

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Location of Construction: 173 Summit St	Owner Name: Place Charles & Jeanne Jrs	Permit No: 05-0067	Permit Issued: FEB 11 2005	City: PORTLAND	Zone: R-2
Business Name:	Contractor Name: Chuck Place	Owner Address: 173 Summit St	Contractor Address: 173 Summit St	Phone:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: Change of Use - Dwellings		Permit Fee: \$501.00	
Past Use: single family	Proposed Use: change of use from single family to add a subordinate unit for the benefit of elderly (60+ yrs) or handicap person and to add dormer to existing space	Cost of Work: \$45,000.00	CEO District: 5	INSPECTION: Use Group: R-3 Type: SB	

Proposed Project Description:
to add a subordinate unit to single family for the benefit of elderly (60 yrs +) or handicap person and to add dormer.

Permit Taken By: dmartin	Date Applied For: 01/19/2005	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input checked="" type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions
Date: 8/21/05 Site Plan Approved for Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Date: 8/21/05 Approved on 11/4/04 Denied	Date: 8/21/05 Denied

CERTIFICATION
 I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Call Footing/Building Location Inspection: Prior to pouring concrete

✓✓ Re-Bar Schedule Inspection: Prior to pouring concrete

✓✓ Foundation Inspection: Prior to placing ANY backfill

Call Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Call Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature] Signature of Applicant/Designee 2/16/05 Date
[Signature] Signature of Inspections Official 2/16/05 Date

CBL: 396 Fooa Building Permit #: 050069

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read Application And Notes, if Any, Attached

PERMIT ISSUED
Permit Number: 050067
FEB 11 2005

CITY OF PORTLAND

This is to certify that Place Charles & Jeanne Jrs/C has permission to add dormer change of use to AT 173 Summitt St

Block Place
Building and ma
another
396 F009005

provided that the person or persons, of the provisions of the Statutes of the construction, maintenance and use of this department. This permit shall comply with all provisions of the City of Portland regulating buildings and structures, and of the application on file in

Apply to Public Works for street line and grade if nature of work requires such information.

OTHER REQUIRED APPROVALS

Fire Dept.
Health Dept.
Appeal Board
Other

Department Name

Inspection must be made on premises before this permit is closed-in. R NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

PENALTY FOR REMOVING THIS CARD

David Banks 2/10/05
Director - Building & Inspection Services

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	05-0067	Date Applied For:	01/19/2005	CBL:	396 F009001
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Location of Construction:	173 Summit St	Owner Name:	Place Charles & Jeanne Jis	Owner Address:	173 Summit St	Phone:	
Business Name:		Contractor Name:	Chuck Place	Contractor Address:	173 Summit St Portland	Phone	
Lessee/Buyer's Name		Phone:		Permit Type:	Change of Use - Dwellings		

Proposed Use:	change of use from single family to add a subordinate unit for the benefit of elderly (60+ yrs) or handicap person and to add dormer to existing space	Proposed Project Description:	to add a subordinate unit to single family for the benefit of elderly (60 yrs +) or handicap person and to add dormer.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 02/01/2005

Note: ZBA conditional use approved on 11/4/04 **OK to Issue:**

- 1) If this subordinate unit can not be occupied by an elderly person 60 years or older, or by a handicap person, the approved unit is no longer legal and shall be removed.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 3) This property shall remain a single family dwelling with a subordinate unit for the benefit of elderly (60 yrs +) or handicap person. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanne Bourke **Approval Date:** 02/10/2005

Note: 1/20/05 gave to Donna as this is for an additional dwelling unit and needs a conditional use appeal. Jmb **OK to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) Separate permits are required for any electrical, plumbing, or heating.

CITY OF PORTLAND, MAINE
ZONING BOARD OF APPEALS

Patric Sarterre, Chair
Catherine Alexander, Secretary
Derek Gambler
Joe Lewis
William Hall
Daniel Mitchell
Peter Thornton

November 8, 2004

Charles Place
173 Summit Street
Portland, ME 04103

RE: 173 Summit Street
CBL: 396-F-009
ZONE: R-2

Dear Mr. Place:

As you know, at its November 4, 2004, meeting, the Board of Appeals voted 5-0 to approve your **Conditional Use Appeal**, to allow to use the unfinished space above the garage of your existing home.

You will need to apply for a Building Permit to finish the space above your garage. I have enclosed a permit application for your convenience. The permit must be issued before construction begins.

Enclosed is a copy of the Board's decision.

Should you have any questions please feel free to contact me at 207-874-8701.

Sincerely,



Gayle Guertin
Office Assistant

All Purpose Building Permit Application

If you or the property owner owns real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>173 Summit</u>		Total Square Footage of Proposed Structure <u>708</u>		Square Footage of Lot <u>18,000</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>39C</u> Block# <u>F</u> Lot# <u>9</u>	Owner: <u>CHARLES RACE</u>	Applicant name, address & telephone: <u>Charles Race</u> <u>173 Summit St</u> <u>TOLEDO, MICHIGAN</u>	Telephone: <u>797-0347</u>	Cost Of Work: \$ <u>45,000.00</u>	Fee: \$ <u>426 + 75.</u> <u>\$ 501.00</u>
Lessee/Buyer's Name (if Applicable) _____					
Current use: <u>STORAGE</u>					
If the location is currently vacant, what was prior use: _____					
Approximately how long has it been vacant: <u>5</u> yrs _____					
Proposed use: <u>accessory in-law apartment</u>					
Project description: <u>add Downer Finish living space</u>					
Contractor's name, address & telephone: <u>OWNER</u>					
Who should we contact when the permit is ready: <u>Chuck Race</u>					
Mailing address: _____					
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>797-9954</u>					

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS, THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this Jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Charles Race</u>	Date: <u>1/12/05</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

CR # 302X

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	396 F009001
Location	173 SUMMIT ST
Land Use	SINGLE FAMILY
Owner Address	PLACE CHARLES & JEANNE JTS 173 SUMMIT ST PORTLAND ME 04103

**Book/Page
Legal**

129911/282
396-F-9
SUMMIT ST 173
18944 SF

Valuation Information

Land	Building	Total
\$40,220	\$216,510	\$256,730

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres
1999	Cape	2	3634	0.435
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic
4	2	1	6	None
				Basement
				Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
03/18/1997	LAND	\$33,000	129911-282

