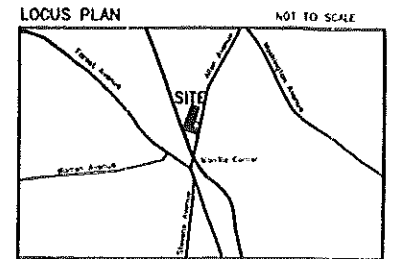


Approved by the City of Portland Planning Board

Handwritten signatures and initials



- NOTES**
- (1) Book and Page references are to the Cumberland County Registry of Deeds, unless otherwise specified.
 - (2) Bearings are referenced to magnetic north - March 1911 (See Plan Reference #1).
 - (3) Project Benchmark: Iron rod in top of granite right-of-way monument (3' offset) inside metal box on westerly side of Allen Ave. at the 1st angle point southerly of Woodman Ave. Elev. = 112.87
 - (4) SOURCE DEEDS:
Charles P. Chandler and Florence P. Chandler to Paula Coppersmith, Book 19927, Page 307, 8-1-2003.
C. Robert Devenneuve and Gail R. Devenneuve to Paula Coppersmith, Book 15411, Page 163, 4-7-2000.
 - (5) All utility locations shown on this plan are approximate, and should be verified in the field prior to any construction.
 - (6) Site of potential easement for city vehicle turn-around, to be extinguished upon connection to R-5 lots through to Plymouth Street.
 - (7) According to the Flood Insurance Rate Map for the City of Portland (Panel #7), this parcel is not located within a flood hazard area.

OWNERS OF RECORD
Paula R. Coppersmith
84 Allen Avenue
Portland, Maine

AREA
231,391 sq. ft.
5.3 acres

- PLAN REFERENCES**
- (1) "Plan of property in Portland, Maine made for Estate of J. Everett Lee" prepared by H.J. and E.C. Jordan - Civil Engineers, dated April 1956 (Survey 1948), unrecorded.
 - "Land located on Allen Avenue, Portland, Maine for Robert C. and Gail E. Devenneuve, 94 Allen Ave., Portland, Maine", prepared by BHM, Gorham, Maine, dated December, 1993, unrecorded.
 - "Standard Boundary Survey for Paul White Tea Company, Allen Ave., Portland, Maine" prepared by Gobbia & Associates, Biddeford, Maine, dated Sept 1, 1989, unrecorded.
 - "Right-Of-Way and Track Map, Portland Terminal, operated by the Portland Terminal Company, Station 105+50.0 to Station 158+40.0", prepared by Office of the Chief Engineer, Portland, Maine, dated June 30, 1916, unrecorded.
 - "Sheets 3, 4 and 5 of the Right-Of-Way for Allen Avenue, provided by the Portland Dept. of Public Works, dated March 18, 1969.

BULK AND SPACE REQUIREMENTS

R3 ZONE
Minimum Lot size: 6,500 sq. ft.
Street Frontage: 50 ft.
Front yard: 25 ft.
Side Yard: 8' ft. (1 1/2 story structure)
Rear Yard: 25 ft.
Minimum width: 75'

R5 ZONE
Minimum Lot size: 6,000 sq. ft.
Street Frontage: 50 ft.
Front yard: 20 ft.
Side Yard: 8' ft. (1 1/2 story structure)
Rear Yard: 20 ft.
Minimum width: 90'

State of Maine, Cumberland SS.
Registry of Deeds
Received SEPT 14, 2005
at 3:42 AM P.M. and recorded in
Plan Book 205 Page 578
Attest:

