

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED	
Permit No: 02-0248	CBL: 343 A011001
APR 10 2002	

Location of Construction: 46 Plymouth St	Owner Name: Brickett, Judy	Owner Address: 46 Plymouth St Portland	Phone: 207-838-9926
Business Name: n/a	Contractor Name: no contractor / self	Contractor Address: PORTLAND	Phone
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: R-3	Zone: R-3

Past Use: Single Family	Proposed Use: Single Family / Build 24' x 24' two bay garage and legalize two sheds 8' x 6' and 9'3" x 10'.	Permit Fee: \$5,000.00	Cost of Work: 2	CEO District: 2
Proposed Project Description: Build 24' x 24' garage and legalize two sheds 8' x 6' and 9'3" x 10'.		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: R-0 Type: 5B	

Signature: PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	Signature: 4/10/2002
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Date:

Permit Taken By: gg	Date Applied For: 03/21/2002	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> Other <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
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Lake View number 201-915-2438
465-3035
WETLE contractor
Fisher const.

I hereby certify that I am the owner of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

Inspection Services
Michael J. Nugent
Manager

Housing & Neighborhood Services
Mark Adelson
Director



CITY OF PORTLAND

December 12, 2002

Merle Fisher
Fisher Construction
RR 2 Box 1082
Belgrade, ME 04917

RE: 46 Plymouth Street
CBL: 343-A-011

Certified Mail Receipt: #7001 1940 0004 2778 1074

Dear Mr. Fisher:

An evaluation of above property on November 4, 2002 revealed that the structure fails to comply with Chapter 6, Article II of the Code of Ordinances of the City of Portland, The Building Code.

Section 111.2 Compliance with the code: The permit was issued for conventional roof framing. Truss rafters have been installed, and per the code a specification is required to be submitted to determine the load capacity. Also, a stairway access to the storage area has been framed which has compromised the structural integrity of the truss system. One truss has been removed from 1/2 of the span, and the stair connection detail needs to be verified by the manufacturer's engineer. Please submit the necessary documents and correct any deficiencies.

This is a notice of violation pursuant to Section 116.0 of the Code. All referenced violations shall be corrected within 14 days of the date of this notice. Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code.

This constitutes an appealable decision pursuant to Section 121.0 of the Code.

Please be advised that the Portland City Council has amended the Building regulations to include a \$75.00 re-inspection fee. This violation will automatically cause a re-inspection at no charge. If there are any subsequent inspections, however, the \$75.00 fee will be assessed for each inspection. Please feel free to contact me if you wish to discuss the matter or have any questions.

Sincerely,

Jeanie Bourke @ 874-8715
Enforcement Officer

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your

inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

MS Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footings/Building Location Inspection: Prior to pouring concrete
Provide any New Foundation Plans & changes

Re-Bar Schedule Inspection: Prior to pouring concrete

NA Foundation Inspection: Prior to placing ANY backfill

MS Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

NA ~~Final~~ Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a ~~25.00 fee per~~ inspection at this point.

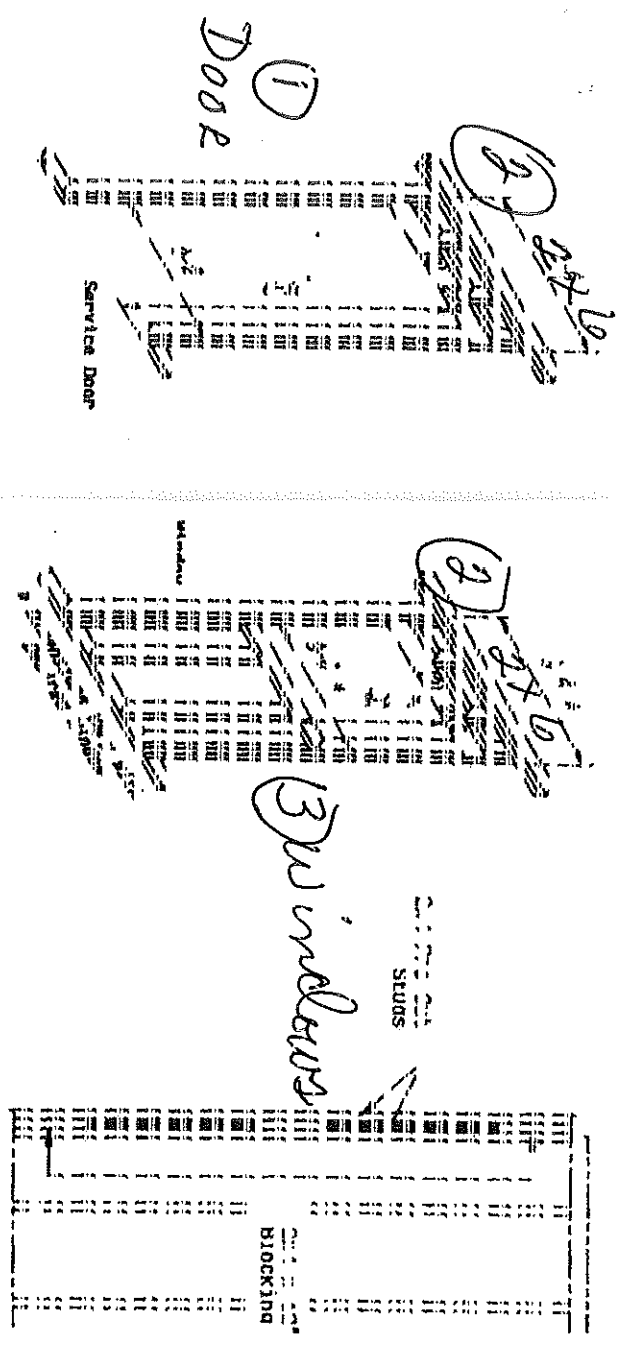
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

