

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 0210417
Issue Date: JUN 2002
CBL: 393 1002001

Location of Construction: 15 Whaleboat Rd
Owner Name: Leavitt Frederick J &
City of Portland
Phone: 207-797-8784

Business Name: Prestige Pools
Contractor Name: PO Box 7978 Lewiston
Phone: 2077974858

Lessee/Buyer's Name: Phone:
Permit Type: Swimming Pools
Zone:

Past Use: single family
Proposed Use: install 16' x 32' swimming pool (in-ground)
Permit Fee: \$142.00
Cost of Work: \$17,000.00
CEO District: 2
INSPECTION: Use Group: U Type: Pool
Signature: [Signature] Date: [Date]

Proposed Project Description: install 16' x 32' swimming pool (in-ground)
Signature: [Signature] Date: [Date]
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: Approved Approved w/Conditions Denied
Signature: [Signature] Date: [Date]

Permit Taken By: jodinea
Date Applied For: 04/24/2002
Zoning Approval

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

| Special Zone or Reviews | Zoning Appeal | Historic Preservation |
|--|--|---|
| <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 6/3/02 | <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: 6/3/02 | <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 6/3/02 |

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

Application ID Number: 2-0417

Department: Building Status: Approved Reviewer: Tammy Munson

Comments: Approval Date: 06/03/2002

Empty rectangular box for comments.

Given On Date: 05/01/2002

OK to Issue Permit Name: Tammy Munson Date: 06/03/2002 Date 2:

Conditions Section:

Access gates shall comply with Section 421.0 of the 1999 BOCA Building Code as discussed with Moralea with
Also, doors from house accessing the pool enclosure must have alarms in compliance with Section 421.0 of the
1999 BOCA

Create Date: 04/30/2002 By: Jodinea Update Date: 06/04/2002 By: tm

| | | | | | | | |
|-----------|---------|-------------|------------|-------|---------|---------|------------|
| CreatedBy | jodinea | CreatedDate | 04/30/2002 | ModBy | jodinea | ModDate | 04/30/2002 |
|-----------|---------|-------------|------------|-------|---------|---------|------------|

| | | | | |
|------------|-------------|--------------------------|----------------|----------------|
| Permit-Nbr | 02-0417 | Location of Construction | 15 | Wholeboat Rd |
| Status | Pending | Permit Type | Swimming Pools | |
| GBL | 393 J002001 | Territory Nbr | 2 | Estimated Cost |
| | | | | \$17,000.00 |
| | | | | Date Closed |
| | | | | Issue Date |
| | | | | Appl. Date |
| | | | | 04/24/2002 |

| | | | | | |
|------|-------|--------|-------|------|-------|
| Prmt | 40362 | Text93 | 20417 | Num1 | 20417 |
|------|-------|--------|-------|------|-------|

| | | | | | | | | | |
|--------|----------|-----|------|--------|--------------|--------------|------------|-----------|-------|
| Delete | Schedule | Add | Find | Images | Print Permit | Print C of O | Print Insp | Toxes Due | Close |
|--------|----------|-----|------|--------|--------------|--------------|------------|-----------|-------|

| | | | |
|--------------|--------------------------|----------------|--|
| Comment Date | 06/04/2002 | Comment | Spoke with Steve Early from Public Works. He stated the property owners posted a bond to resolve the damage don to the City sidewalks and property by their contractor. Ok to release permit at this time. |
| Name | lm | Follow Up Date | |
| Completed | <input type="checkbox"/> | | |

| | | |
|-----|--------|------|
| Add | Delete | Save |
|-----|--------|------|

4/24/02

Pool Packet Given to Mona Leavitt

08-0417

~ m

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

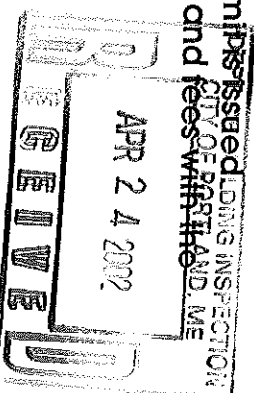
| | | | |
|---|---|---|--------------------------------|
| Location/Address of Construction: <u>15 Whaleback Rd Port, Me</u> | | Square Footage of Lot: <u>26 acres</u> | |
| Total Square Footage of Proposed Structure: <u>16 x 32</u> | | Square Footage of Lot: <u>26 acres</u> | |
| Tax Assessor's Chart, Block & Lot Chart# <u>393</u> Block# <u>5</u> Lot# <u>002</u> | Owner: <u>Frederick & Mona Leavitt</u> | Telephone: <u>797-8784</u> | |
| Lessee/Buyer's Name (If Applicable) | | Applicant name, address & telephone: <u>Fred & Mona Leavitt</u> <u>15 Whaleback Rd</u> <u>Port, Me</u> | Cost Of Work: \$ <u>17,000</u> |
| Current use: <u>back yard</u> | | Fee: \$ <u>142-</u> | |
| If the location is currently vacant, what was prior use: _____ | | | |
| Approximately how long has it been vacant: _____ | | | |
| Proposed use: <u>pool - 16' Ground 16' x 33'</u> | | | |
| Project description: _____ | | | |
| Contractor's name, address & telephone: <u>Prestige Pools - Don Asselin 353-7646</u> <u>51 Lisbon Rd, Lisbon, Me</u> | | | |
| Who should we contact when the permit is ready: <u>Fred or Mona Leavitt</u> | | | |
| Mailing address: <u>15 Whaleback Rd, Port, Me 04103</u> | | | |
| We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>797-8784</u> | | | |
| When ready <u>*</u> | | | |