Register
John B. O'Brien

WILLOW KNOLL SUBDIVISION PLAN
102 ALLEN AVE PORTLAND, MAINE
MADE FOR
NICHOLAS KARAHALIOS

JOB# 203063 DATE: AUGUST 2005 SCALE: 1"=50'
BOOK# 794
DISC#
FILE#

Titcomb Associates
133 Gray Road
Falmouth, Maine 04105

LINE TABLE

LINE	LENGTH	BEARING
L1	18.20	S85°14'43"W
L2	0.57	S27°41'14"W

CURVE TABLE

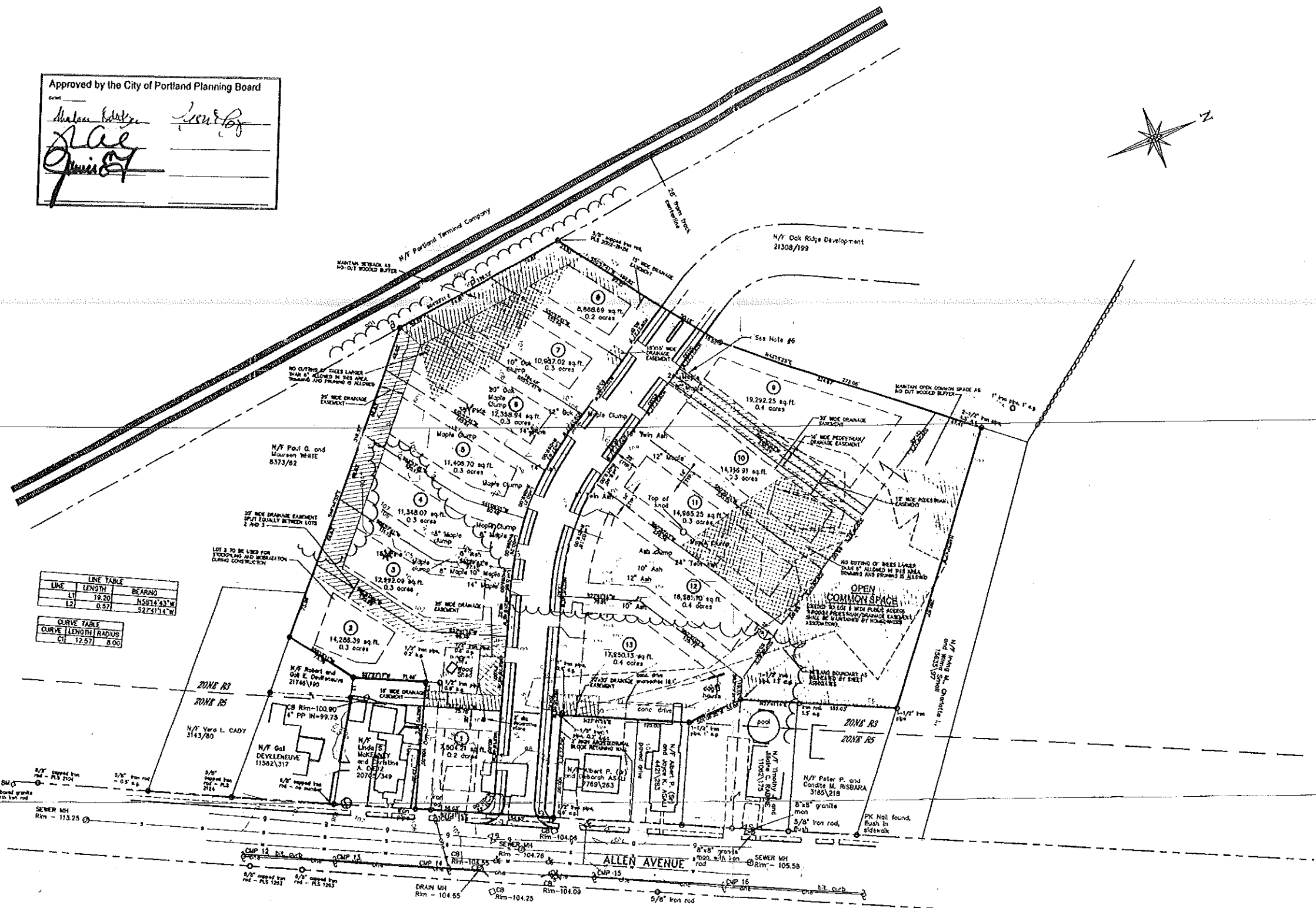
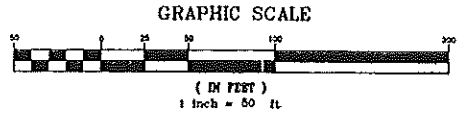
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CU 12.57	8.00

LEGEND

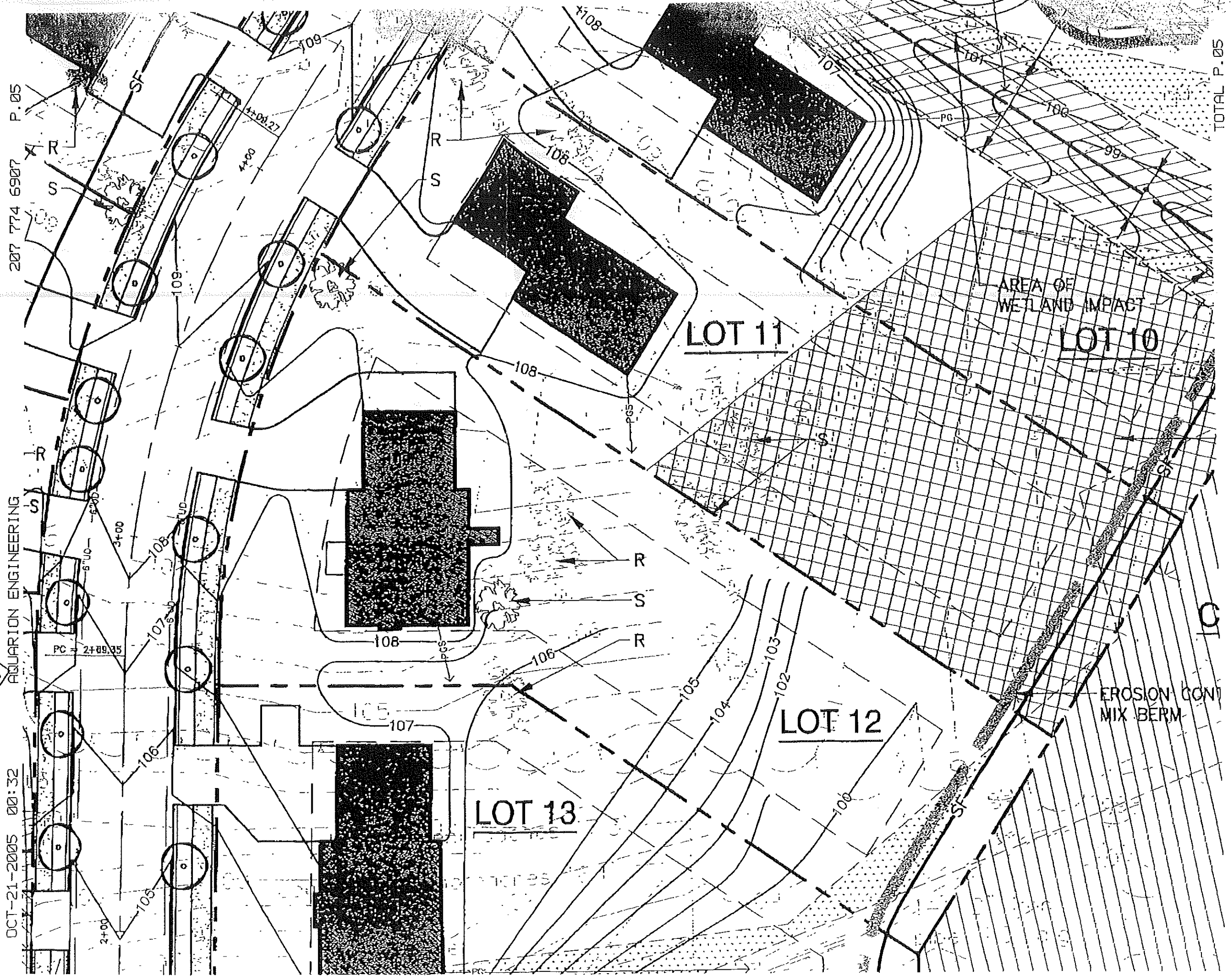
○ Iron pin set	○ Catch basin
⊕ Monument set	⊕ Monitoring well
⊙ Utility pole	⊕ Sewer manhole
⊙ Lamp or light pole	⊕ Fire hydrant
⊙ Sign	⊕ Telephone manhole
--- Edge of pavement	⊕ Water valve
--- Edge of gravel	⊕ Gas valve
--- Curb	--- Water line
--- Tree line	--- Sewer line
--- Lot line	--- Gas line
--- Property line	--- Underground telephone line
--- Fence line	--- Overhead electric/telephone line
--- Contours (10')	--- Storm drain line
--- Contours (5')	--- Deciduous tree
--- Existing building	--- Coniferous tree