MS If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of applicant/designee 4/11/02
Paula Borkke
Signature of Inspections Official 4/11/02
Date 4/11/02
Date

CBL: 343 Holland Building Permit #: 02-0248

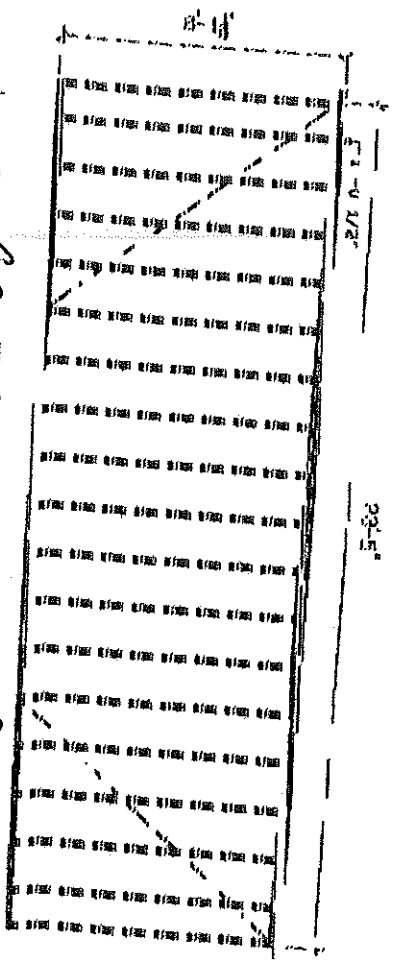
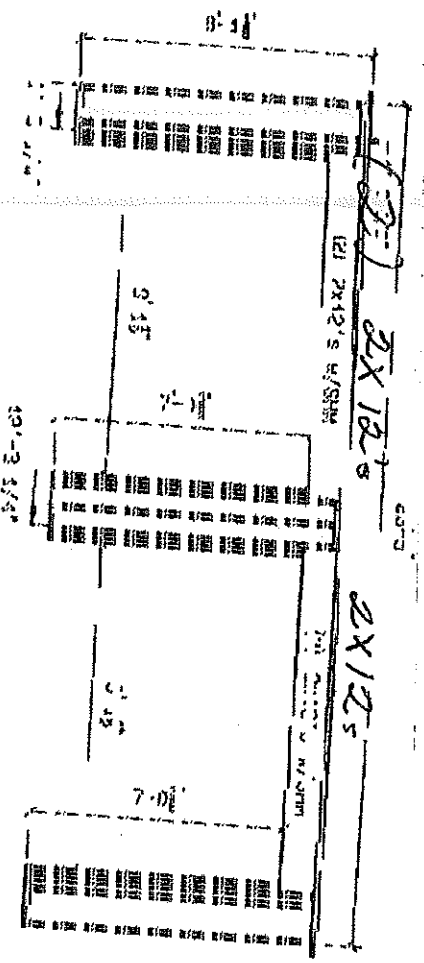


Corner Subassembly

Scale: 3/8" = 1'-0"

Depending on the flexibility of your site and layout, you may position the optional service door(s) and/or window(s) to one or both sides and/or rear.

FRANK E Bockert



FRANK E. Bockert RE: 46 PLYMOUTH



All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>46 Plymouth St. Portland</u>	
Total Square Footage of Proposed Structure <u>576 sq ft</u>	Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>343</u> Block# <u>A</u> Lot# <u>011</u>	Owner: <u>Judy Brockett</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>Same</u>
Current use: <u>Lawn Single Family</u>	Telephone: <u>838-9926</u>
If the location is currently vacant, what was prior use: _____	Cost Of Work: \$ <u>5,000</u> <i>OWS 55.00 pd. 50-03 permit denied</i> Fee: \$ <u>21-1327</u> <i>4444-4444</i>
Approximately how long has it been vacant: _____	
Proposed use: <u>24x24 2 bay Garage + 2 sheds</u>	
Project description: <u>garage → 8'x6' + 9'x10' sheds (budda army)</u>	
Contractor's name, address & telephone: <u>SWF</u>	
Who should we contact when the permit is ready: <u>Frank Brockett</u>	
Mailing address:	

We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 838-9926

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Judy Brockett Date: 2-14-02

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

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Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Owner: <u>Judy Brockett</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>Same</u>
Current use: <u>Lawn</u>	Cost Of Work: \$ <u>5000</u> Fee: \$
If the location is currently vacant, what was prior use: _____	
Approximately how long has it been vacant: _____	
Proposed use: <u>24x24 2 bay Garage + 2 sheds</u> Project description:	
Contractor's name, address & telephone: Who should we contact when the permit is ready: <u>Frank Brockett</u> Mailing address:	
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DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION PERMIT

Permit Number: 020248

This is to certify that Brackett, Judy/no contractor if
has permission to Build 24' x 24' garage and lease two spaces 8' x 10' and 9'3" x 10'
AT 46 Plymouth St Portland, OR 97204 343 A011001

provided that the person or persons, firm or organization accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

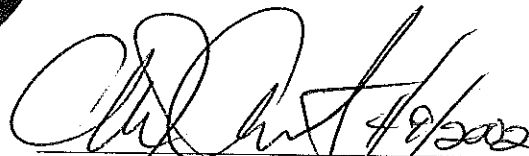
Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is leased or otherwise closed-in.
24 HOUR NOTICE IS REQUIRED.