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

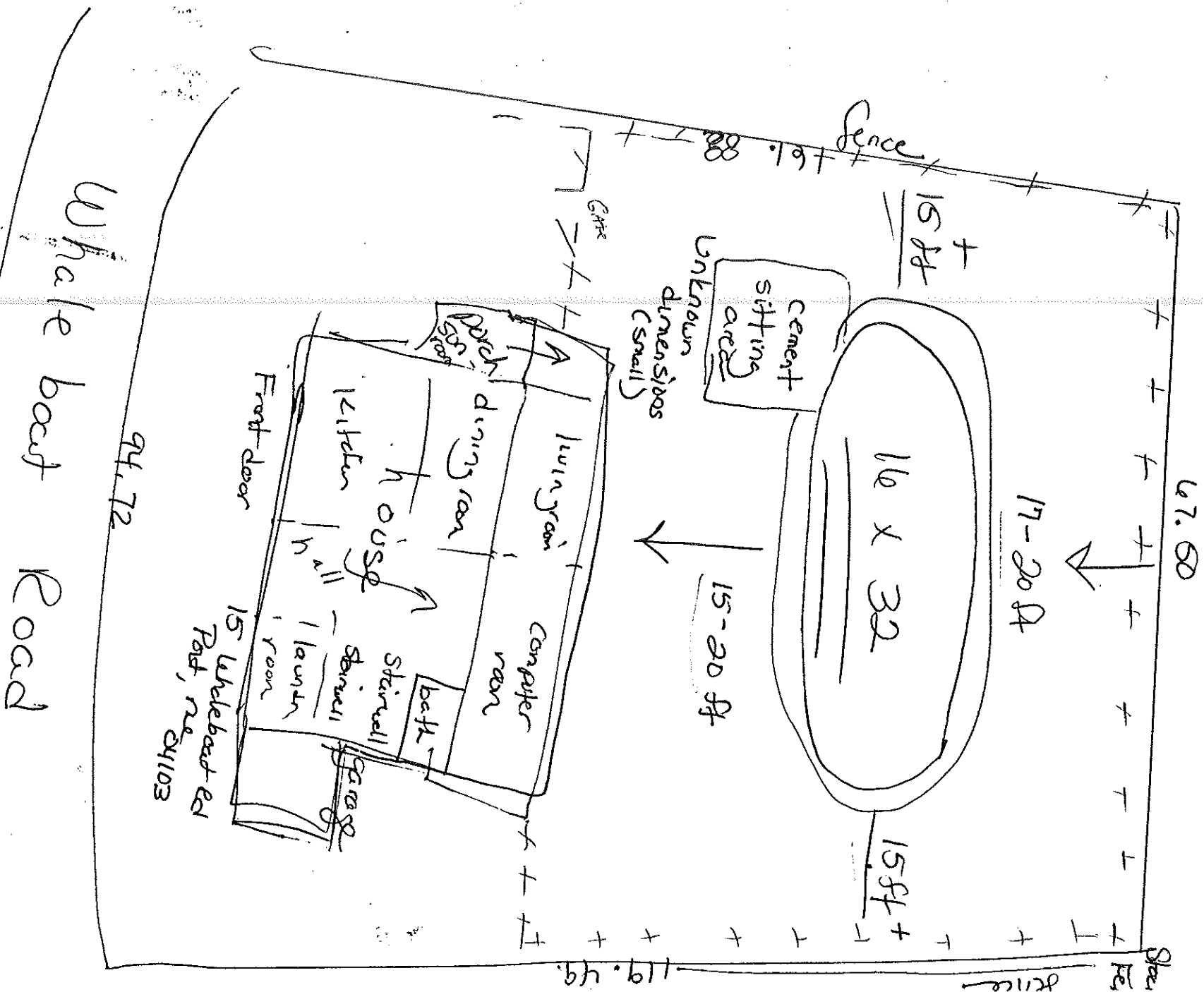
| | |
|--|----------------------|
| Signature of applicant: <u>[Signature]</u> | Date: <u>4/23/02</u> |
|--|----------------------|

This is NOT a permit, you may not commence ANY work until the permit is issued. Issued stamp: APR 24 2002. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall.



No easements etc

4/23/02



15 ft driveway

44 ft = 4(11) Fence

Whaleboat Road

94.72

15 Whaleboat Rd
Pct, No 24103

Front door

laundry

stairs

bath

computer room

living room

dining room

kitchen

porch

gate

15-20 ft

15 ft

15 ft

15 ft

15 ft

15 ft

15 ft

15 ft

15 ft

15 ft

15 ft

15 ft

15 ft

15 ft

67.80

17-20 ft

16 x 32

fence

Cement sitting area
Unknown dimensions (small)

Gate

See drive

Agreement

INSTALL
5/2/02

Prestige Pools Inc.

P. O. Box 7978
Lewiston, ME 04243
(207) 786-2374

51 Lisbon Rd.
Lisbon, ME 04250

SUBMITTED TO Mona Leavitt PHONE 797-8784 DATE 4-6-02

STREET 15 Whalabaugat Rd JOB NAME

CITY, STATE AND ZIP CODE Dixfield Me 04103 JOB LOCATION

THIS CONTRACT IS SUBJECT TO AND GOVERNED BY THE GENERAL AGREEMENT, PROVISIONS AND CONDITIONS OF PRESTIGE POOLS, INC. WHICH IS ATTACHED ON THE REVERSE SIDE OF THIS AGREEMENT.

16x32 OVAL INDOOR POOL installed

Pool walls, Airman, deck support, coping

Concrete receptor cap

20 mil nrg liner: Mediterranean tile

Jacuzzi, Tri-Claps Element filter w/1 hp pump

Stainless steel ladder w/ sockets

Wd weather slimmer + rebar

Flexible PVC plumbing

Main drain

Ugeline w/ floats

Maintenance equipment

Underwater pool light

4x8 Royal stairs w/ hand rail

Clanitec Nature 2 Purifier & Auto Water Feeder

3' Poured concrete Patio

Concrete collar fishing around perimeter of pool

Vermiculite pool base bedding

Buysig Support Program

205,000 BTU propane heater

Solar cover

EXTRAS: PERMIT, WATER

FILL POOL, CHEMICALS

DECKING, LAMIN +

DR Head Me 04103

16x32 OVAL INGROUND PDD1 installed

Pool walls, Abrams, deck supports, coping

concrete receptor coping

20 mil wfl liner: med. thermal tile

Jaccuzi, Tri-Clips Element Filter w/1 hp pump

Stainless steel ladder w/ sockets

Weldments skimmer + return

flexible PVC plumbing

Main Drain

Lifeline w/ floats

Maintenance equipment

Underwater pool light

4x8 Reveal stairs w/ hand rail

Clanitic Nature 2 Purifier & New Water Feature

3' Poured concrete PDDs

Concrete collar fishing around perimeter of pool

Vermiculite pool base bedding

Buget Support Program

205,000 BTU propane heater

Solar cover

Extras: Permit, water to fill pool, chemicals, beach chairs, lawn + seed, fit landscaping or but lawn edge removal - see reverse page

PRICE FOR ALL ABOVE LISTED POOL/PATIO ITEMS \$ 17696.85

PAYMENT TO BE MADE AS FOLLOWS, PER THE TERMS FOUND IN PRESTIGE POOLS, INC. GENERAL PROVISIONS - SEE REVERSE PAGE

176969 upon signing 310 w/18 1/2 year start 3176969 upon liner install
3539.36 upon PDDs in start date

PRESTIGE POOLS, INC.

OWNERS

Prestige Pool line

Holly & Alaine

Mrs. O Spawth

ATED

4/16/02

PRINT NAME

Mrs. A Leavitt

PRINT NAME

DATED 4/16/02

Prestige Pools, Inc.
51 Lisbon Road - Lisbon, ME 04250
(207) 353-7646

FAX TRANSMITTAL

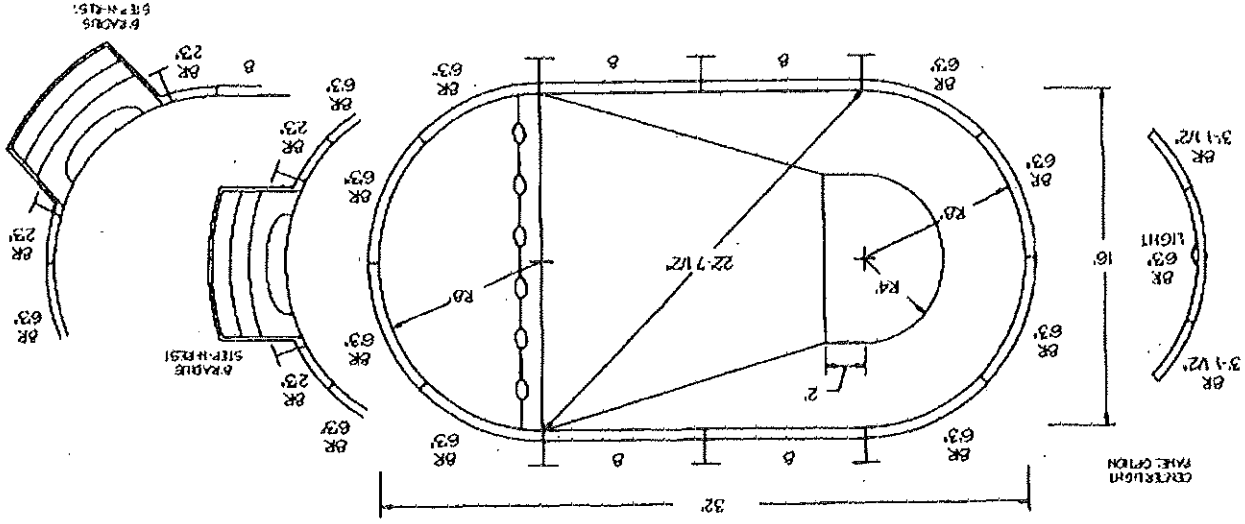
TO: T Munson
FROM: Don Asselin
DATE: 5/24/02
SUBJ: Pool Contact Leavitt
PAGES INCLUDING COVER: 2

This is the info you asked
for please give me a call
if you have any questions

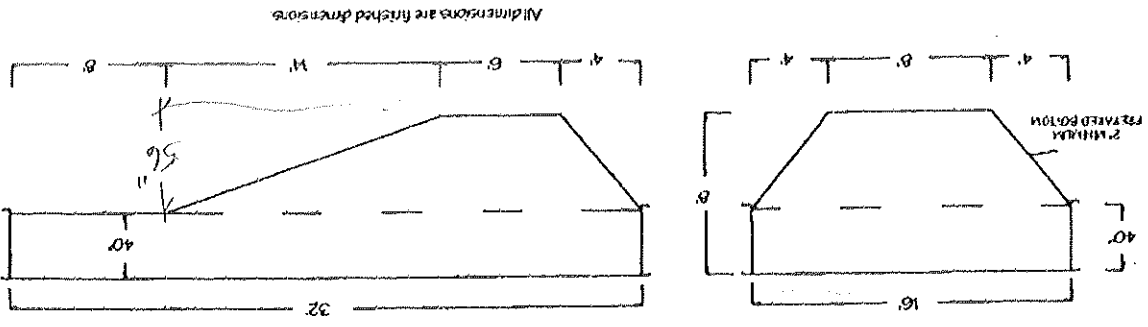
Thanks
Don

Should you have any questions, or if you did not receive
all pages faxed, please call us at (207) 353-7646.

550 SERIES • TRUE OVAL • 16 X 32



T - A-FRAME BRACE



56/108

April 2001

SCALE

1" = 1'

| DESCRIPTION | AL | OVAL W/STR |
|-----------------------------|----|------------|
| 8" Plain Panel | | |
| 8" Skinner Panel | | |
| 8" Return Panel | | |
| 8" Radius Panel 5.1" | | |
| 8" Radius Panel 3.3" | | |
| 8" Radius Panel 2.3" | | |
| 4" Plain Panel | | |
| 2" Plain Panel | | |
| 8" Rad. Rim. Pnl. 6.3" | | |
| Adjustable A-Frame | | |
| Nut & Bolt Pack | | |
| 8" 4 Trd Radius Step-n-Rest | | |
| 8" Radius Panel 3' 1.1/2" | | |
| 8" Radius 6.3" Lym Cur Cur | | |
| 4" Light Panel | | |
| 2" Light Panel | | |

2073537031

SAFETY NOTE

For the height of backfill to exceed the height of the panel width by a minimum of 4"

Do not backfill to exceed the height of the panel width by more than 6"

Backfill by more than 6"

Eye of the backfill

For the safety of the user, the equipment must be used in accordance with the instructions provided in the manual. The equipment is not to be used for any purpose other than that intended. The manufacturer is not responsible for any damage or injury resulting from the use of the equipment. The equipment is not to be used for any purpose other than that intended. The manufacturer is not responsible for any damage or injury resulting from the use of the equipment.

393-5-2

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initiating at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8692 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection: Prior to pouring concrete

Re-Bar Schedule Inspection: Prior to pouring concrete

Foundation Inspection: Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a ~~\$75.00~~ fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection
 If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Mar. O. Sheard 4/10/02
Signature of applicant/designee Date
John Bluns 4/10/02
Signature of Inspections Official Date

CBL: 393 5002 Building Permit #: 020217

Inspection Services
Michael J. Nugent
Manager

Housing & Neighborhood Services
Mark Adelson
Director



CITY OF PORTLAND
STOP WORK NOTICE

May 17, 2002

Fredrick Leavitt
15 Whaleboat Road
Portland, Maine 04103

RE: 15 Whaleboat Road
CBL: 393-J-002

HAND DELIVER

Dear Mr. Leavitt:

An evaluation of the property at 15 Whaleboat Avenue revealed that the property fails to comply with Section 107.1 of the 1999 BOCA Building Code of the City of Portland. Section 107.1 states that "An application shall be submitted to the code official for the following activities, and these activities shall **not commence without a permit being issued in accordance with Section 108.0**". You will find these sections attached and highlighted.

This is a **STOP WORK ORDER** pursuant to Section 116.0 of the 1999 BOCA Building Code. All construction activity at the above referenced property must **STOP** immediately.

Construction may begin after the building permit application has been issued and this order has been lifted.

Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code and in Title 30-A M.R.S.A. Ss 4452. This constitutes an appealable decision pursuant to Section 1-16. (2) Of the City of Portland Code of Ordinances. Please feel free to contact me at 874-8708, if you wish to discuss the matter or have any questions.

Sincerely,

Kevin W. Carroll
Code Enforcement Officer

SECTION 107.0 APPLICATION FOR PERMIT

107.1 Permit application: An application shall be submitted to the code official for the following activities, and these activities shall not commence without a permit being issued in accordance with Section 108.0.

1. Construct or alter a structure.
2. Construct an *addition*.
3. Demolish or move a structure.
4. Make a *change of occupancy*.
5. Install or alter any equipment which is regulated by this code.
6. Move a *lot line* which affects an existing structure.

107.1.1 Repairs: Application or notice to the code official is not required for ordinary repairs to structures. Such repairs shall not include the cutting away of any wall, partition or portion thereof, the removal or cutting of any structural beam or loadbearing support, or the removal or change of any required *means of egress*, or rearrangement of parts of a structure affecting the egress requirements; nor shall ordinary repairs include *addition to, alteration of, replacement or relocation of any standpipe*, water supply, sewer, drainage, drain leader, gas, soil, waste, vent or similar piping, electric wiring or mechanical or other work affecting public health or general safety.

107.2 Form of application: The application for a permit shall be submitted in such *written* form as the code official prescribes and shall be accompanied by the required fee as prescribed in Section 112.0.

107.3 By whom application is made: Application for a permit shall be made by the *owner* or lessee of the building or structure, or agent of either, or by the *registered design professional* employed in connection with the proposed work. If the application is made by a person other than the *owner* in fee, it shall be accompanied by an affidavit of the *owner* or the qualified applicant or a signed statement of the qualified applicant witnessed by the code official or his designee to the effect that the proposed work is authorized by the *owner* in fee and that the applicant is authorized to make such application. The full names and addresses of the *owner*, lessee, applicant and the responsible officers, if the *owner* or lessee is a corporate body, shall be stated in the application.

107.4 Description of work: The application shall contain a general description of the proposed work, the location of the proposed work, the occupancy of all parts of the building or structure and of all portions of the site or *lot* not covered by the building or structure, provisions for *special inspections* required by Section 1705.0, and such additional information as required by the code official.

107.5 Construction documents: The application for permit shall be accompanied by not less than two sets of *construction documents*. The code official is permitted to waive the requirements for filing *construction documents* when the scope of the work is of a minor nature. When the quality of the materials is essential for conformity to this code, specific information shall be given to establish such quality, and this code shall not be cited, or the term "legal" or its equivalent used as a substitute for **specific information**.

107.6 Site plan: The application for permit shall be accompanied by a site plan showing to scale the size and location of all new construction and all existing structures on the site, distances from *lot lines*, the established street grades and the proposed finished grades; and it shall be drawn in accordance with an accurate boundary line survey. In the case of demolition, the site plan shall show all construction to be demolished and the location and size of all existing structures and construction that are to remain on the site or plot.

107.6.1 Private sewage disposal system: The site plan shall indicate the location of a private sewage disposal system where a public sewer is not available. All technical data and soil data required by the private sewage disposal code listed in Chapter 35 shall be submitted with the site plan.

107.7 Engineering details: The code official shall require to be filed adequate details of structural, mechanical and electrical work, including computations, stress diagrams and other essential technical data. All construction documents and engineering computations shall bear the date issued as well as the signature and seal of the registered design professional responsible for the design as required by Section 114.1.

107.8 Amendments to application: Subject to the limitations of Section 107.9, amendments to a plan, application or other records accompanying the same shall be filed at any time before completion of the work for which the permit is sought or issued. Such amendments shall be deemed part of the original application and shall be filed therewith.

107.9 Time limitation of application: An application for a permit for any proposed work shall be deemed to have been abandoned six months after the date of filing, unless such application has been diligently prosecuted or a permit shall have been issued; except that the code official shall grant one or more extensions of time for additional periods not exceeding 90 days each if there is reasonable cause.

SECTION 108.0 PERMITS

108.1 Action on application: The code official shall examine or cause to be examined all applications for permits and amendments thereto within a reasonable time after filing. If the application or the *construction documents* do not conform to the requirements of all pertinent laws, the code official shall reject such application in *writing*, stating the reasons therefor. If the code official is satisfied that the proposed work conforms to the requirements of this code and all laws and ordinances applicable thereto, the code official shall issue a permit therefor as soon as practicable.

108.2 Suspension of permit: Any permit issued shall become invalid if the authorized work is not commenced within six months after issuance of the permit, or if the authorized work is suspended or abandoned for a period of six months after the time of commencing the work.

108.3 Previous approvals: This code shall not require changes in the *construction documents*, construction or designated use group of a building for which a lawful permit has been heretofore issued or otherwise lawfully authorized, and the construction of which has been actively prosecuted within 90 days after the effective date of this code and is completed with dispatch.

112.3.1 Fee schedule: A fee for each plan examination, building permit and inspection shall be paid in accordance with the following schedule.

JURISDICTION TO INSERT APPROPRIATE SCHEDULES]

112.4 Accounting: The code official shall keep an accurate account of all fees collected; and such collected fees shall be deposited monthly in the jurisdiction treasury, or otherwise disposed of as required by law.

112.5 Refunds: In the case of a revocation of a permit or abandonment or discontinuance of a building project, the portion of the work actually completed shall be computed and any excess fee for the incompleeted work shall be returned to the permit holder upon *written* request. All plan examination and permit processing fees and all penalties that have been imposed on the permit holder under the requirements of this code shall first be collected.

SECTION 113.0 INSPECTION

113.1 Preliminary inspection: Before issuing a permit, the code official shall, if deemed necessary, examine or cause to be examined all buildings, structures and sites for which an application has been filed for a permit to construct, enlarge, *alter*, repair, remove, demolish or *change the occupancy* thereof.

113.2 Required inspections: After issuing a building permit, the code official shall conduct inspections from time to time during and upon completion of the work for which a permit has been issued. A record of all such examinations and inspections and of all violations of this code shall be maintained by the code official. The *owner* shall provide for *special inspections* in accordance with Section 1705.0.

113.2.1 Approved inspection agencies: The code official shall accept reports of *approved inspection agencies*, provided such agencies satisfy the requirements as to qualifications and reliability.

113.2.2 Plant inspection: Where required by the provisions of this code or by the *approved rules*, materials or assemblies shall be inspected at the point of manufacture or fabrication in accordance with Section 1703.3.

113.3 Final inspection: Upon completion of the building or structure, and before issuance of the certificate of occupancy required by Section 118.0, a final inspection shall be made. All violations of the approved *construction documents* and permit shall be noted and the holder of the permit shall be notified of the discrepancies.

113.4 Right of entry: The code official shall have the authority to enter at any reasonable time any structure or premises for which a permit has been issued but has not received a certificate of occupancy in accordance with Section 118.0.

For all other structures or premises, when the code official has reasonable cause to believe that a code violation exists, the code official is authorized to enter the structure or premises at reasonable times to inspect subject to constitutional restrictions on unreasonable searches and seizures. If entry is refused or not obtained, the code official is authorized to pursue recourse as provided by law.

113.5 Coordination of inspections: Whenever in the enforcement of this code or another code or ordinance, the responsibility of more than one code official of the jurisdiction is involved, it shall be the duty of the code officials involved to coordinate their inspections and administrative orders as fully as practicable so that the *owners* and occupants of the structure shall not be subjected to visits by numerous inspectors or multiple or conflicting orders. Whenever an inspector from any agency or department observes an apparent or actual violation of some provision of some law, ordinance or code not within the inspector's authority to enforce, the inspector shall report the findings to the code official having jurisdiction.

SECTION 114.0 PROFESSIONAL ARCHITECTURAL AND ENGINEERING SERVICES

114.1 General: Construction documents for new construction, alterations, repairs, expansion, additions or modifications for buildings or structures, which involve the practice of architecture or engineering, as defined by the professional registration or licensing laws of the state, shall be prepared by a registered design professional consistent with the professional registration or licensing laws of the state in which the project is to be constructed. Construction documents shall include the name, address and license or registration number of the registered design professional and shall be signed, sealed and dated by the registered design professional in accordance with the professional registration or licensing laws, statutes, regulations or administration provisions of the state in which the project is to be constructed.

114.2 Special inspections: *Special inspections* shall be made in accordance with Section 1705.0.

114.2.1 Building permit requirement: This *special inspection* requirement shall be determined prior to the issuance of the building permit and shall be a requisite for the permit issuance as described in Section 1705.0.

114.2.2 Fees and costs: All fees and costs related to the performance of special professional services shall be borne by the *owner*.

SECTION 115.0 WORKMANSHIP

115.1 General: All work shall be conducted, installed and completed in a workmanlike and acceptable manner so as to secure the results intended by this code.

SECTION 116.0 VIOLATIONS

116.1 Unlawful acts: It shall be unlawful for any person, firm or corporation to erect, construct, *alter*, extend, repair, remove, demolish or occupy any building, structure or equipment regulated by this code, or cause same to be done, in conflict with or in violation of any of the provisions of this code.

116.2 Notice of violation: The code official shall serve a notice of violation or order on the person responsible for the erection, construction, *alteration*, extension, repair, removal, demolition or occupancy of a building or structure in violation of the provisions of this code, or in violation of a detail statement or a plan approved thereunder, or in violation of a permit or certificate issued under the provisions of this code. Such order shall direct

the discontinuance of the illegal action or condition and the abatement of the violation.

116.3 Prosecution of violation: If the notice of violation is not complied with promptly, the code official shall request the legal counsel of the jurisdiction to institute the appropriate proceeding at law or in equity to restrain, correct or abate such violation, or to require the removal or termination of the unlawful occupancy of the building or structure in violation of the provisions of this code or of the order or direction made pursuant thereto.

116.4 Violation penalties: Any person who shall violate a provision of this code or shall fail to comply with any of the requirements thereof or who shall erect, construct, *alter* or repair a building or structure in violation of an approved plan or directive of the code official, or of a permit or certificate issued under the provisions of this code, shall be guilty of a [SPECIFY OFFENSE], punishable by a fine of not more than [AMOUNT], or by imprisonment not exceeding [NUMBER OF DAYS], or both such fine and imprisonment. Each day that a violation continues after due notice has been served shall be deemed a separate offense.

116.5 Abatement of violation: The imposition of the penalties herein prescribed shall not preclude the legal officer of the jurisdiction from instituting appropriate action to prevent unlawful construction or to restrain, correct or abate a violation, or to prevent illegal occupancy of a building, structure or premises or to stop an illegal act, conduct, business or occupancy of a building or structure on or about any premises.

SECTION 117.0 STOP WORK ORDER

117.1 Notice to owner: Upon notice from the code official that work on any building or structure is being prosecuted contrary to the provisions of this code or in an unsafe and dangerous manner, such work shall be immediately stopped. The stop work order shall be in *writing* and shall be given to the *owner* of the property involved, or to the *owner's* agent, or to the person doing the work; and shall state the conditions under which work will be permitted to resume.

117.2 Unlawful continuance: Any person who shall continue any work in or about the structure after having been served with a stop work order, except such work as that person is directed to perform to remove a violation or unsafe condition, shall be liable to a fine of not less than [AMOUNT] or more than [AMOUNT].

SECTION 118.0 CERTIFICATE OF OCCUPANCY

118.1 General: A certificate of occupancy, indicating completion of the work for which a permit was issued, shall be obtained prior to any occupancy of a structure except as provided for in Section 118.2.

118.2 Temporary occupancy: Upon the request of the holder of a permit, a temporary certificate of occupancy shall be issued before the completion of the entire work covered by the permit, provided that such portion or portions shall be occupied safely prior to full completion of the structure without endangering life or public welfare. Any occupancy permitted to continue during the work shall be discontinued within 30 days after completion of the work unless a certificate of occupancy is issued by the code official.

118.3 Issuance of certificate: Upon *written* request from the *owner* of an existing structure, the code official shall issue a certificate of occupancy, provided that there are not violations of law or orders of the code official pending, and it is established after inspection and investigation that the alleged occupancy of the structure has heretofore existed. This code shall not require the removal, *alteration* or abandonment of, or prevent the continuance of, the occupancy of a lawfully existing structure, unless such use is deemed to endanger public safety and welfare.

118.4 Contents of certificate: When a structure is entitled thereto, the code official shall issue a certificate of occupancy within ten days after *written* application. Upon completion of the final inspection in accordance with Section 113.3 and correction of the violations and discrepancies, the certificate of occupancy shall be issued. The certificate of occupancy shall specify the following:

1. The edition of the code under which the permit was issued.
2. The use group and occupancy, in accordance with the provisions of Chapter 3.
3. The type of construction as defined in Chapter 6.
4. If an *automatic sprinkler system* is provided, whether the *sprinkler system* is required.
5. The hazard classification or storage configuration, including aisle widths, for which the *automatic sprinkler system* is designed.
6. The *automatic sprinkler* and *standpipe system* demand at the base of the riser.
7. Any special stipulations and conditions of the building permit.

SECTION 119.0 UNSAFE STRUCTURES AND EQUIPMENT

119.1 Conditions: All structures or existing equipment which are or hereafter become unsafe, unsanitary or deficient because of inadequate *means of egress* facilities, inadequate light and *ventilation*, or which constitute a fire hazard, or are otherwise dangerous to human life or the public welfare, or which involve illegal or improper occupancy or inadequate maintenance, shall be deemed an unsafe condition. All unsafe structures shall be taken down and removed or made safe, as the code official deems necessary and as provided for in this section. A vacant structure that is not secured against entry shall be deemed unsafe.

119.2 Record: The code official shall cause a report to be filed on an unsafe condition. The report shall state the occupancy of the structure and the nature of the unsafe condition.

119.3 Notice: If an unsafe condition is found, the code official shall serve on the *owner*, agent or person in control of the structure, a *written* notice that describes the condition deemed unsafe and specifies the required repairs or improvements to be made to abate the unsafe condition, or that requires the unsafe structure to be demolished within a stipulated time. Such notice shall require the person thus notified to declare immediately to the code official acceptance or rejection of the terms of the order.

119.4 Method of service: Such notice shall be deemed properly served if a copy thereof is (a) delivered to the *owner* personally; or (b) sent by certified or registered mail addressed to the *owner* at the last known address with the return receipt requested. If the certified or registered letter is returned showing that the letter was not delivered, a copy thereof shall be posted in a conspicuous

ELECTRICAL PERMIT

City of Portland, Me.



(SF)

To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland Electrical Ordinance, National Electrical Code and the following specifications:

Date 5/30/02

Permit # 2002-4437

CBL # 393-J-002

LOCATION: _____ METER MAKE & # _____
 CMP ACCOUNT # 15 Whaleboat OWNER Fred + Mona Leavitt
 TENANT _____ PHONE # 797-8784

| | Receptacles | Switches | Smoke Detector | TOTAL EACH FEE |
|-------------------|------------------------|---------------|-----------------|----------------|
| OUTLETS | | | | 20 |
| FIXTURES | Incandescent | Fluorescent | Strips | 20 |
| SERVICES | Overhead | Underground | TTL AMPS | <800 15.00 |
| | Overhead | Underground | >800 | 25.00 |
| Temporary Service | Overhead | Underground | TTL AMPS | 25.00 |
| METERS | (number of) | | | 25.00 |
| MOTORS | (number of) | | | 1.00 |
| RESID/COM | Electric units | | | 2.00 |
| HEATING | oil/gas units | Interior | Exterior | 1.00 |
| | Ranges | Cook Tops | Wall Ovens | 5.00 |
| APPLIANCES | Insta-Hot | Water heaters | Fans | 2.00 |
| | Dryers | Disposals | Dishwasher | 2.00 |
| | Compactors | Spa | Washing Machine | 2.00 |
| | Others (denote) | | | 2.00 |
| MISC. (number of) | Air Cond/win | | Pools | 3.00 |
| | Air Cond/cent | | Thermostat | 10.00 |
| | HVAC | EMS | | 5.00 |
| | Signs | | | 10.00 |
| | Alarms/res | | | 5.00 |
| | Alarms/com | | | 15.00 |
| | Heavy Duty(CRKT) | | | 2.00 |
| | Circus/Carnv | | | 25.00 |
| | Alterations | | | 5.00 |
| | Fire Repairs | | | 15.00 |
| | E Lights | | | 1.00 |
| | E Generators | | | 20.00 |
| PANELS | Service | Remote | Main | 4.00 |
| TRANSFORMER | 0-25 Kva | | | 5.00 |
| | 25-200 Kva | | | 8.00 |
| | Over 200 Kva | | | 10.00 |
| | MINIMUM FEE/COMMERCIAL | | | 45.00 |
| | | | | 35.00 |
| | | | | 35.00 |

CONTRACTORS NAME Fasola Electric MASTER LIC. # MS20016477
 ADDRESS 110 Racine Ave Port.
 TELEPHONE 207-878-5200 LIMITED LIC. # _____

SIGNATURE OF CONTRACTOR Brian J. Fasola

White Copy - Office

Yellow Copy - Applicant