Picture and Sketch

[Picture](#)

[Sketch](#)

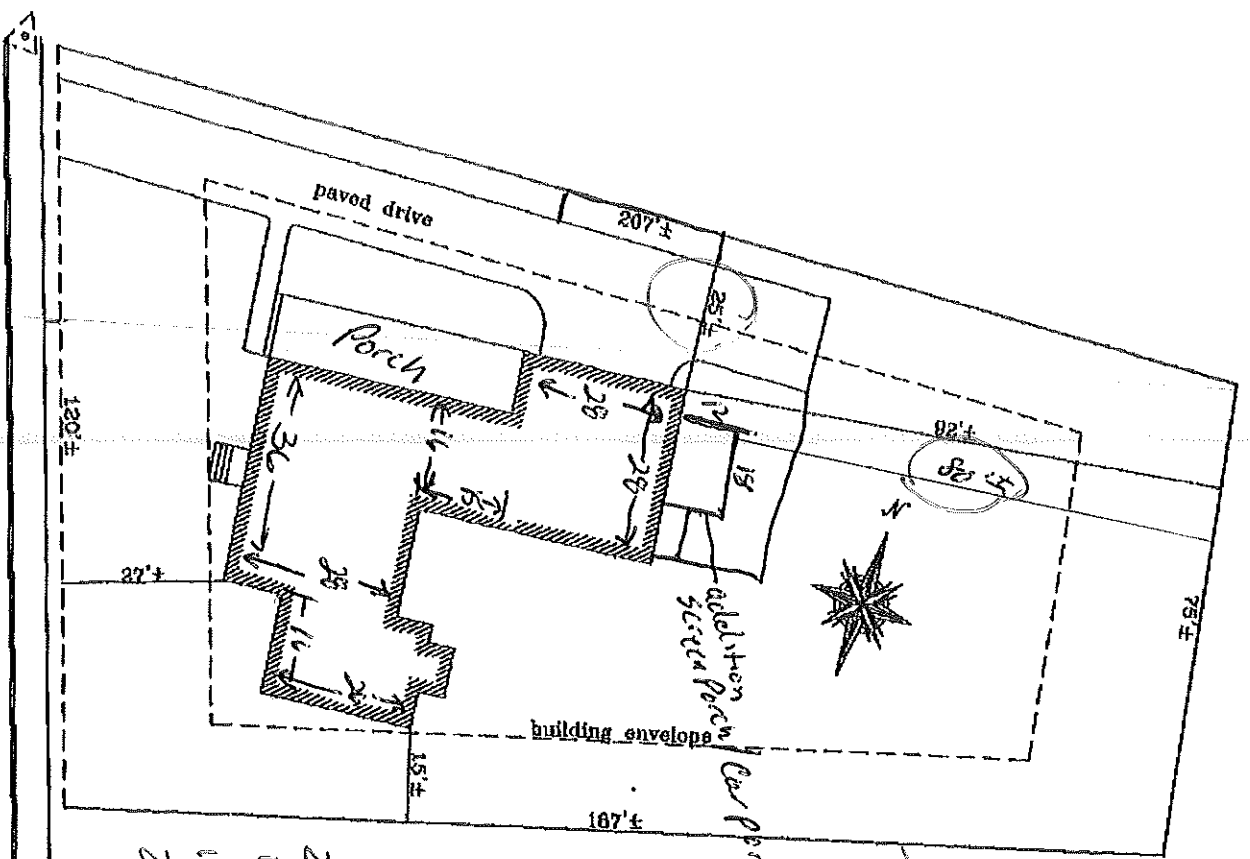
[Tax Map](#)

[Click here to view Tax Roll Information.](#)
Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!

THIS IS NOT A BOUNDARY SURVEY

No. 786-38



R-2
 25' x 14' min - 25' x 18' min
 18944 x 209 = 3780.87
 water

28 x 36 = 1008
 16 x 26 = 416
 15 x 16 = 240
 28 x 28 = 784
 12 x 18 = 216

2664 P

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 RECEIVED
 JAN 19 2005

Summit Street

sewer manhole

sewer manhole

Date 5-13-98 Scale 1"=30' Drawn by AC

Titcomb Associates Falmouth, Maine

Place Addition
173 Summit Street
Portland, Maine
Date: 2-9-05
Job #: C-475
Dr. By: KMJ
Sheet: 2 of 3

Appendum to:

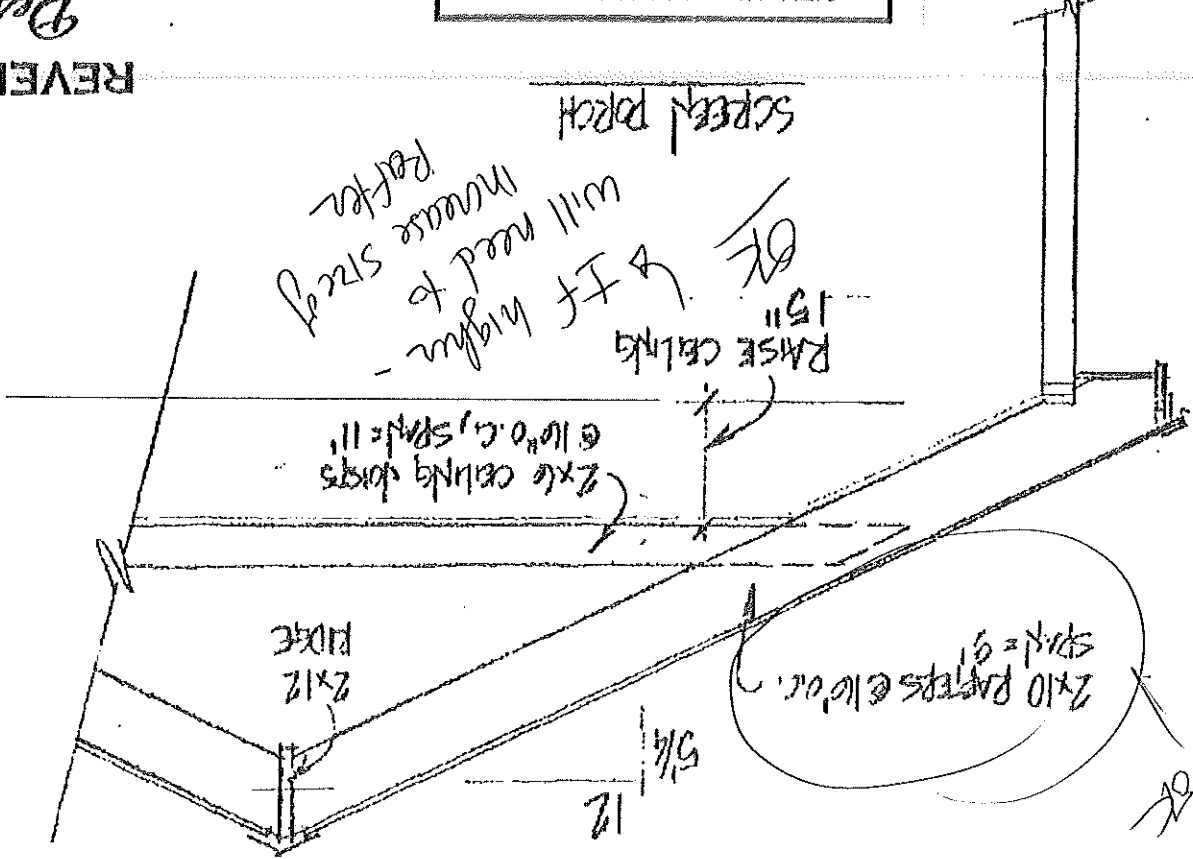
CUSTOM HOME PLANS & CERTIFIED & INSURED
10 CHARLES STREET LEWISTON, MAINE 04240
PHONE & FAX (207) 783-7021
AMERICAN INSTITUTE OF BUILDING DESIGN

REVELWOOD
Designers

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
FEB 10 2005
SUPERSEDES ALL
PRIOR DATED PLANS

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
RECEIVED
FEB 9 2005

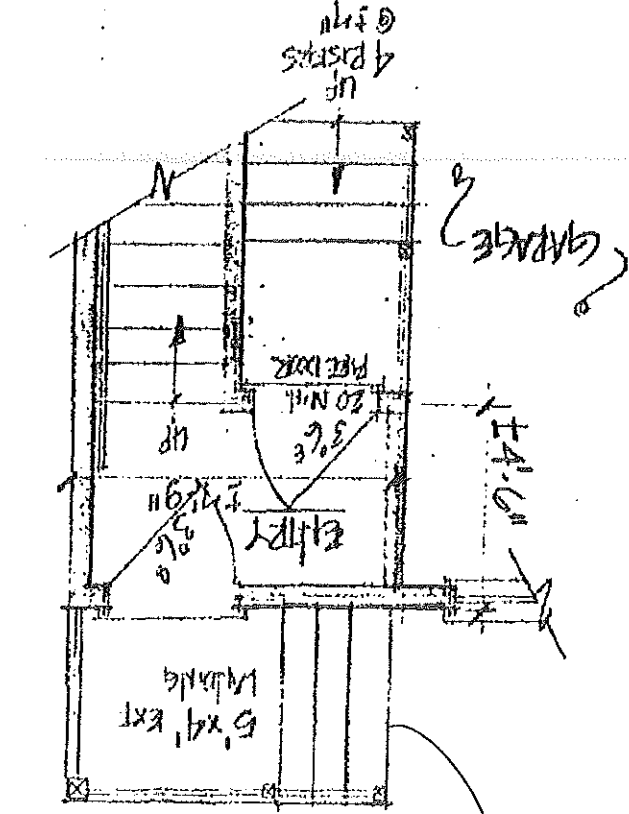
SCREEN PORCH ROOF REVISION
SCALE: 1/2" = 1'-0"



Place Address
173 Summit Street
Portland, Maine

Addendum to:
Job #: C-475
Rev. D.../R.M.1

GARAGE Entry PLAN
SCALE: 1/4" = 1'-0"



Rise max 73 1/4"
Run 10" min
4" spaces

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
FEB 10 2005
SUPERSEDES ALL
PRIOR DATED PLANS

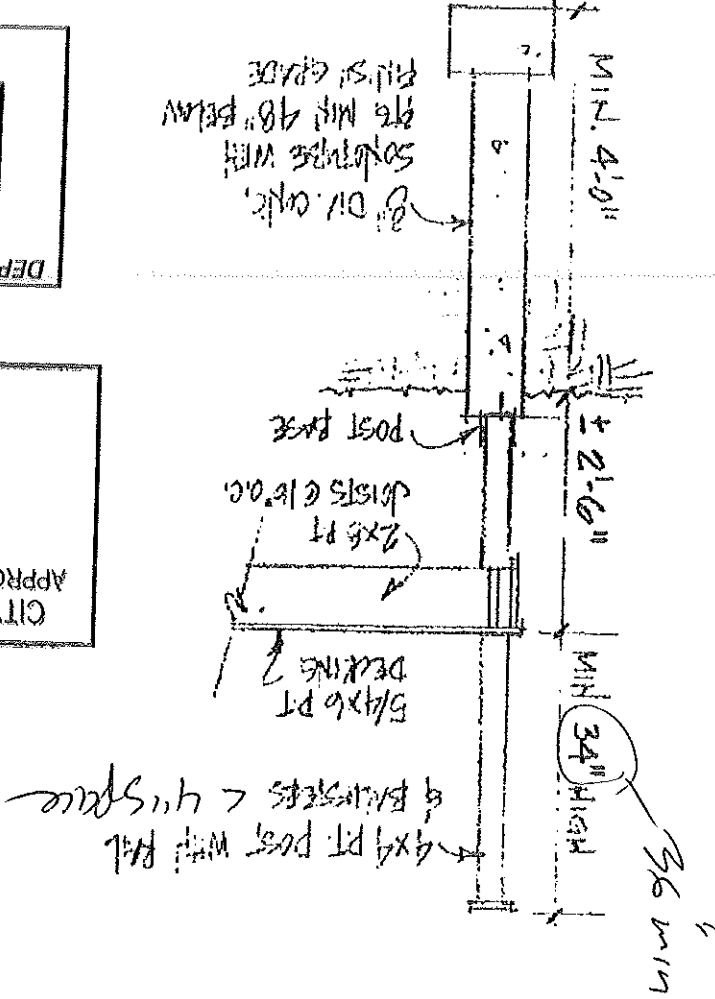
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
FEB 9 2005
RECEIVED