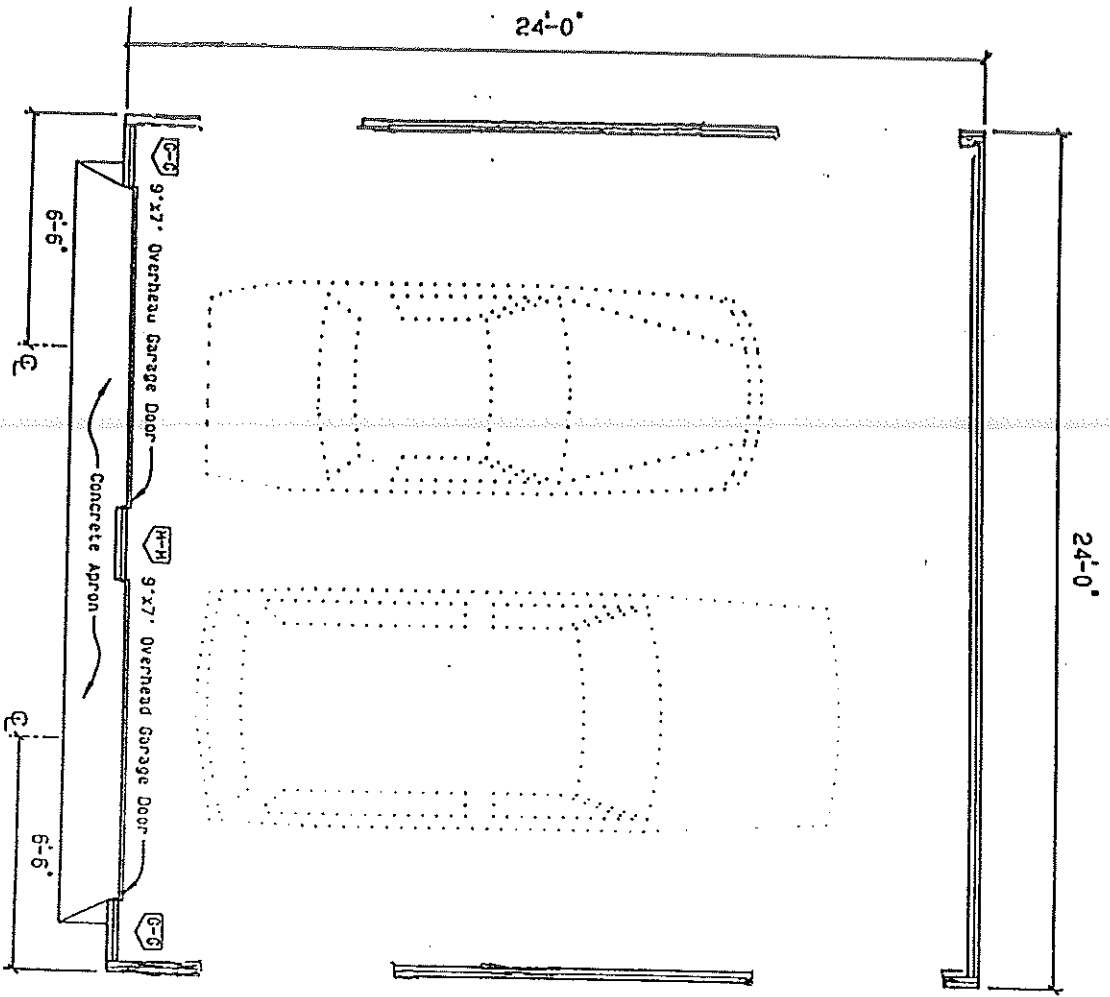
A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

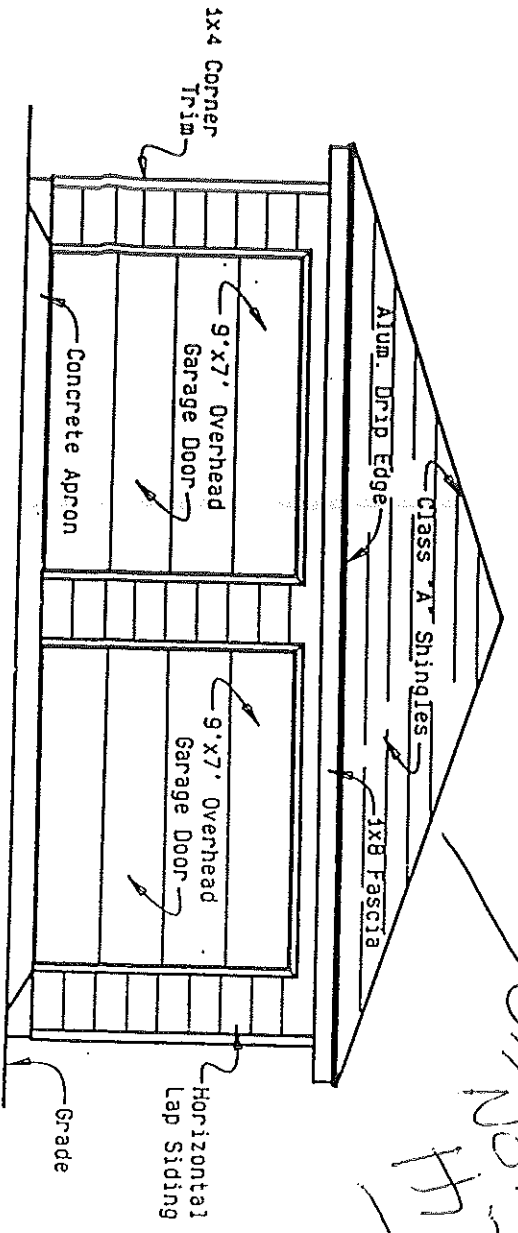
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name


Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



24 X 24 Floor Plan



*Only a Gable
 Only a
 HTP*

Rafter Design Criteria:

SPF/PW No. 2 and BTR DRY
40 lbs. Live Load
10 lbs. Dead Load

2x10 Ridge Board
[Does Not Apply For
24"x24" Series 2000]

Ridge Vent (optional)
(For Series 3000: Dutch Hip Only)

12
4

Class "A" Fiberglass Shingles
Shingle Underlayment
Roof Sheathing

See Soffit Detail

2x8 Rafters @ 16" O/C
1x6 Hangers @ 48" O/C Max.
(opposite side of ridge every other bay)

1x6 Collar Tie
@ 16" O/C

Spacer Block (Scrap 2x4)

Butt Joint

2x6 x 2'0" Splice Board
(one on each side of Rafter Tie)
(opposite side of ridge every other bay)

**Optional Spliced
Rafter Tie Construction**

2x4 Studs @ 16" O/C
Exterior Wall

Optional Sheathing

Hardboard Lap Siding Shown
(Vinyl Lap & Vertical
Plywood Siding Optional)

2x4 Treated Bottom Plate
w/ 5/8" Anchor Bolts
@ 6'0" O/C Maximum

8"x16" Co
Header

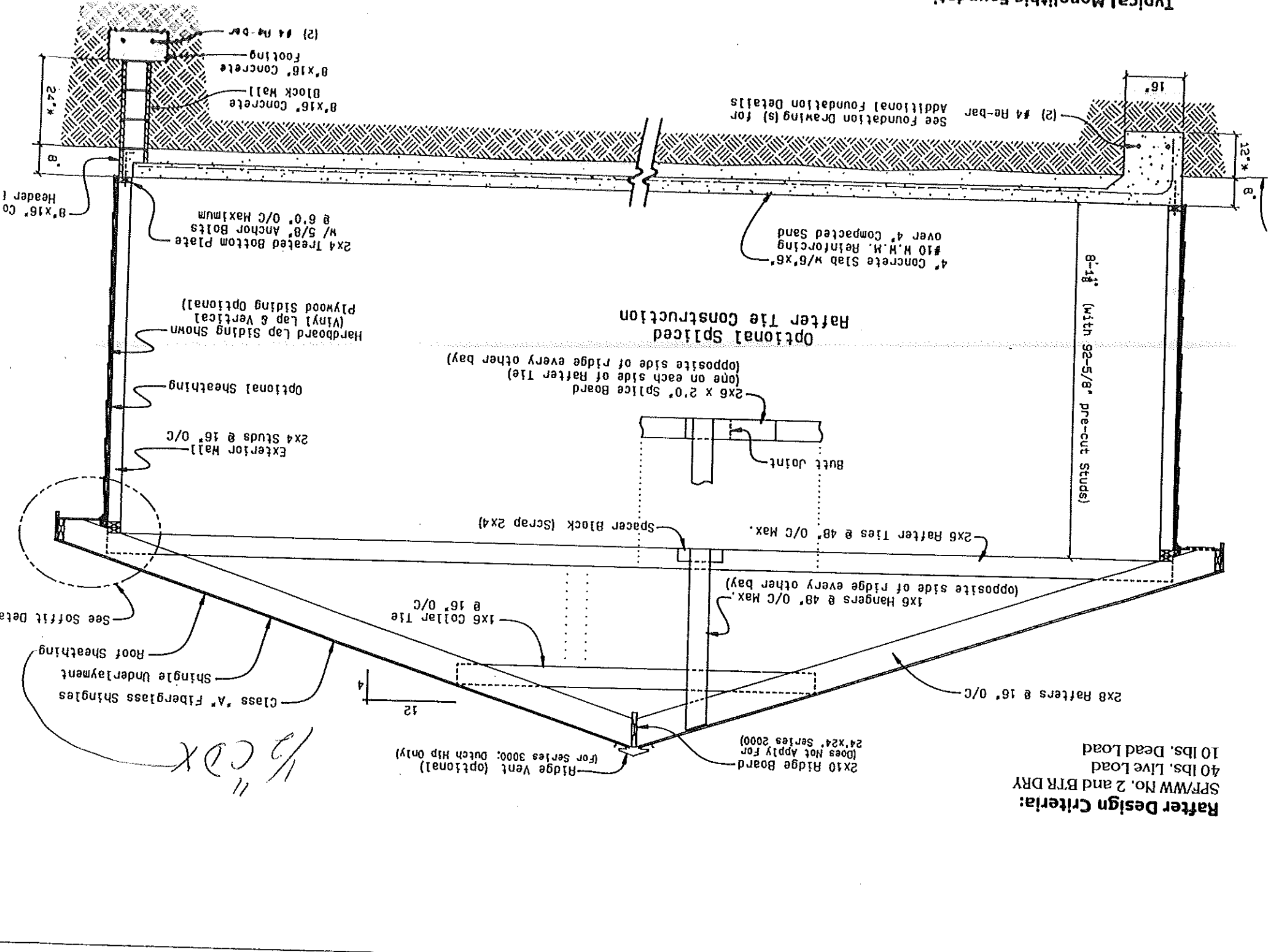
4" Concrete Slab w/6"x6"
#10 M.M. Reinforcing
over 4" Compacted Sand

See Foundation Drawing(s) for
Additional Foundation Details

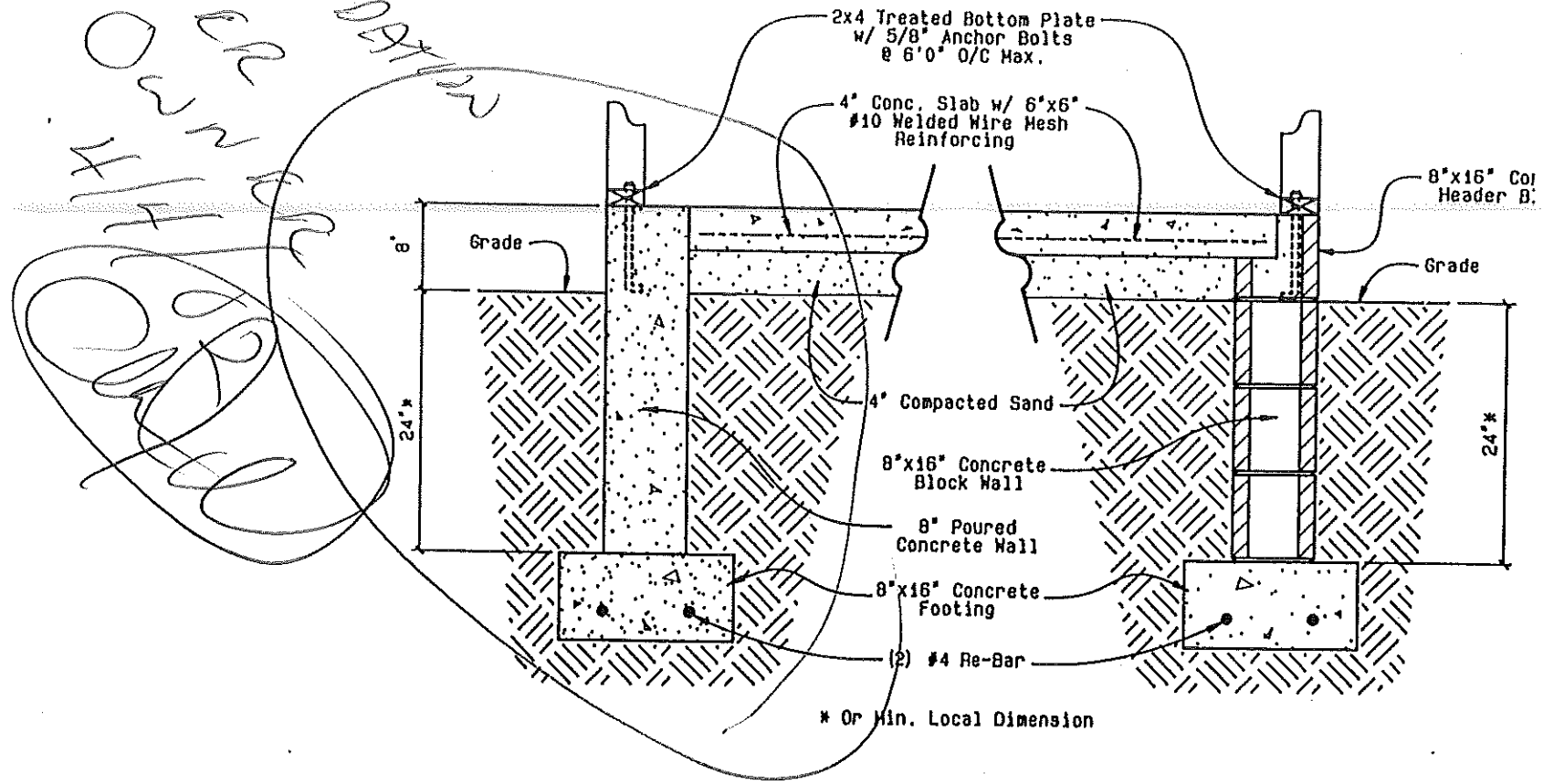
8'-18" (with 92-5/8" pre-cut studs)

Typical Monolithic Foundation

Typical "Perimeter" Foundation



THIS IS THE FOUNDATION FOR OWN AIR



Poured Wall "Perimeter" — OR — Block Wall "Perimeter"

Section "B-B"

Scale: 3/4" = 1'-0"

10,973 x 25' = 2743.25'

8347 exist house
2005

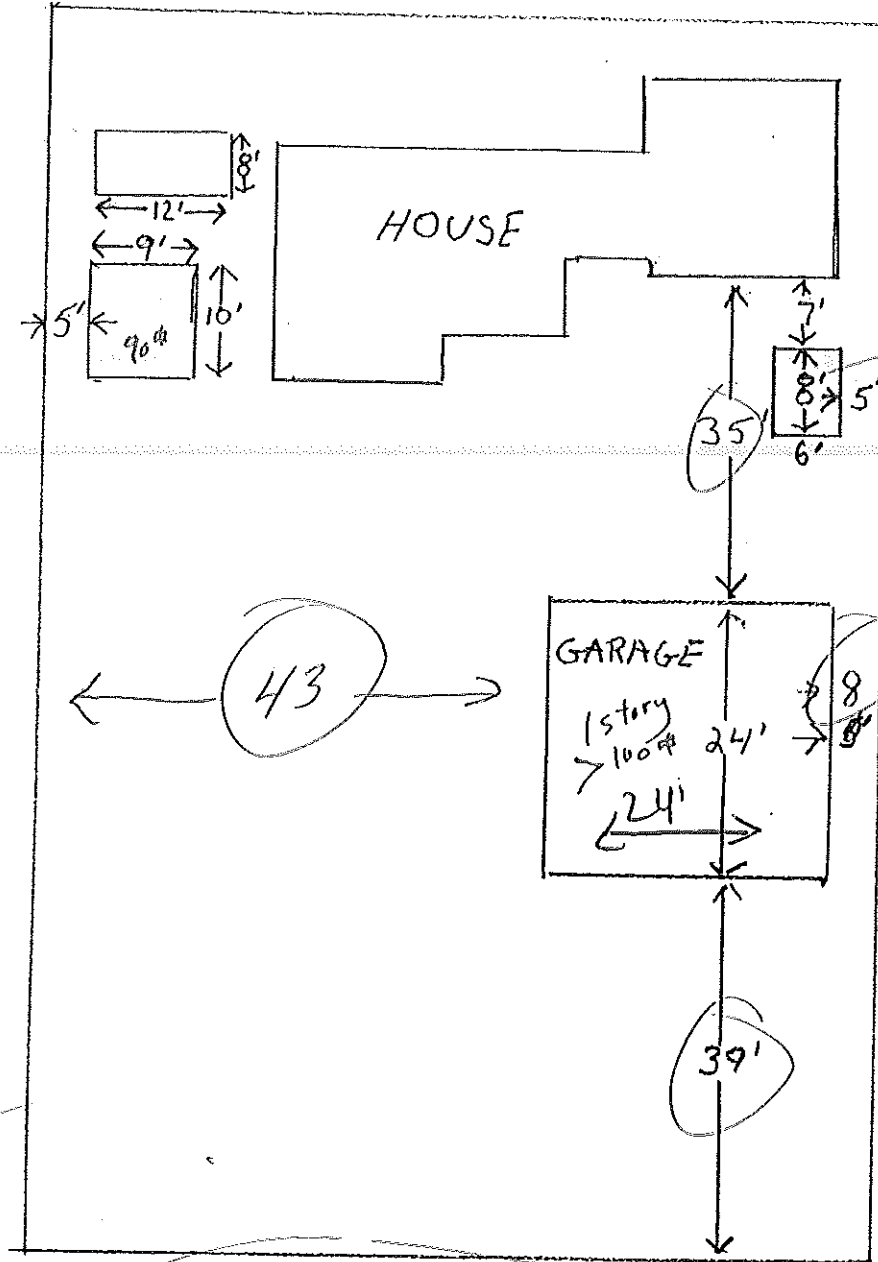
96 = 8x12 shed

90 = 9x10 shed

18 = 6x8 shed

5765 24x24 garage

1844'



R-3

Sheds < 100 sq ft
maybe 5' from rear
and side lines

R-3

(Garage)

rear - 25' req - 35' show

front - 25' req - 39' show

sides (1 story) - 8' req - 8' & 43' show

Front Street

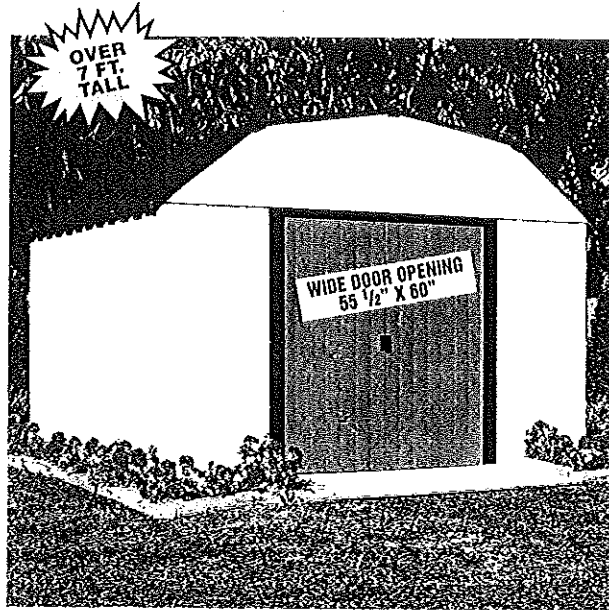
Plymouth St

**High Gambrels Offer Maximum Storage*
And Headroom. There's Plenty Of Extra
Storage Space And Room To Work In.**

- Rugged mid-wall and roof bracing for added strength.
- Corrosion resistant finish is baked-on polyester enamel paint over galvanized steel.
- Long-lasting 100% galvanized steel doors, wall and roof panels.
- Get up to 852 cubic ft. of storage on 10' x 13' model.
- Easy-to-assemble: pre-cut, precision drilled and numbered parts.
- Optional roof strengthening kit #68207 available for 10' x 9' only. Ideal for heavy snow load locations. Supports weight loads to 26.52 lbs./sq. ft.
- 12-year limited warranty.

Walls: Eggshell Doors: Emery Gray Door Trim: Black Roof: Black

68385 Foundation Kit fits 10' x 9'
68387 Foundation Kit fits 10' x 13'



Specifications At A Glance

Stock #	Size*	Storage Area	Interior Dimensions (in.)			Door Opening		Slab Size	
			W	D	H	W	H	W	D
68755 Steel	10'x9'	84 sq. ft., 553 cu. ft.	118 1/4"	102 1/4"	86 3/4"	55 1/2"	60"	121"	105"
68756 Steel	10'x13'	129 sq. ft., 852 cu. ft.	118 1/4"	157 1/2"	86 3/4"	55 1/2"	60"	121"	160 1/4"

All buildings must be anchored. *Exterior dimensions rounded to nearest foot.

existing 10'x9'
this is existing
for snow load!

Second shed
on right of
plan is a 5x8
than has been
there 10 years
and must be
legalized

DELETE 505 513

500 V VACANT (D) DWELLING O OTHER

505 (10) 1.5 2.0 2.5 3.0

506 EXTERIOR WALLS
 0 FRAME 4 BLOCK 7 STONE
 2 BRICK 5 STUCCO 8 ASBESTOS
 3 MAS. & FRAME 6 ALUM./VINYL 9 CONCRETE

507 STYLE
 1 RAISED RANCH 7 CONDO 13 MANSION
 2 SPLIT LEVEL 8 CONTEMP. 14 GAMBREL
 3 RANCH 9 TOWNHSE/ROW 15 GARRISON
 4 CAPE 10 COTTAGE 16 OTHER
 5 OLD STYLE 11 BUNGALOW
 6 COLONIAL 12 DUPLEX

508 AGE
 ERECTED 1 950 EST. 1 REMODELED 19 ___

509 LIVING ACCOMMODATIONS
 TOTAL ROOMS 06 BED ROOMS 03 FAMILY ROOMS 0
 FULL BATHS 1 HALF BATHS 0 ADD'L TOTAL 02
 BATHS 1 HALF BATHS 0 ADD'L TOTAL 02

510 NO. KITCHEN 1 YES 2 NO 511 NO. BATH 1 YES 2 NO
 REMODELED (2) NO 511 REMODELED (0) NO

512 BASEMENT
 1 NONE 2 CRAWL 3 PART 4 FULL

513 HEATING
 1 NONE 2 GAS 3 ELEC 4 OIL 5 COAL 6 SOLAR
 HEATING FUEL TYPE
 1 NONE 2 WARM AIR 3 ELEC 4 HOT WATER 5 STEAM
 HEATING SYSTEM TYPE
 1 NONE 2 UNFIN 3 PT FIN 4 FULL FIN 5 FULL FIN/WH

514 ATTIC
 1 NONE 2 UNFIN 3 PT FIN 4 FULL FIN 5 FULL FIN/WH

515 INTERIOR CONDITION
 1 BETTER 2 SAME 3 POORER

516 PHYSICAL CONDITION
 1 EX 2 GD 3 AV 4 FR 5 PR 6 VP 7 UN

SFLA

517 CONDO LEVEL ___ 518 CONDO TYPE 1-INTERIOR 2-CORNER

520 OTHER FEATURES
 1 BRICK TRIM ___
 2 STONE TRIM ___
 3 REC ROOM ___
 4 FIN. BSMT LIVING AREA ___
 5 WB FP: STACKS OPENINGS ___
 6 METAL FP: STACKS OPENINGS ___
 7 WOOD COAL BURNING ___
 8 BSMT GARAGE NO. OF CARS ___
 9 UNFINISHED AREA (-) ___ %
 10 UNHEATED AREA (-) ___ %

