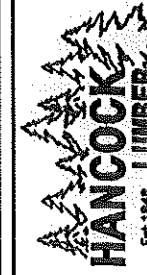
This Application is for 1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	Type of Structure To Be Served: 1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER - SPECIFY _____	Plumbing To Be Installed By: 1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER/MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # <u>62126</u>
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Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Number	Column 2 Type of Fixture		Column 1 Type of Fixture	
		Hosebibb / Silcock	Floor Drain	Bathub (and Shower)	Shower (Separate)
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District. OR HOOK-UP: to an existing subsurface wastewater disposal system. PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Urinal		Sink	
		Drinking Fountain		Wash Basin	
		Indirect Waste		Water Closet (Toilet)	
		Water Treatment Softener, Filter, etc.		Clothes Washer	
		Grease / Oil Separator		Dish Washer	
		Roof Drain		Garbage Disposal	
		Bidet		Laundry Tub	
		Other: _____		Water Heater	
		Fixtures (Subtotal) Column 2		Fixtures (Subtotal) Column 1	
		Fixtures (Subtotal) Column 2		Fixtures (Subtotal) Column 1	

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

Fixtures (Subtotal) Column 2	
Total Fixtures	
Fixture Fee	
Transfer Fee	
Hook-Up & Relocation Fee	
Permit Fee (Total)	<u>40</u>

17420
 TOWN COPY 10/30



ELEVATIONS
WESLEY JOHNSON
 31 Summit St. Portland, ME

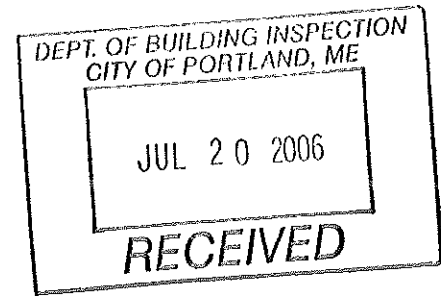


RIGHT SIDE - EXISTING HOUSE ELEVATION
 1/4" = 1'-0"

CONSTRUCTION NOTE:
 CONSTRUCTOR TO VERIFY EXIST. AND ALL DIMENSIONS OF EXISTING STRUCTURE IN FIELD BEFORE STARTING NEW CONSTRUCTION. ELEVATIONS/FLOOR PLANS SHOWN MAY DIFFER FROM ACTUAL. FINISHED CONSTRUCTION, FINISH WINDOW/DOOR LOCATION AND SIZES, TO BE DETERMINED PER OWNER/OWNER, ON SITE.
 NOTE:
 DIMENSIONS SHOWN ARE APPROXIMATE (DAYDREAM CONCEPTIONS) AND SHOULD NOT BE USED FOR CONSTRUCTION.



REAR HOUSE ELEVATION
 1/4" = 1'-0"



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Revisions:

NO.	DATE	DESCRIPTION

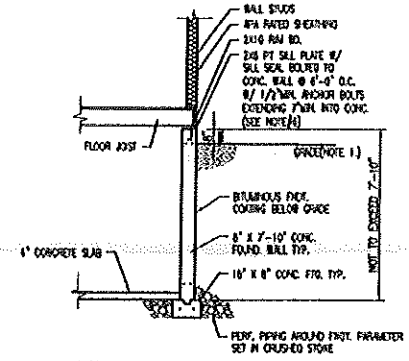
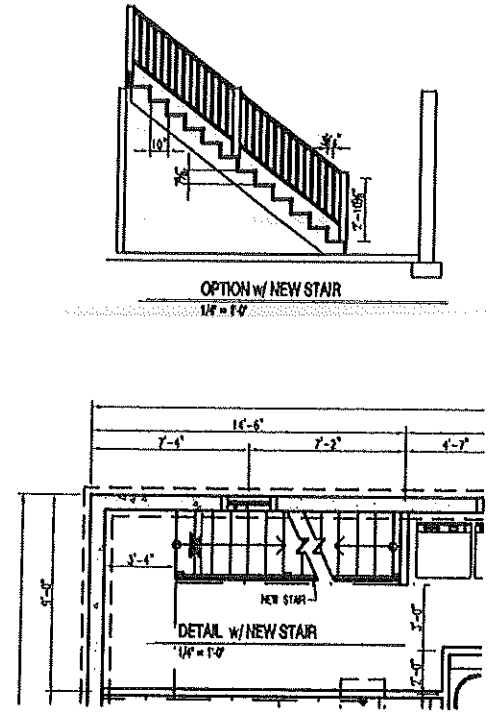
Date: 07-19-06
 Scale: 1/4" = 1'-0"
 Drawn By: PML
 Project: AY062706
 Sheet Number:
 1-of-2