CERTIFICATION
This survey conforms to the current standards of the Maine State Board of Licensure for Land Surveyors

David R. Erberg
DAVID R. ERBERG P.E. #2204
Dated: AUGUST 2, 2005



Grassing
Plan
LOT #12
Willow
Knoll.



207 774 6907 P.05

AQUARION ENGINEERING

OCT-21-2005 00:32

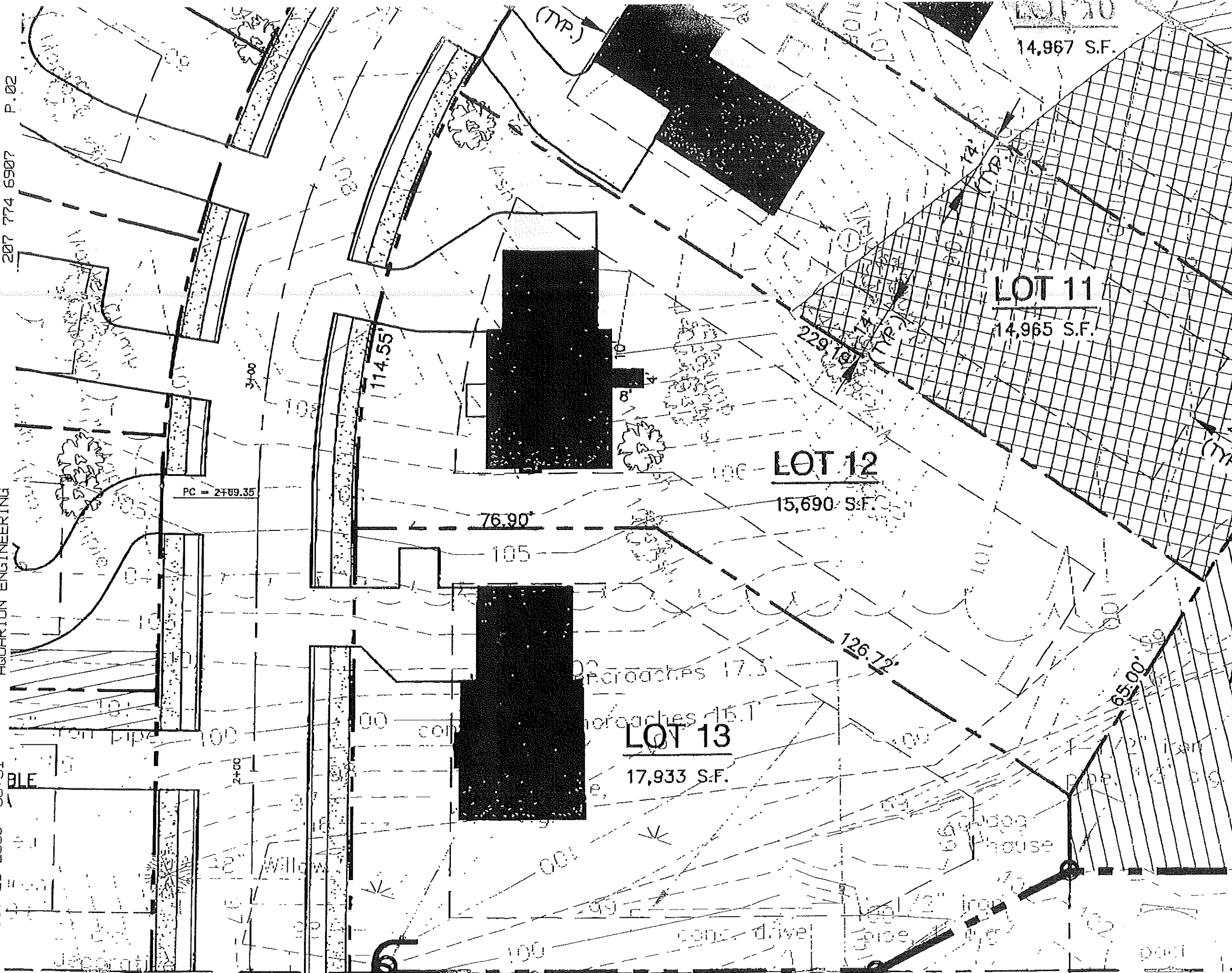
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OCT 21 2005
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CITY OF PORTLAND, ME