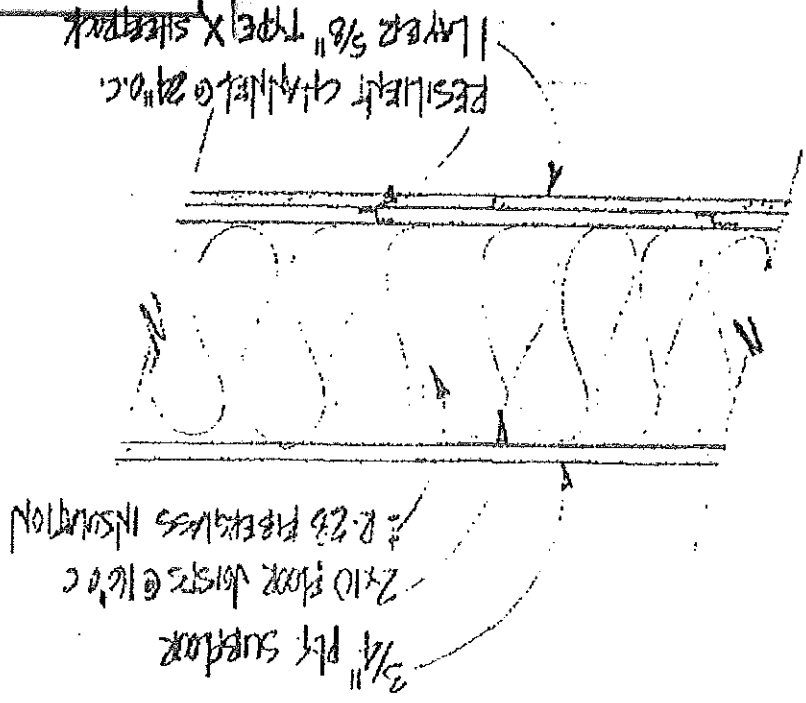
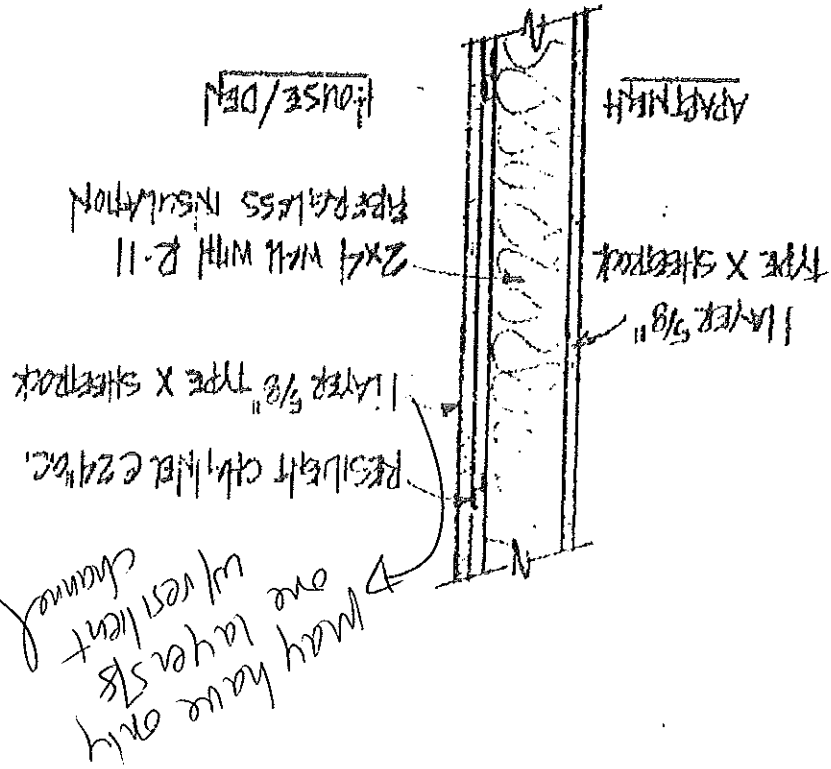
REVELWOOD

Designers

CUSTOM HOME PLANS & CERTIFIED & INSURED

EXTERIOR DECK DETAIL
SCALE: 1/2" = 1'-0"





Common Wall Assembly
 SCALE: 1/2" = 1'-0"

CEILING/FLOOR Assembly
 SCALE: 1/2" = 1'-0"