FOUNDATION
 WESLEY JOHNSON
 31 Summit St. Portland, ME

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Revisions:
 Date: 07-19-06
 Scale: 1/4"=1'-0"
 Drawn By: PML
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- FOUNDATION NOTES**
- 4" DIA. REIN. INTER. PERFORATED DRAIN SET IN MIN. 4" OF CLEAR CRUSHED STONE TO ALLOW FOR FLUKE SUB-SLAB VENTILATION IF REQUIRED.
 - ALL COLLARS THIS SHEET ASSUMED TO BE STROK CONC. FILLED LULLY COLLARS.
 - ALL INTERIOR FOOTINGS ASSUMED TO BE 12" DEEP FOOTINGS LARGER THAN 2" WIDE TO BE REINFORCED WITH #4 REBAR AT 8" O/C BOTH SIDES.
 - DECK SUPPORTS TO BE 10" DIA. SCHEDULE 40 ATTACHED TO 18" DIA. PRE-CAST FOOTINGS 1/2" FC. #4 REBAR @ LOOP #14 ROOF BASE SET FLUSH WITH/SHOULDER AT TOP ON PER CONT.
 - CONTRACTOR TO VERIFY CONDITIONS IN FIELD AND STOP PRO. AS REQUIRED FOR GRADE.
 - FLOOR TO FOUNDATION OR WALL CONNECTIONS FIELD VERIFY/ BY CONTRACTOR.
- GENERAL FOUNDATION NOTES**
- CONTRACTOR TO VERIFY GRADE IN FIELD AND ALL DIMENSIONS OF EXISTING STRUCTURE BEFORE NEW CONSTRUCTION. FOUNDATION PLAN SHOWS BAY DETAIL FROM ACTUAL FINISHED CONSTRUCTION. FINAL WINDOW/DOOR LOCATION, SIZES AND ALL DIMENSIONS, TO BE FIELD DETERMINED PER OWNER/OWNER, ON SITE.

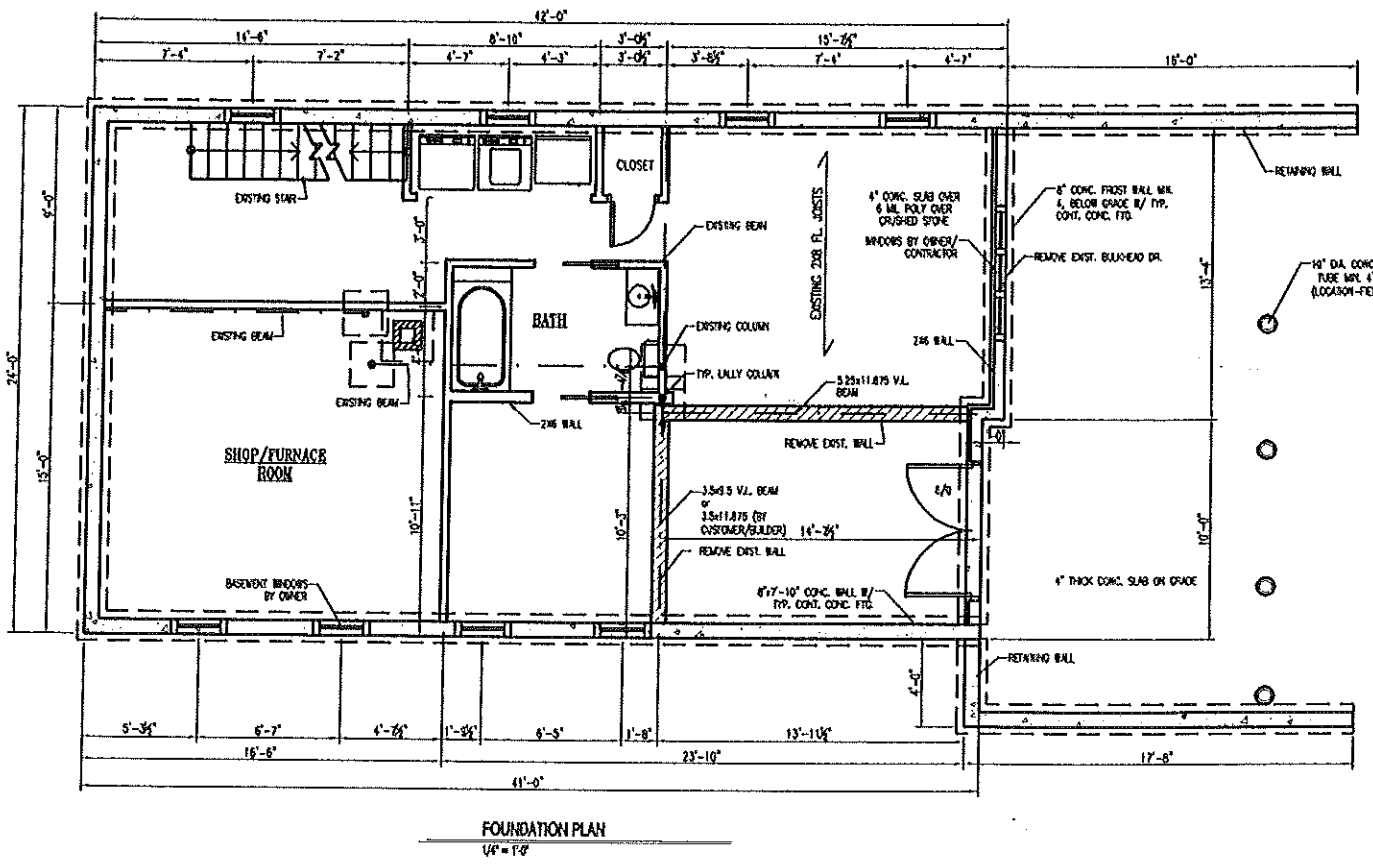


TABLE F002(1)
 FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

DESCRIPTION OF BUILDING MEMBER	DESCRIPTION OF FASTENER	SPACING OF FASTENERS	
		Edges (ft-on)	Intermediate Support** (ft-on)
Wood structural joists, sill-logs, roof and wall sheathing to framing, and particleboard and sheathing to framing			
5/16" - 1/2"	6d common nail (sill-logs, roof) 6d common nail (wall)	6	12
1 1/2" - 1"	6d common nail	6	12
1-1/2" - 1-1/4"	10d common nail or 6d deformed nail	6	12
Other nail sheathing			
1/2" regular cellular sheathing	1-1/2" galvanized roofing nail 6d common nail slope 1/8", 1-1/2" long	3	6
1/2" regular cellular sheathing	1-3/4" galvanized roofing nail 6d common nail slope 1/8", 1-3/4" long	3	6
2x/2x structural cellular sheathing	1-1/2" galvanized roofing nail 6d common nail slope 1/8", 1-1/2" long	3	6
1/2" gypsum sheathing	1-1/2" galvanized roofing nail 6d common nail slope 1/8", 1-1/2" long	4	6
3/8" gypsum sheathing	1-1/2" galvanized roofing nail 6d common nail slope 1/8", 1-1/2" long	4	6
Wood structural joists, combination sill-logs and sills			
3/4" and less	6d deformed nail or 6d common nail	6	12
1/2" - 1"	6d common nail or 6d deformed nail	6	12
1-1/2" - 1-1/4"	10d common nail or 6d deformed nail	6	12

- For St. 1 inch = 25.4mm, 1 inch = 25.4mm, 1 inch per foot = 1.80mm/ft.
- All nails are smooth-crown, hot or deformed shank except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strength as shown: 60d (561 MPa) for shank diameter of .192inch (20d common nail), 90d (570 MPa) for shank diameter larger than 0.192inch but not larger than 0.1875inch, and 100d (603 MPa) for shank diameter of 0.1875inch.
 - Staples are 16 gage wire and have a minimum 7/16-inch diameter crown width.
 - Nails shall be spaced at not more than 6 inches on center of all supports where spans are 4 inches or greater.
 - Four-foot-by-eight-foot or four-foot-by-nine-foot panels shall be applied vertically.
 - Spacing of fasteners not included in this table shall be based on table F002(2).
 - For regions having basic wind speed of 110mph or greater, 6d deformed nails shall be used for attaching plywood and wood structural panel roof sheathing to framing with minimum 48-inch distance from gable end and side, if mean roof height is more than 25 feet, up to 30 feet maximum.
 - For regions having basic wind speed of 100mph or less, nails for attaching wood structural panel roof sheathing to gable end and wall framing shall be spaced 6 inches on center, when basic wind speed is greater than 100mph, nails for attaching panel roof sheathing to rafter/ceiling supports shall be spaced 6 inches on center for minimum 48-inch distance from ridge, eave and gable end and side, and 6 inches on center to gable end and wall framing.
 - Open sheathing shall conform to ASTM C79 and shall be installed in accordance with CA 253. Sheathing shall conform to either AIA 1811 or ASTM C 208.
 - Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and at all four perimeters only. Spacing of fasteners at roof sheathing panel edges applies to panel edges supported by framing members and at all roof plane perimeters. Spacing of roof or floor sheathing panel edges perpendicular to the framing members shall not be required except at intersection of adjacent roof planes. Floor and roof perimeter shall be supported by framing members or wall sheathing.

TABLE F002(2)
 ORDER SPANS AND HEADER SPANS FOR EXTERIOR BEARING WALLS
 (Minimum spans for Douglas fir-larch, hem-fir, southern pine and spruce-pine-fir and required number of jack studs)

ORDER SPANS AND HEADER SPANS FOR EXTERIOR BEARING WALLS	SIZE	SILL, GROUND, SHEAR (LOAD) (psf)					
		20		25		30	
		Span	N/A	Span	N/A	Span	N/A
Roof and ceiling	2-2 1/2	12-0	12-0	12-0	12-0	12-0	12-0
Roof, ceiling and over center-bearing floor	2-2 1/2	12-0	12-0	12-0	12-0	12-0	12-0
Roof, ceiling and over clear span floor	2-2 1/2	12-0	12-0	12-0	12-0	12-0	12-0
Roof, ceiling and two center-bearing floor	2-2 1/2	12-0	12-0	12-0	12-0	12-0	12-0
Roof, ceiling and two clear span floor	2-2 1/2	12-0	12-0	12-0	12-0	12-0	12-0

TABLE F002(3)
 ORDER SPANS AND HEADER SPANS FOR INTERIOR BEARING WALLS
 (Minimum spans for Douglas fir-larch, hem-fir, southern pine and spruce-pine-fir and required number of jack studs)

ORDER SPANS AND HEADER SPANS FOR INTERIOR BEARING WALLS	SIZE	Building Height (ft)					
		20		25		30	
		Span	N/A	Span	N/A	Span	N/A
One floor only	2-2 1/2	12-0	12-0	12-0	12-0	12-0	12-0
Two floor only	2-2 1/2	12-0	12-0	12-0	12-0	12-0	12-0

- Spans are given in feet and inches.
- Tabulated values assume #2 grade lumber.
- Building width is measured perpendicular to the ridge. For widths between those shown, spans are permitted to be interpolated.
- N/A-Number of jack studs required to support each end. When the number of required jack studs equals one, the header is permitted to be supported by an approved framing member attached to the full-height end stud end to the header.
- Use 3/4" ground snow load for areas in which ground snow load is less than 30psf and the roof live load is equal to or less than 20psf.