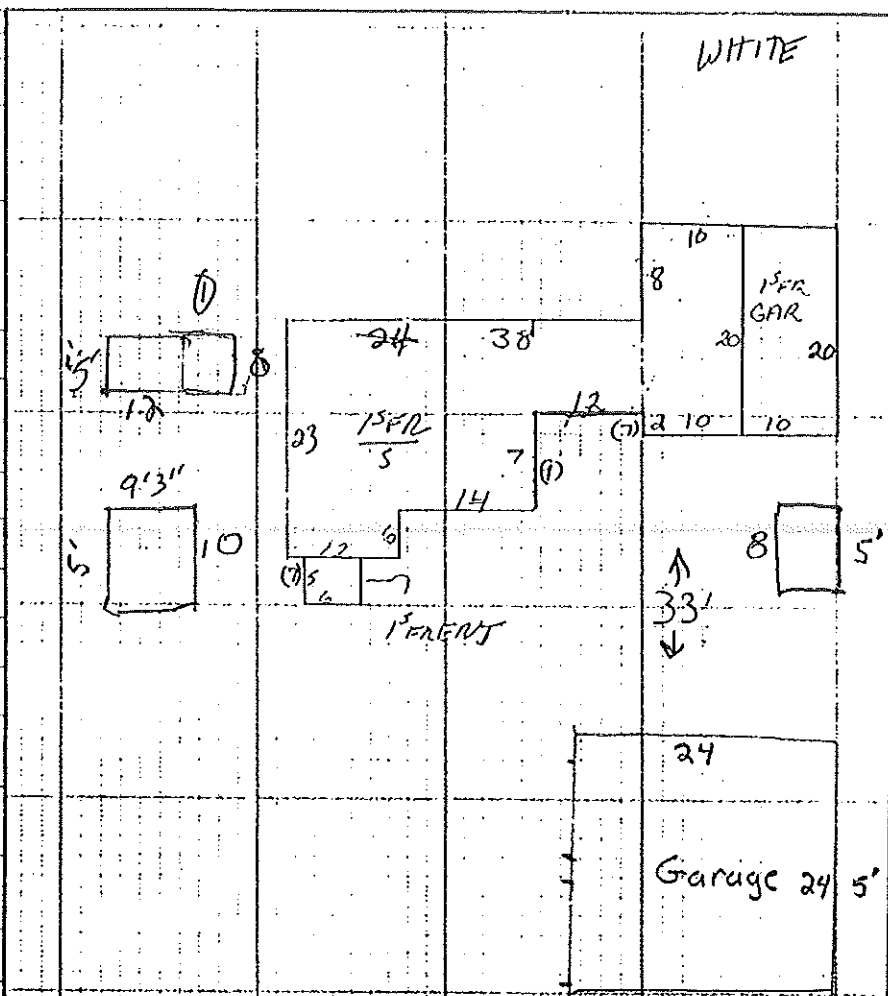
530 GROUND FLOOR AREA ___

531 GRADE FACTOR AA A B (C) D E (F)

532 COST & DESIGN FACTOR () ___ %

533 CDU EX VG (GD) AV FR PR VP UN

534 MARKET ADJUSTMENT ___ %



NOTES

471
472
473
474

BUILDING PERMIT RECORD

NUMBER	DATE	AMOUNT
481		
482		
483		
484		
485		

599 DELETE 601-608 ADDITIONS

ADD	CD	LWR	1ST	2ND	3R
601	A1		13		
602	A2				
603	A3				
604	A4				
605	A5				
606	A6				
607	A7				
608	A8				

RESIDENTIAL	POOLS	ADDITION CODES	DWELLING COM																																																							
RC1 Carport RC2 Canopy RG1 Frame/CS Detached Garage RG2 Brick/Stone Detached Garage RS1 Frame Shed RS2 Metal Shed	RP1 Plastic Liner RP2 Prefabricated Vinyl RP3 Reinforced Concrete RP4 Fiberglass RP5 Granite	10 1s Frame 15 Frame Bay 20 1s Mas 25 Mas. Bay 34 Stone Patio 11 OFF 16 Frame OH 21 OMP 30 Carport 35 Mas. Stoop 12 EFF 17 1/2s Frame 22 EMP 31 Wood Deck 35 Att. Greenhouse 13 Frame Garage 18 Unlin. Attic 23 Mas. Garage 32 Canopy 50 Unfin. Bsmt. 14 Frame Utility 19 Fin. Attic 24 Mas. Utility 33 Conc. Patio 99 Misc. Value	BASE PRICE BASEMENT HEATING PLUMBING ATTIC ADDITIONS OTHER FEATURES SUB TOTAL x GRADE FACTOR x C & D FACTOR = BASE VALUE x MARKET ADJ. = TRUE VALUE																																																							
799 DELETE 801-810 OTHER BUILDINGS & YARD IMPROVEMENTS																																																										
<table border="1"> <thead> <tr> <th>TYPE CODE</th> <th>QTY</th> <th>YR</th> <th>SIZE</th> <th>G</th> <th>COND</th> <th>RATE</th> <th>BASE VALUE</th> <th>MA</th> <th>MOD CODES</th> <th>TRUE VALUE</th> </tr> </thead> <tbody> <tr> <td>801</td> <td>RS1</td> <td>01</td> <td>50</td> <td>08X012</td> <td>C</td> <td>A</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr><td>802</td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></tr> <tr><td>803</td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></tr> <tr><td>804</td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></tr> </tbody> </table>				TYPE CODE	QTY	YR	SIZE	G	COND	RATE	BASE VALUE	MA	MOD CODES	TRUE VALUE	801	RS1	01	50	08X012	C	A					802											803											804										
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800 1 SEE DETAILED CARD 2 SEE DETAILED REPORT																																																										
TOTAL GROSS VALUE																																																										