CITY OF PORTLAND, MAINE
 APPROVED CONSTRUCTION PLANS
 FEB 10 2005
 SUPERSEDES ALL
 PRIOR DATED PLANS

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 RECEIVED
 FEB 9 2005

Addendum for:
 Job #: C-475
 Dr. By: KMJ
 Date: 2-9-05

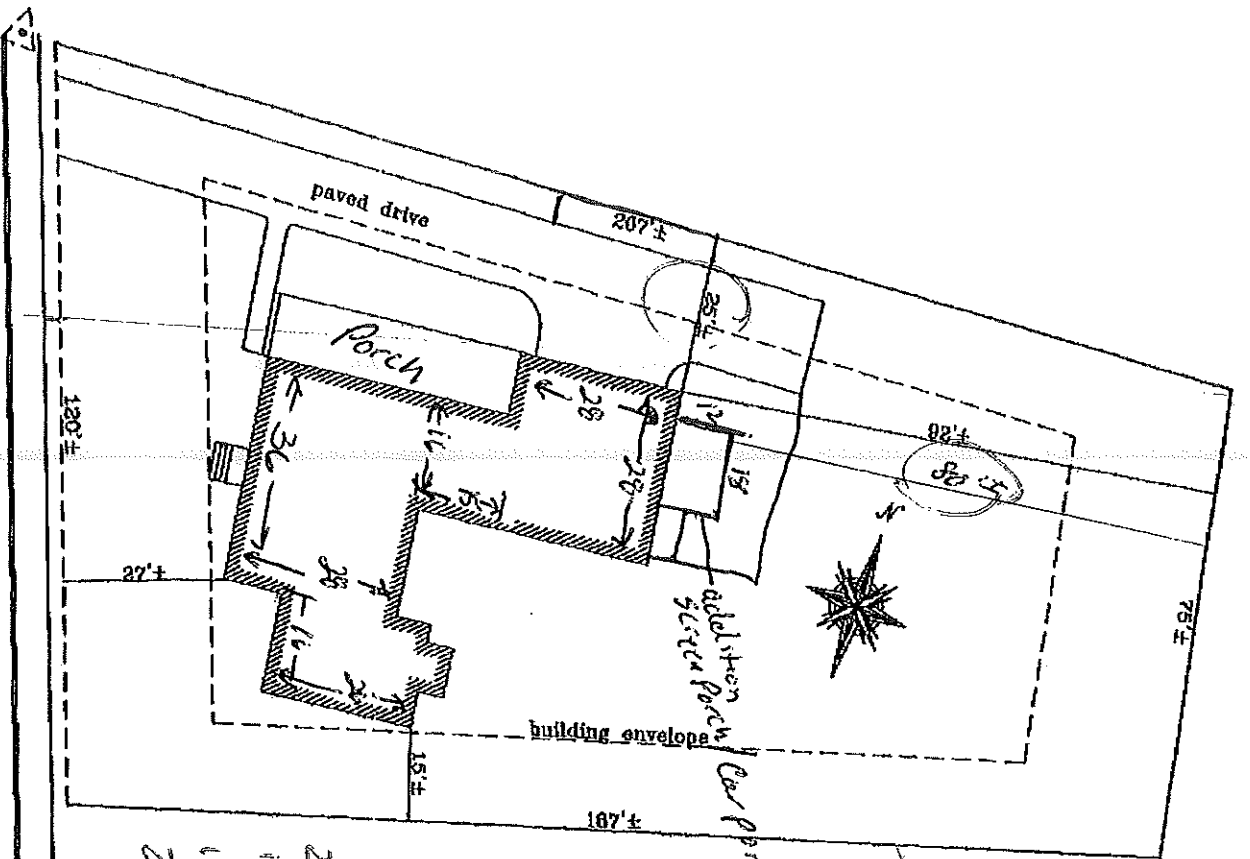
Place Addition
 173 Summit Street
 Portland, Maine
 Sheet: 1 of 3

CUSTOM HOME PLANS • CERTIFIED & INSURED
 18 CHARLES STREET LEWISTON, MAINE 04240
 PHONE & FAX (207) 783-7021
 AMERICAN INSTITUTE OF BUILDING DESIGN

REVELWOOD
 Designs

THIS IS NOT A BOUNDARY SURVEY

No. 786-88



R-2
 20' x 25' = 500 sq ft - 25' x 14' = 350 sq ft
 107' x 20' = 2140 sq ft
 107' x 20' = 2140 sq ft
 107' x 20' = 2140 sq ft

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 RECEIVED
 JAN 19 2005

28 x 36 = 1008
 16 x 26 = 416
 15 x 16 = 240
 29 x 28 = 784
 12 x 18 = 216

2664 sq ft

Summit Street

sewer manhole

sewer manhole

water line

Date 5-13-98 Scale 1"=50' Drawn by AC

T Titcomb Associates Falmouth, Maine

CITY OF PORTLAND, MAINE
ZONING BOARD OF APPEALS

Patric Santene, Chair
Catherine Alexander, Secretary
Derek Gambler
Joe Lewis
William Hall
Daniel Mitchell
Peter Thornton

November 8, 2004

Charles Place
173 Summit Street
Portland, ME 04103

RE: 173 Summit Street
CBL: 396-F-009
ZONE: R-2

Dear Mr. Place:

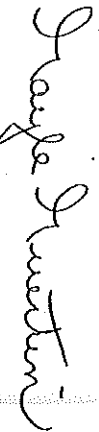
As you know, at its November 4, 2004, meeting, the Board of Appeals voted 5-0 to approve your Conditional Use Appeal, to allow to use the unfinished space above the garage of your existing home.

You will need to apply for a Building Permit to finish the space above your garage. I have enclosed a permit application for your convenience. The permit must be issued before construction begins.

Enclosed is a copy of the Board's decision.

Should you have any questions please feel free to contact me at 207-874-8701.

Sincerely,



Gayle Guertin
Office Assistant

COMMENTS

7/19/99 - Pre Con w/owner - went over plans, setbacks, requirements, & required inspections - Told him we need the following letters -
 ① Design on all prefab laminates & beams ② Surveyors letter setting fence.
 7/20/99 Called for Setback Snap - No pin RIF - Couldnt get Setback on front -
 Talked w/owner - he will contact Tutcomb Assoc & resolve B-4 footing power ①
 Note: Pg 2 of "Bldg Permit Report" Missing - Refer to BOCA 1/2 DWG Report for
 conditions ①
 7/20/99 PM - Called back - Tutcomb Assoc Set lines out - Setbacks ok ①
 M. to Power ①
 8- -99 - Backfill insp - damproofing ok - drain tile installed - not
 tied in yet - discussed w/owner - OK to backfill 7M
 8/18/99 - did framing for Chimney - all ok ①
 11-18-99 - went to site Bldg almost complete. Still needs: 1. stairs for fireplace 2. Handrails JL
 12/29/99 - Final insp. all ok. waiting for Steve Bushley memo on exterior issues JL

Inspection Record	
Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

Issued to Charles & Joanne Place

LOCATION 173 Summit Street 396-F-009

Date of Issue January 12 2000

This is to certify that the building, premises, or part thereof, at the above location, built - altered - changed as to use under Building Permit No. 990630, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

single family dwelling with
attached garage

Use group R-3 Type 5B Boca 96

Limiting Conditions:

This is a temporary C of O that will expire on 6/30/00. Permanent grass must be in place before that time

This certificate supersedes
certificate issued

Approved:

1/12/00

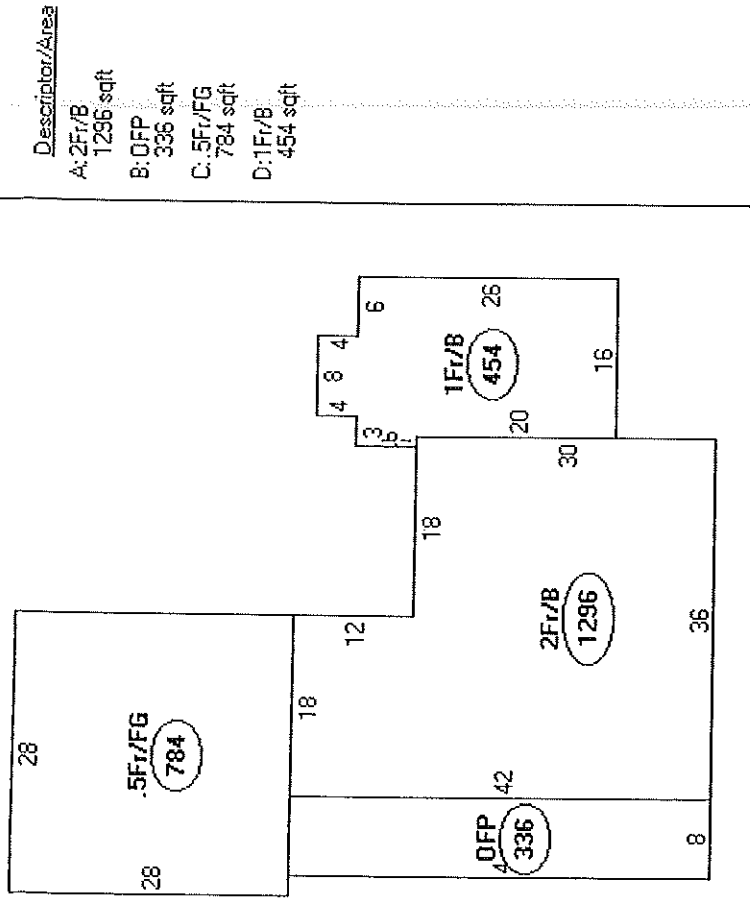
(Date)