DCT-21-2005 00:31

AQUARION ENGINEERING

207 774 6907

P.02



OCT-21-2005 00:32

200 114 0501 P.04

AQUARIUM ENGINEERING
PERFORATED ADS
UNDERDRAIN, TYPICAL

MINIMUM INLET
PROTECTION

12" INV IN:
103.00

PC = 2+59.35

6" UD

6" UD

6" UD

6" UD

NEW ADS DRAIN BASIN
 STA 2+20.13, 43.18' LT.
 RIM: 102.55
 6" INV IN: 99.55
 12" INV IN: 99.55
 12" INV OUT: 99.45

MANHOLE
 4' LT.
 99.01
 98.91
 100.00*

OVERFLOW

MANHOLE
 2.9' LT.
 99.75
 99.75
 98.81
 98.71

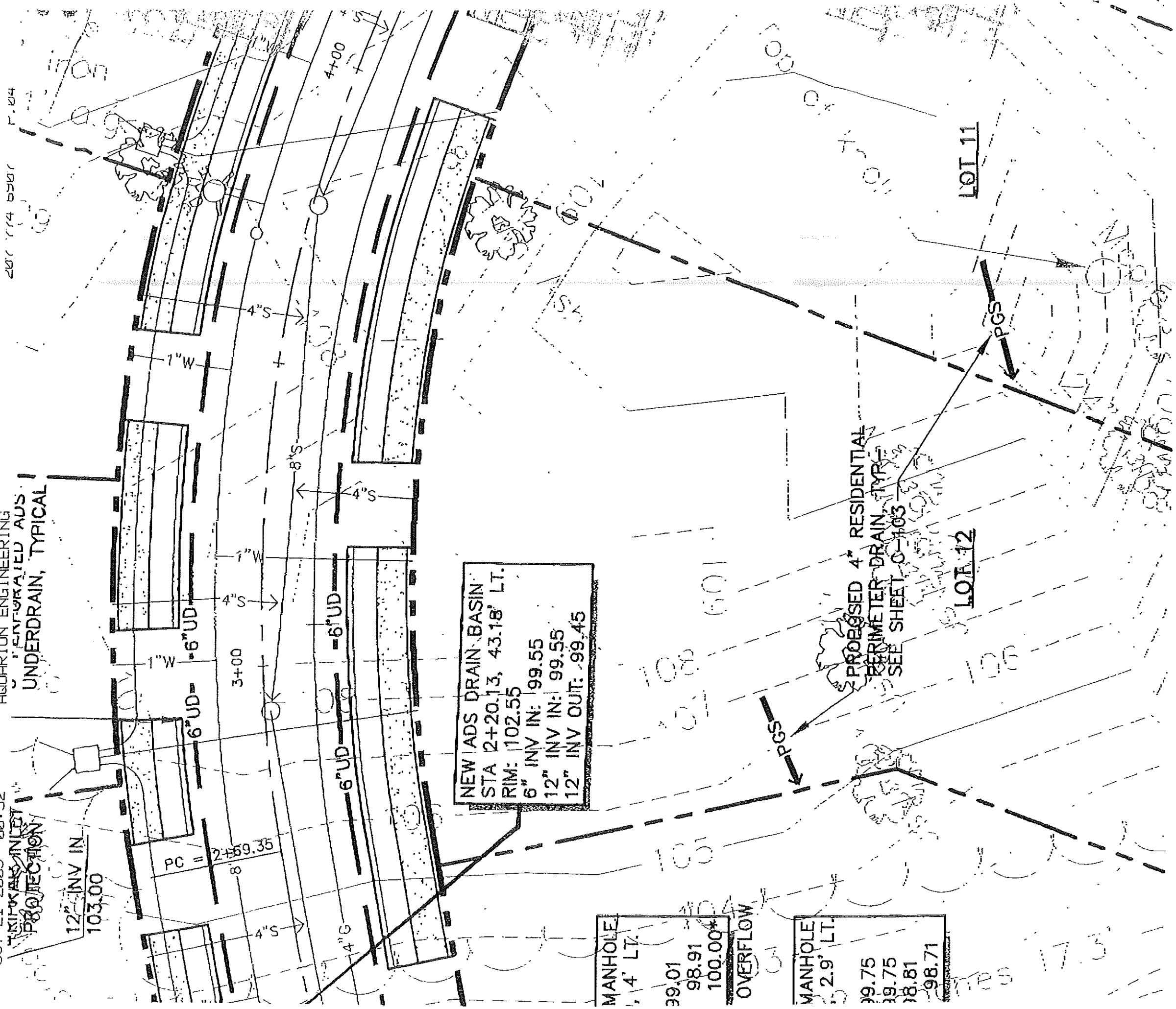
PROPOSED 4" RESIDENTIAL
PERIMETER DRAIN, TYR
SEE SHEET C-103

LOT 12

LOT 11

PGS

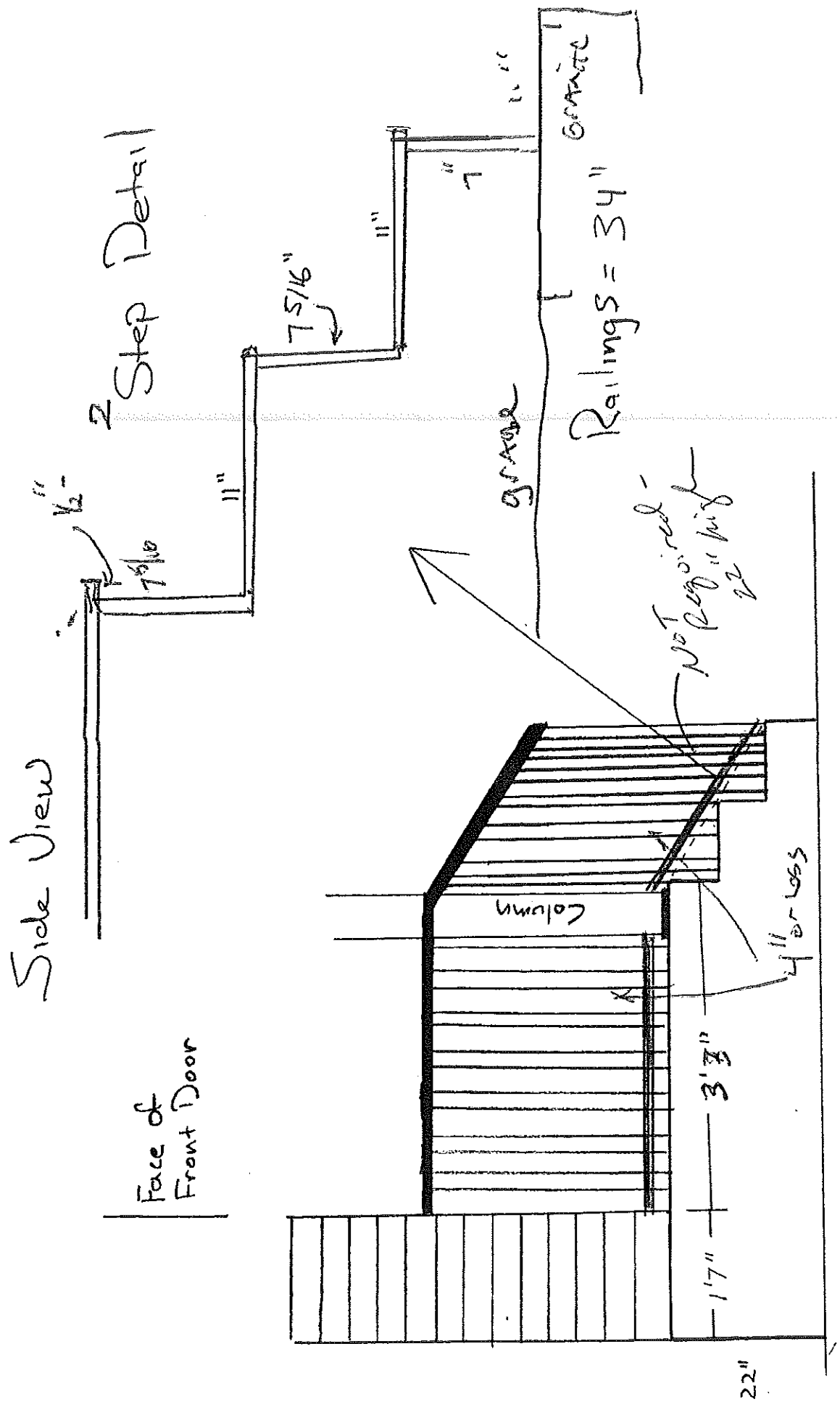
PGS





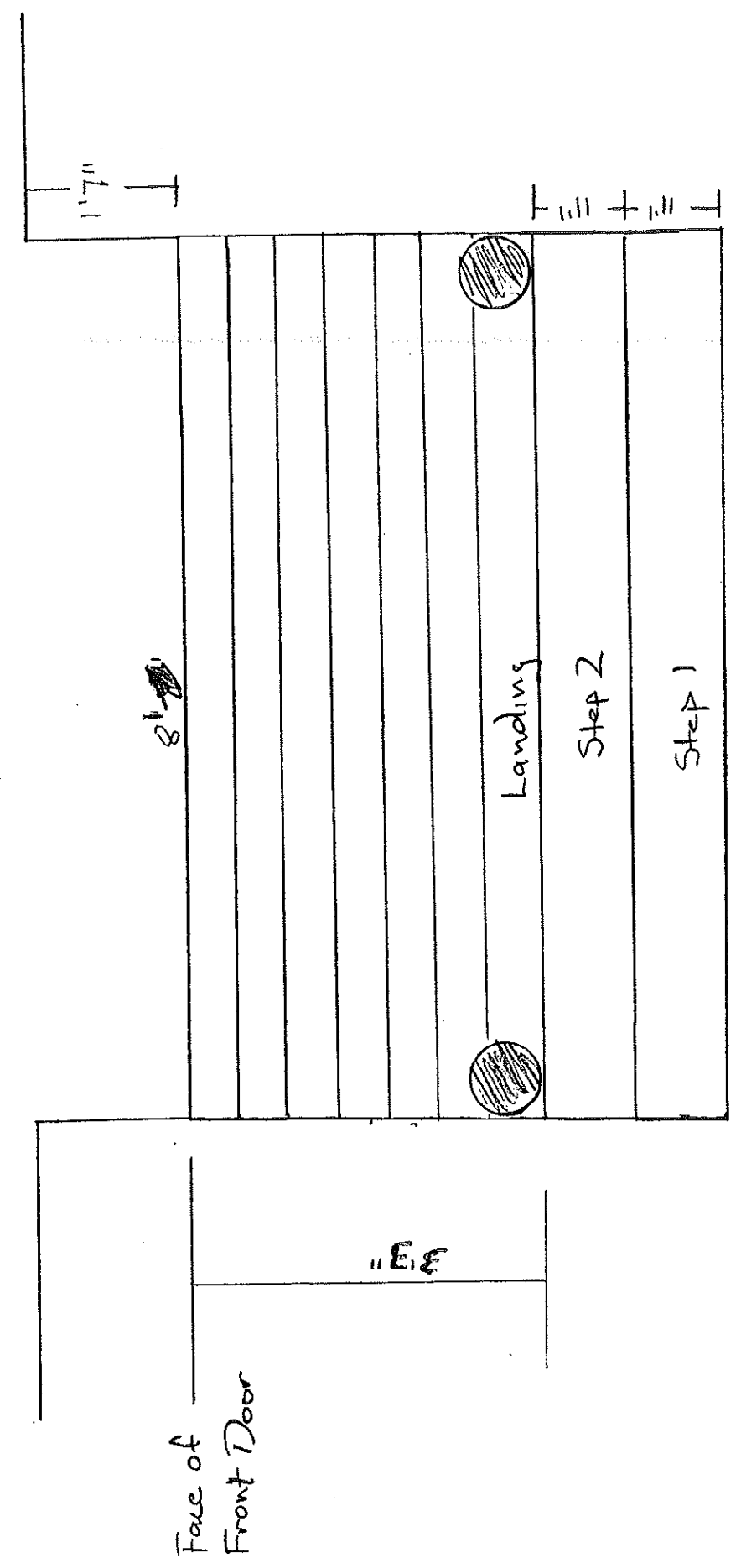
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 CITY OF PORTLAND, ME
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Side View



FRONT PORCH

Top View (w/o Railing)



Sheet #



Aquarion Engineering Services
222 St. John Street Suite 314
Portland, Maine 04102
Tel. (207) 828-1272 Fax (207) 774-6907

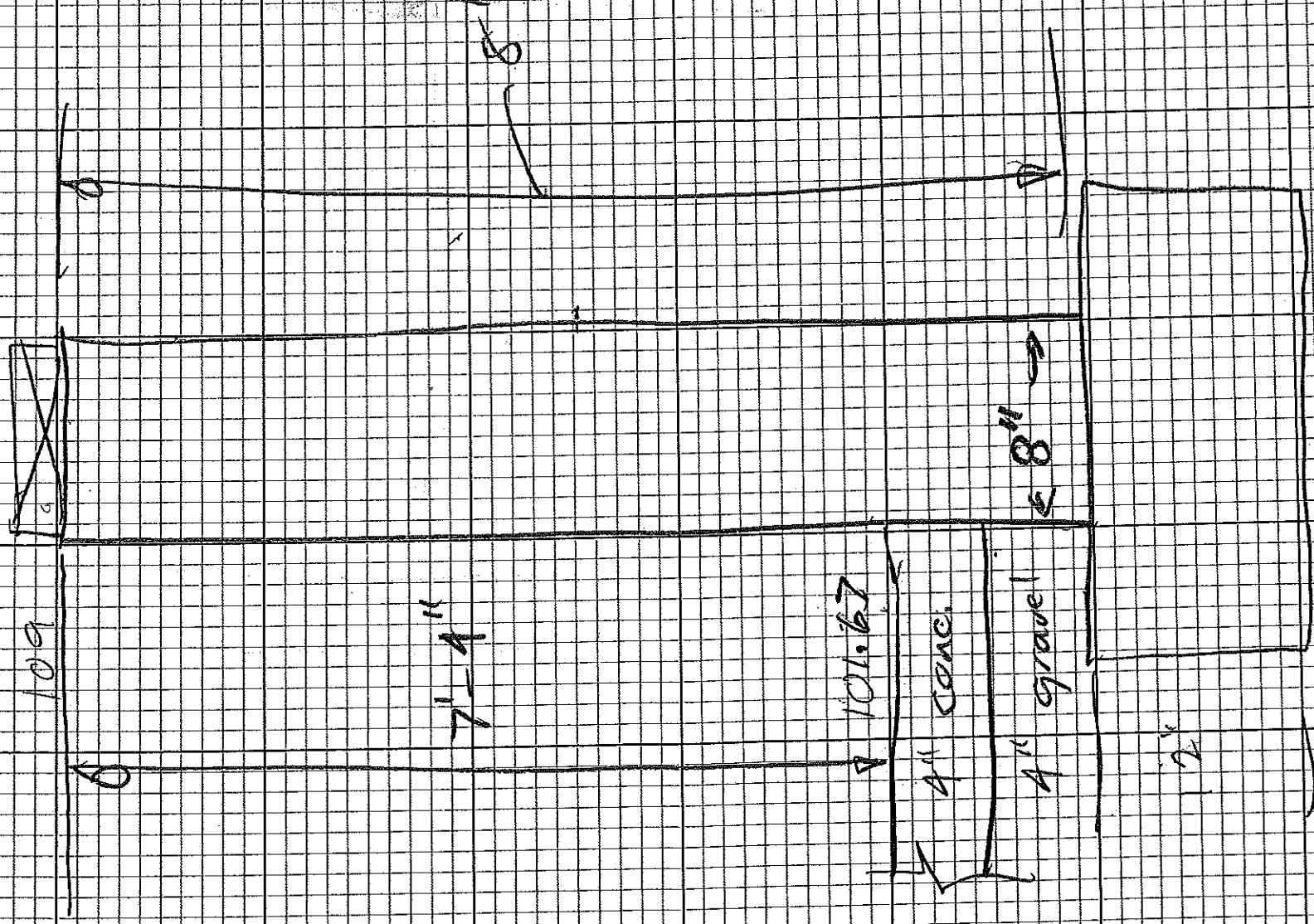
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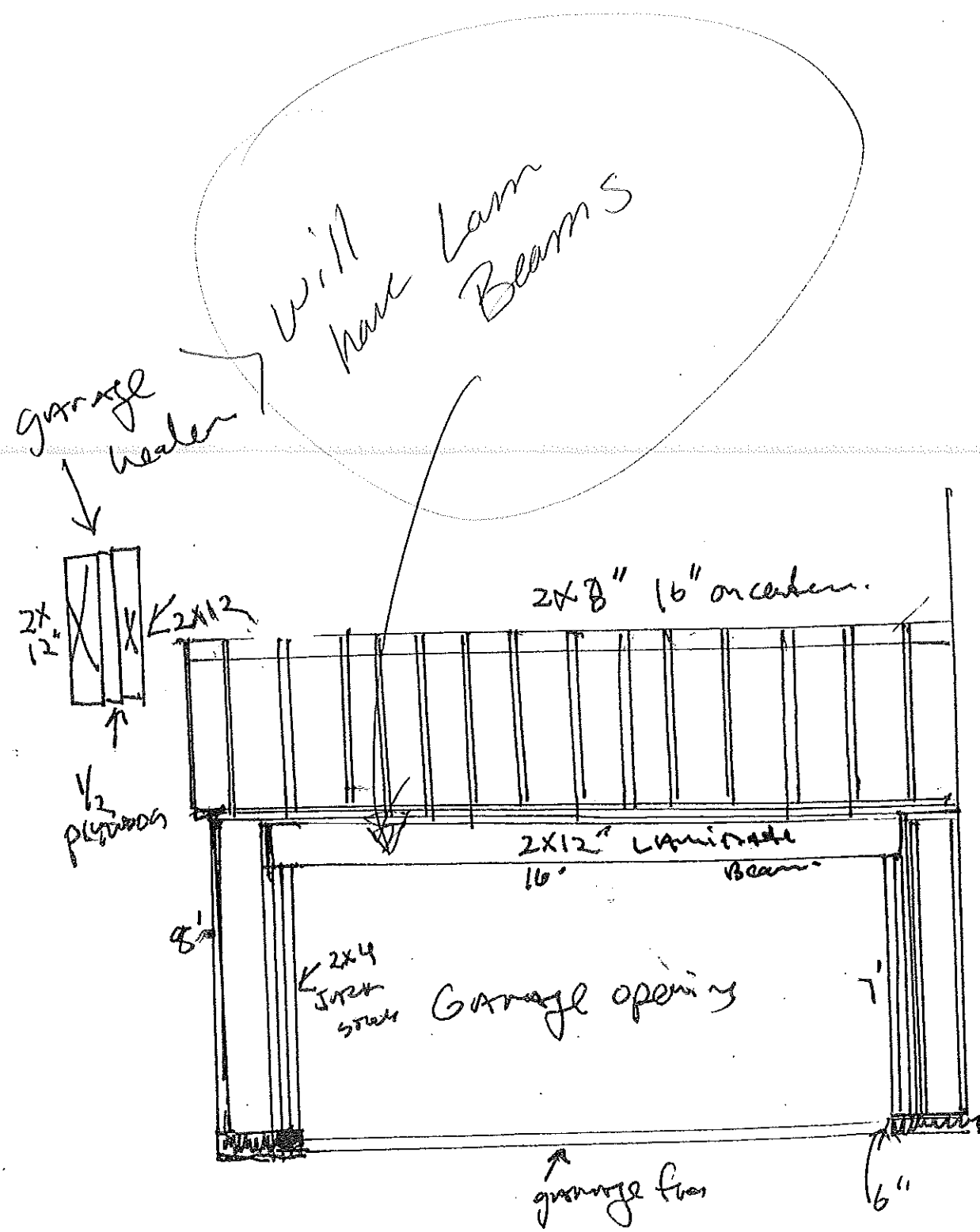
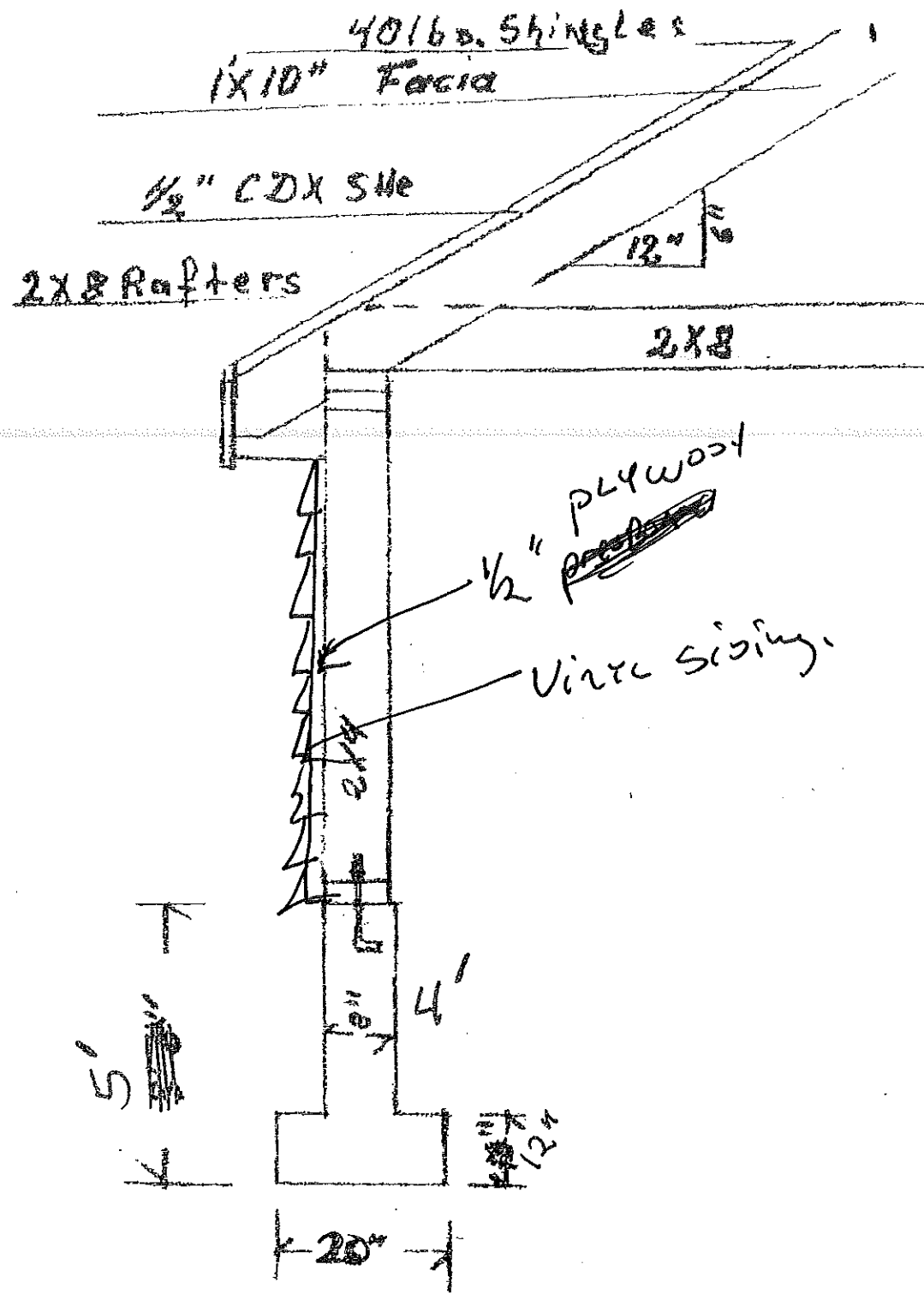
Proj. No.:
Date:

Subject: *GRADES*

By:
Checked:

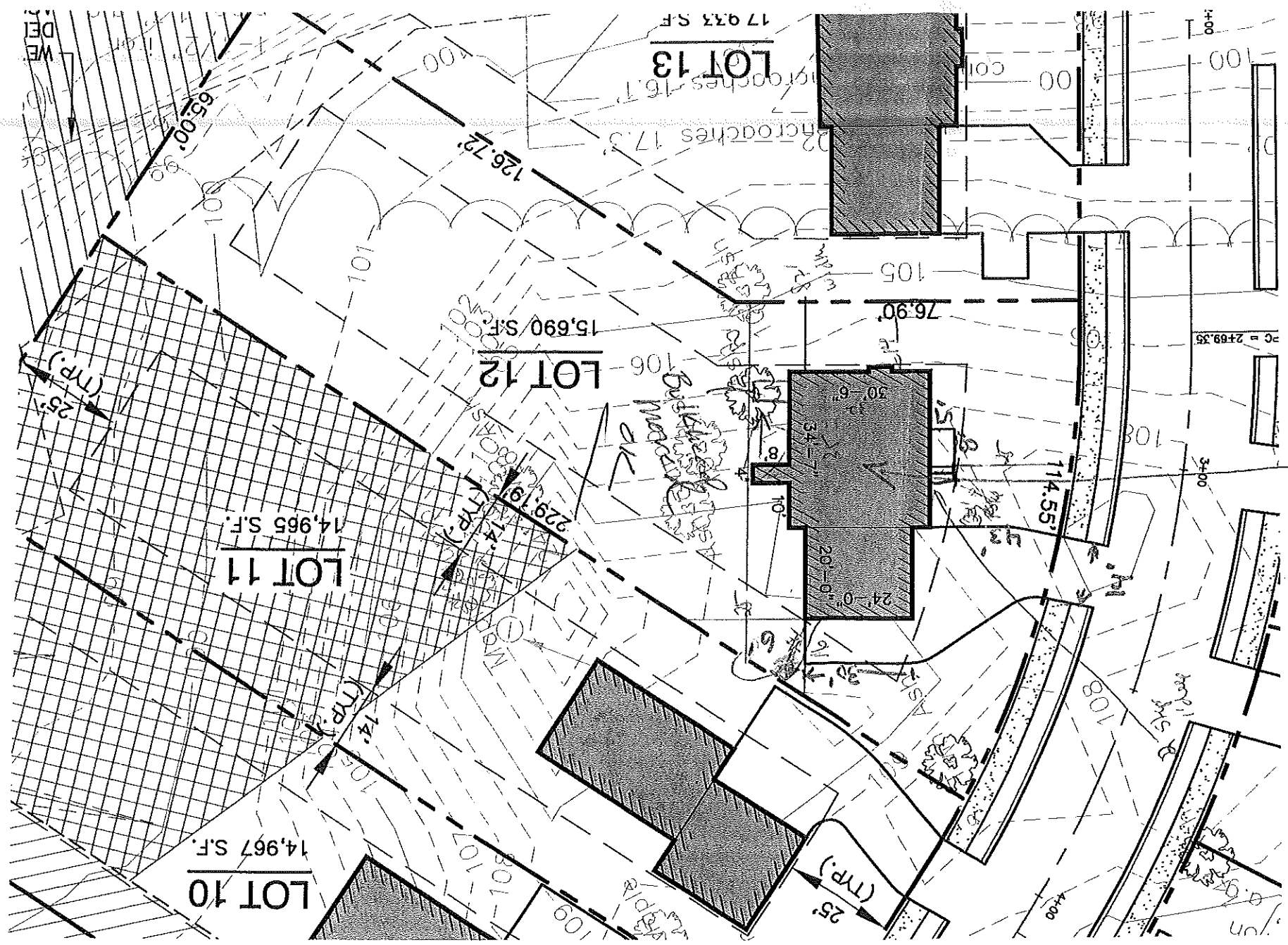
LOT 12





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Used for 2011
 scale? 1:30



Parking
 Floor Garages
 Basement 101.67 ft
 11 - 109 ft
 1st Floor 110 feet
 All To - Top soil
 House Garage 18"
 6"