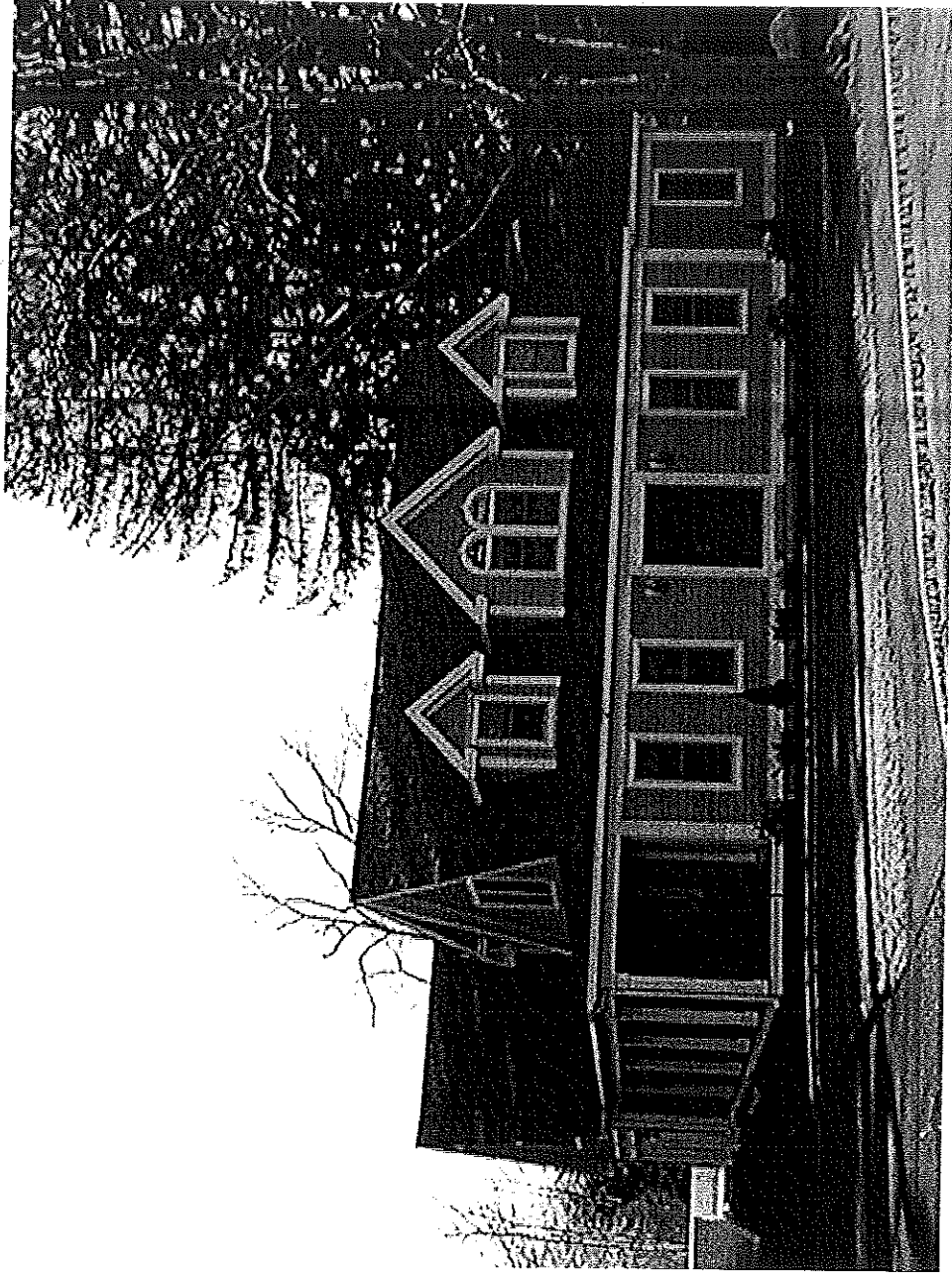
J. Reed
Inspector

R. Samuel
Inspector of Buildings

MRS 01/12/00

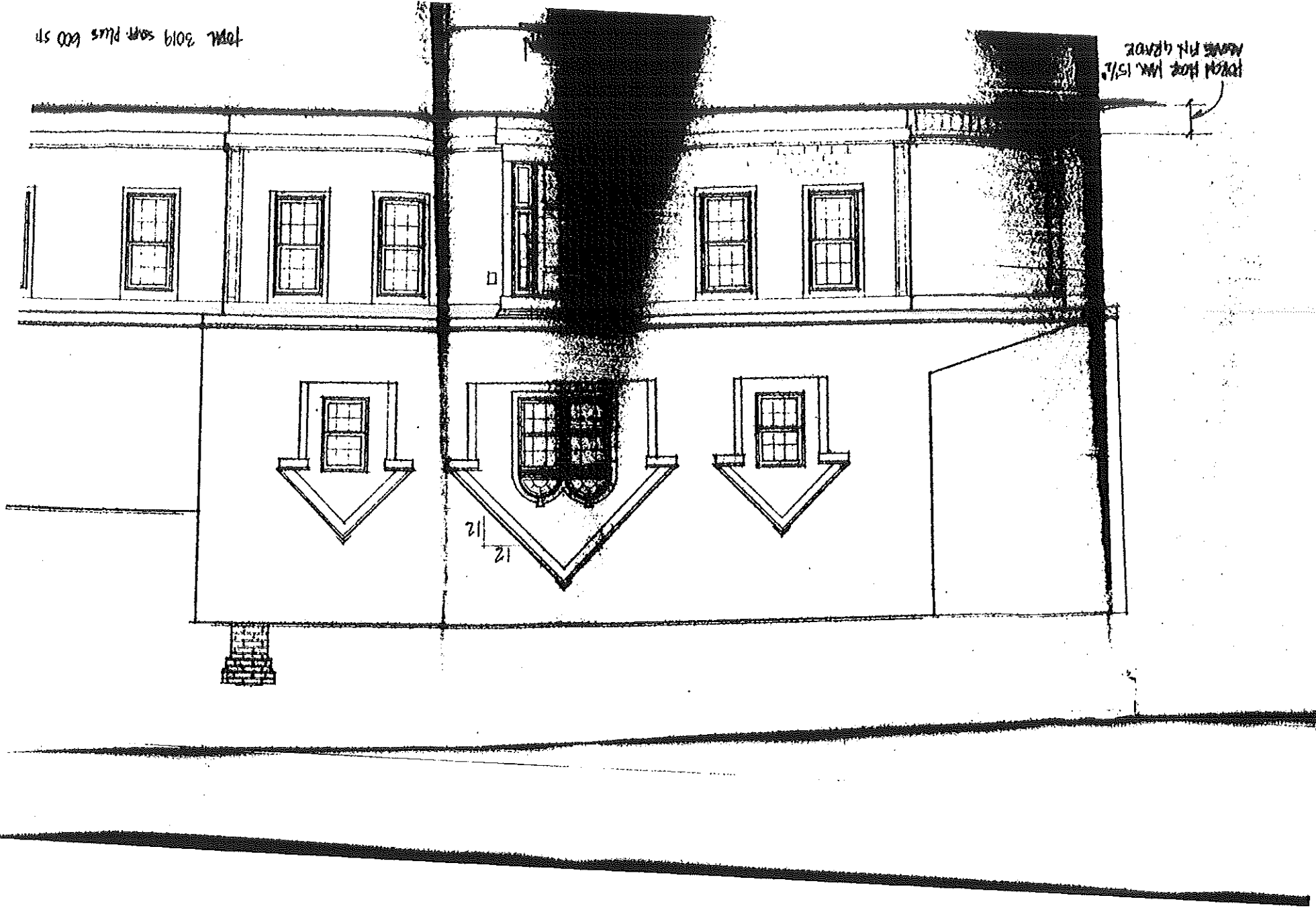
Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or leasee for one dollar.





total 3019 sqft plus 600 sqft

total floor area 1572 sqft plus 400 sqft





APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

Applicant Charles Place

Application Date 2/1/05

Applicant's Mailing Address 173 Summit St

Project Name/Description 173 Summit St

Consultant/Agent/Phone Number 77-0347

Address of Proposed Site 173 Summit St

CBL: 396-F-9

Description of Proposed Development: Adding Subcontract unit for the benefit of elderly (60 yrs+) on handicap person - ZBA APPROVED 11/4/02

Please Attach Sketch/Plan of Proposal/Development

Applicant's Assessment
(Yes, No, N/A)

Planning Office
Use Only

Criteria for Exemptions:
See Section 14-523 (4) on back side of form

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/Comply with ADA
- e) No Additional Parking/ No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

	✓
	✓
	✓
	✓
	✓
	✓
	✓
	✓
	✓
	✓
	✓
	✓

Planning Division Use Only

Exemption Granted

Partial Exemption

Exemption Denied

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

FEB 10 2005

RECEIVED

Planner's Signature [Signature]

Date 2/1/05

White - Planning Office

Pink - Inspections

Yellow - Applicant

ELECTRICAL PERMIT City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland Electrical Ordinance, National Electrical Code and the following specifications:

Date 4/16/05
Permit # 054294
CBL # 396 FE 0009

LOCATION: 173 SUMMIT ST METER MAKE & # _____
CMP ACCOUNT # _____ OWNER CHARLES + JEANNE PACE
TENANT _____ PHONE # 797-0347

	OUTLETS	FIXTURES	SERVICES	TEMPORARY SERVICE	METERS	MOTORS	RESID/COM	HEATING	APPLIANCES	MISC. (number of)	PANELS	TRANSFORMER	MINIMUM FEE/COMMERCIAL	TOTAL AMOUNT DUE	MINIMUM FEE
	30	20	2	52	20	10.40							45.00	35.00	35.00
		Receptacles	Switches	Smoke Detector											
	14	Incandescent	Fluorescent	Strips	14	20	2.80								
		Overhead	Underground	TTL AMPS	<800	15.00									
		Overhead	Underground	TTL AMPS	>800	25.00									
		Overhead	Underground	TTL AMPS		25.00									
		Underground	Underground	TTL AMPS		25.00									
		Overhead	Underground	TTL AMPS		25.00									
		(number of)				1.00									
		(number of)				2.00									
		Electric units				1.00									
		oil/gas units	Interior	Exterior		5.00									
		Ranges	Cook Tops	Wall Ovens	1	2.00	2.00								
		Insta-Hot	Water heaters	Fans	1	2.00	2.00								
		Dryers	Disposals	Dishwasher	3	2.00	6.00								
		Compactors	Spa	Washing Machine	1	2.00	2.00								
		Others (denote)				2.00									
		Air Cond/win		Pools		3.00									
		Air Cond/cent		Thermostat		10.00									
		HVAC	EMS			5.00									
		Signs				10.00									
		Alarms/res				5.00									
		Alarms/com				15.00									
		Heavy Duty(CRKT)				2.00									
		Circus/Carry				25.00									
		Alterations				5.00									
		Fire Repairs				15.00									
		E Lights				1.00									
		E Generators				20.00									
		Service	Remote	Main	1	4.00	4.00								
		0-25 Kva				5.00									
		25-200 Kva				8.00									
		Over 200 Kva				10.00									
		MINIMUM FEE/COMMERCIAL	45.00												
		TOTAL AMOUNT DUE				35.00									
		MINIMUM FEE													

CONTRACTOR'S NAME PACE Electric Inc MASTER LIC. # 10626
 ADDRESS 173 Summit St Portland LIMITED LIC. # _____
 TELEPHONE 797-9954
 SIGNATURE OF CONTRACTOR [Signature]

ELECTRICAL PERMIT City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland Electrical Ordinance, National Electrical Code and the following specifications:

Date 4/6/05
Permit # 054294
CBL # 396 F 009

LOCATION: 173 SUMMIT ST METER MAKE & # _____
CMP ACCOUNT # _____ OWNER Charles + JEANNE RACE
TENANT _____ PHONE # 797-0347

				TOTAL EACH FEE					
OUTLETS	30	Receptacles	20	Switches	2	Smoke Detector	52	.20	10.40
FIXTURES	14	Incandescent		Fluorescent		Strips	14	.20	2.80
SERVICES		Overhead		Underground		TTL AMPS	<800	15.00	
		Overhead		Underground			>800	25.00	
Temporary Service		Overhead		Underground		TTL AMPS		25.00	
METERS		(number of)						25.00	
MOTORS		(number of)						1.00	
RESID/COM		Electric units						2.00	
HEATING		oil/gas units		Interior		Exterior		1.00	
APPLIANCES	1	Ranges		Cook Tops		Wall Ovens		5.00	2.00
		Insta-Hot		Water heaters	1	Fans	1	2.00	2.00
	1	Dryers		Disposals	1	Dishwasher	3	2.00	6.00
		Compactors		Spa	1	Washing Machine	1	2.00	2.00
MISC. (number of)		Others (denote)						2.00	
		Air Cond/win				Pools		3.00	
		Air Cond/cent				Thermostat		10.00	
		HVAC		EMS				5.00	
		Signs						10.00	
		Alarms/res						5.00	
		Alarms/com						15.00	
		Heavy Duty(CRKT)						2.00	
		Circus/Carnv						25.00	
		Alterations						5.00	
		Fire Repairs						15.00	
		E Lights						1.00	
		E Generators						20.00	
PANELS		Service		Remote	1	Main	1	4.00	4.00
TRANSFORMER		0-25 Kva						5.00	
		25-200 Kva						8.00	
		Over 200 Kva						10.00	
TOTAL AMOUNT DUE									35.00
MINIMUM FEE/COMMERCIAL 45.00									35.00

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
APR - 6 2005
RECEIVED

CONTRACTORS NAME PLAGE ELECTRIC INC MASTER LIC. # 106226
ADDRESS 173 SUMMIT ST PORTLAND
TELEPHONE 797-9954 LIMITED LIC. # _____

SIGNATURE OF CONTRACTOR [Signature] # call
White Copy - Office • Yellow Copy - Applicant

PLUMBING APPLICATION

PROPERTY ADDRESS

Town Or Plantation: PORTLAND

Street: 173 SUMMIT ST

Subdivision Lot #: _____

PROPERTY OWNERS NAME _____

Last: POLE First: CHARLES

Applicant Name: MADE OFFER WITHIN

Mailing Address of Owner/Applicant (if Different): 9 BROOKMAN DR CAMDEN ME 04821

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant: Charles Pole

Date: 2-8-05

Local Plumbing Inspector Signature: _____

Date Approved: _____

Caution: Inspection Required
I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

PORTLAND PERMIT # 058130 TOWN COPY

Date Permit Issued: 4/19/05 \$ 14200 If Double Fee Charged

Local Plumbing Inspector Signature: [Signature] L.P.L. # 26411

3966 009

PERMIT INFORMATION

This Application is for 1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	Type Of Structure To Be Served: 1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER — SPECIFY _____	Plumbing To Be Installed By: 1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER / MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # <u>6123211</u>
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Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Number	Column 2 Type of Fixture		Column 1 Type of Fixture	
		Hosebibb / Silcock	Floor Drain	Bathub (and Shower)	Shower (Separate)
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District. OR HOOK-UP: to an existing subsurface wastewater disposal system.		Drinking Fountain		Wash Basin	
		Indirect Waste		Water Closet (Toilet)	
		Water Treatment Softener, Filter, etc.		Clothes Washer	
		Grease / Oil Separator		Dish Washer	
PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures. Number of Hook-Ups & Relocations		Dental Cuspidor		Garbage Disposal	
		Bidet		Laundry Tub	
Hook-Up & Relocation Fee OR TRANSFER FEE [§6.00]		Other: _____		Water Heater	
		Fixtures (Subtotal) Column 2		Fixtures (Subtotal) Column 1	

Fixtures (Subtotal) Column 2	\$ 6
Total Fixtures	\$ 6
Fixture Fee	\$
Transfer Fee	\$
Hook-Up & Relocation Fee	\$ 521
Permit Fee (Total)	\$ 527

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE