

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF CITY OF PORTLAND

Please Read
Application And
Notes, if Any,
Attached

PERMIT SECTION

Permit No.

CITY OF

This is to certify that We Three Magpies/Danna D
has permission to Move 2160 sq ft single Family
AT RUBY LN #12 #25

Home or lot address: 342 B052

provided that the person or persons, firm or contractor accepting this permit shall comply with the provisions of the Statutes of the City of Portland regarding the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Inspection must be made in accordance with the provisions of the City of Portland regarding the construction, maintenance and use of buildings and structures, and of the application on file in this department.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

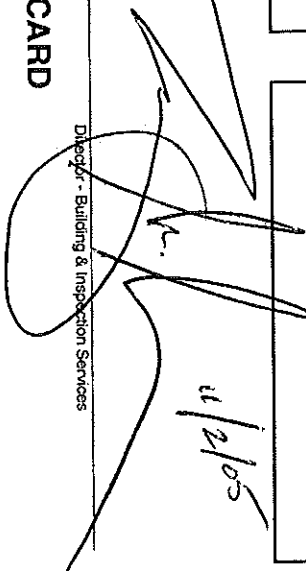
OTHER REQUIRED APPROVALS

Fire Dept _____
Health Dept _____
Appeal Board _____
Other _____

Department Name

PENALTY FOR REMOVING THIS CARD

Director - Building & Inspection Services


11/2/05

TO: Inspections Department

FROM: Jay Reynolds, Development Review Coordinator

DATE: May 2, 2006

RE: C. of O. for #__ Ruby Lane, Lot 12 Willow Knoll Subdivision
(Id#2005-0228)(CBL 342B052)

After visiting the site, I have the following comments:

Site work incomplete:

1. Final Grading,
2. Paving,
3. Loam and seed,
4. Landscaping,

I anticipate this work can be completed by August 1, 2006.

At this time, I recommend issuing a temporary Certificate of Occupancy.

Cc: Sarah Hopkins, Development Review Services Manager
Mike Nugent, Inspection Services Manager
File: Urban Insight

File: O:\plan\drc\rubyknoll\lot12b.doc

Location of Construction:	Owner Name:	Owner Address:	Phone:
RUBY LN #12	We Three Magpies	12 Whispers Way	207-939-7606
Business Name:	Contractor Name:	Contractor Address:	Phone
	Dana Dresser	12 Whispers Way Portland	(207) 450-1923
Lessee/Buyer's Name:	Phone:	Permit Type:	
		Single Family	

10/25/05-mm: need better foundation plan and better details on garage - left message w/builder.

10/25/05-mm: faxed copy of review sheets to woner

TO: Inspections Department

FROM: Jay Reynolds, Development Review Coordinator

DATE: March 20, 2006

RE: C. of O. for #~~25~~ Ruby Lane, Lot 12 Willow Knoll Subdivision
(Id#2005-0228)(CBL 342B052)

After visiting the site, I have the following comments:

Site work incomplete:

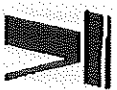
1. Final Grading,
2. Paving,
3. Loam and seed,
4. Landscaping,

I anticipate this work can be completed by June 1, 2006.

At this time, I recommend issuing a temporary Certificate of Occupancy.

Cc: Sarah Hopkins, Development Review Services Manager
Mike Nugent, Inspection Services Manager
File: Urban Insight

File: O:\plan\drc\rubyknollot12a.doc



Titcomb Associates

Land Surveying
Land Planning
133 Gray Road
Fairmount, Maine 04105
(207) 797-9199
Fax (207) 878-3142
www.titcombsurvey.com

Thursday, March 09, 2006

Tom Markley
City of Portland
389 Congress St
Portland, ME 04101

VIA FAX: (207)874-8716

Re: Lot 12, Ruby Lane, Portland

Dear Mr. Markley:

This letter will confirm that Titcomb Associates has staked out the location for the buildings on Lot 12, Ruby Lane, in accordance with the location shown on the development plan prepared by Aquarion Engineering.

The building locations are in compliance with the City of Portland Setback Requirements. The building location is based on established property pins.
Please call if you have any further questions.

Sincerely,

David R. Enberg
PLS #2204

cc: Dwight Brackett



Residential Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: LOT # 12 Willow Knoll Subdivision Rose Lane	
Total Square Footage of Proposed Structure 2160 + 480 5/8 garage	Square Footage of Lot 16,381.1
Tax Assessor's Chart, Block & Lot Chart# 347 Block# 15 Lot# 52	Owner Wa Thae Maypres LLC Telephone: (207)
Lessees/ Buyer's Name (If Applicable) wa thae maypres llc, wa thae maypres llc,	
Applicant name, address & telephone: Wa Thae Maypres LLC, wa thae maypres llc,	
Cost Of Work \$ 48,000.00	
Fee \$ 453.00	

Current Specific use: **single family house**

Proposed Specific use: **moving house to lot ADDING GARAGE, single family house**

Project description:
moving house to lot #12 Rose Lane - Willow Knoll Subdivision. Adding a 20 x 24 ft. garage.

Contractor's name, address & telephone: **DWAY DRESSER or Nicholas Karanthakis 450-1923 939-7606**

Who should we contact when the permit is ready: **Dresser or Karanthakis**

Mailing address: **12 Whispers Way Farmington, Maine 04105** Phone: **450-1923 / 939-7606**

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

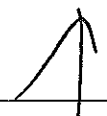
Signature of applicant: **Nicholas Karanthakis** Date: **9/21/05**

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

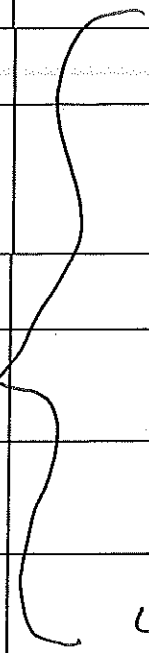
This is not a Permit; you may not commence any work until the Permit is issued.

Lot 12 Ruby 342-B-052
 Dana O450-1923
 FAX # 997-0910
 NICK

CHECKLIST	PLAN REVIEW	ONE AND TWO FAMILY
Findings/Revisions/Dates	Submitted Plan	Component
		Soil type/Presumptive Load Value (Table R401.4.1)
		STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)
	NOT SHOWN	Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)
	Need fabric	Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY
	NOT SHOWN	Anchor Bolts/Straps, spacing (Section R403.1.6)
		Lally Column Type (Section R407)
	" "	Girder & Header Spans (Table R 502.5(2))
	" "	Built-Up Wood Center Girder Dimension/Type
	" "	Sill/Band Joist Type & Dimensions
		First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))
		Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))
		Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and



N/A



Plms

Best foundation

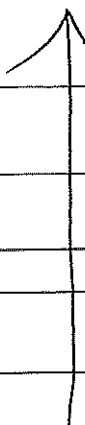


(1)



R802.4(2))			
Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)			N/A
Sheathing; Floor, Wall and roof (Table R503.2.1.1(I))			N/A
Fastener Schedule (Table R602.3(1) & (2))			N/A
Private Garage (Section R309) Living Space ? (Above or beside)			
Fire separation (Section R309.2)			→ NOT SHOWN
Opening Protection (Section R309.1)			11
Emergency Escape and Rescue Openings (Section R310)			N/A
Roof Covering (Chapter 9)			
Safety Glazing (Section R308)			
Attic Access (Section R807)			
Chimney Clearances/Fire Blocking (Chap. 10)			
Header Schedule (Section 502.5(1) & (2))			
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-			

②
③



			Factor Fenestration
			Type of Heating System
		Means of Egress (Sec R311 & R312) Basement Number of Stairways Interior Exterior Treads and Risers (Section R311.5.3) Width (Section R311.5.1) Headroom (Section R311.5.2) Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	
		Smoke Detectors (Section R313) Location and type/Interconnected	
		Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	
		Deck Construction (Section R502.2.1)	

New Stairs ?

4

Garage -

LVL's over doors

Wall w/ frost wall

Steel Beam design

Wall sheathing -

Anchor Bolts

- size & spacing

All Headers

Stairs to house

Permit Nbr Location of Construction Appl. Date
 Status Permit Type Issue Date
 CBL District Nbr Estimated Cost Date Closed
 Tax193 Constr Type Num1

Comment Date Comment

Name Follow Up Date Completed

Name Follow Up Date Completed

CreatedBy CreateDate ModBy ModDate

Any information page containing a personal description directed to the ID page used to file a press 4-8490 or e- the New Search button at the bottom of the screen to submit a new query.

Current Owner Information

New Search!

Card Number 342 B013001
 Parcel ID 102 ALLEN AVE
 Location SINGLE FAMILY
 Land Use

Owner Address
 COPPERSMITH PAULA
 62 ANGLERS RD
 WINDHAM ME 04062

Book/Page 19927/307
 Legal 342-B-13
 ALLEN AVE 102-104
 PROPOSED ST
 5000 SF

Current Assessed Valuation For Fiscal Year 2006

Land \$46,790 Building \$143,320 Total \$190,110

Estimated Assessed Valuation For Fiscal Year 2007*

Land \$62,800 Building \$185,000 Total \$247,800

* Value subject to change based upon review of property status as of 4/1/06.
 The tax rate will be determined by City Council in May 2006.

Property Information

Year Built 1930	Style Colonial	Story Height 2	Sq. Ft. 2288	Total Acres 0.115
Bedrooms 4	Full Baths 2	Half Baths 1	Total Rooms 9	Attic Unfin
				Basement Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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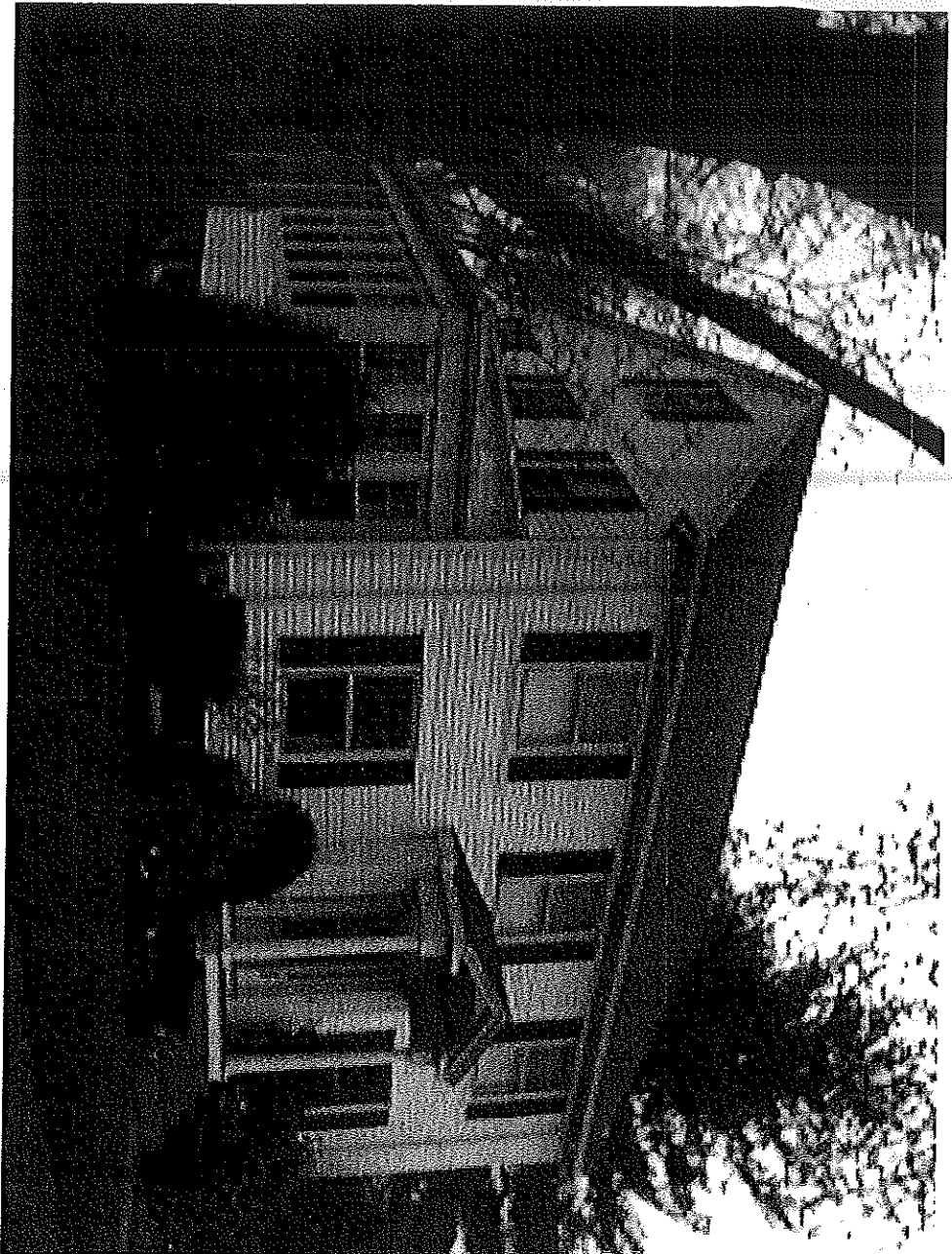
Sales Information

Date 08/01/2003	Type LAND + BLDING	Price \$275,000	Book/Page 19927-307
12/04/1997	LAND		13478-093

Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here to view Tax Roll Information.](#)



Floor grades requested

Floor grade of basement floor 101.67 feet

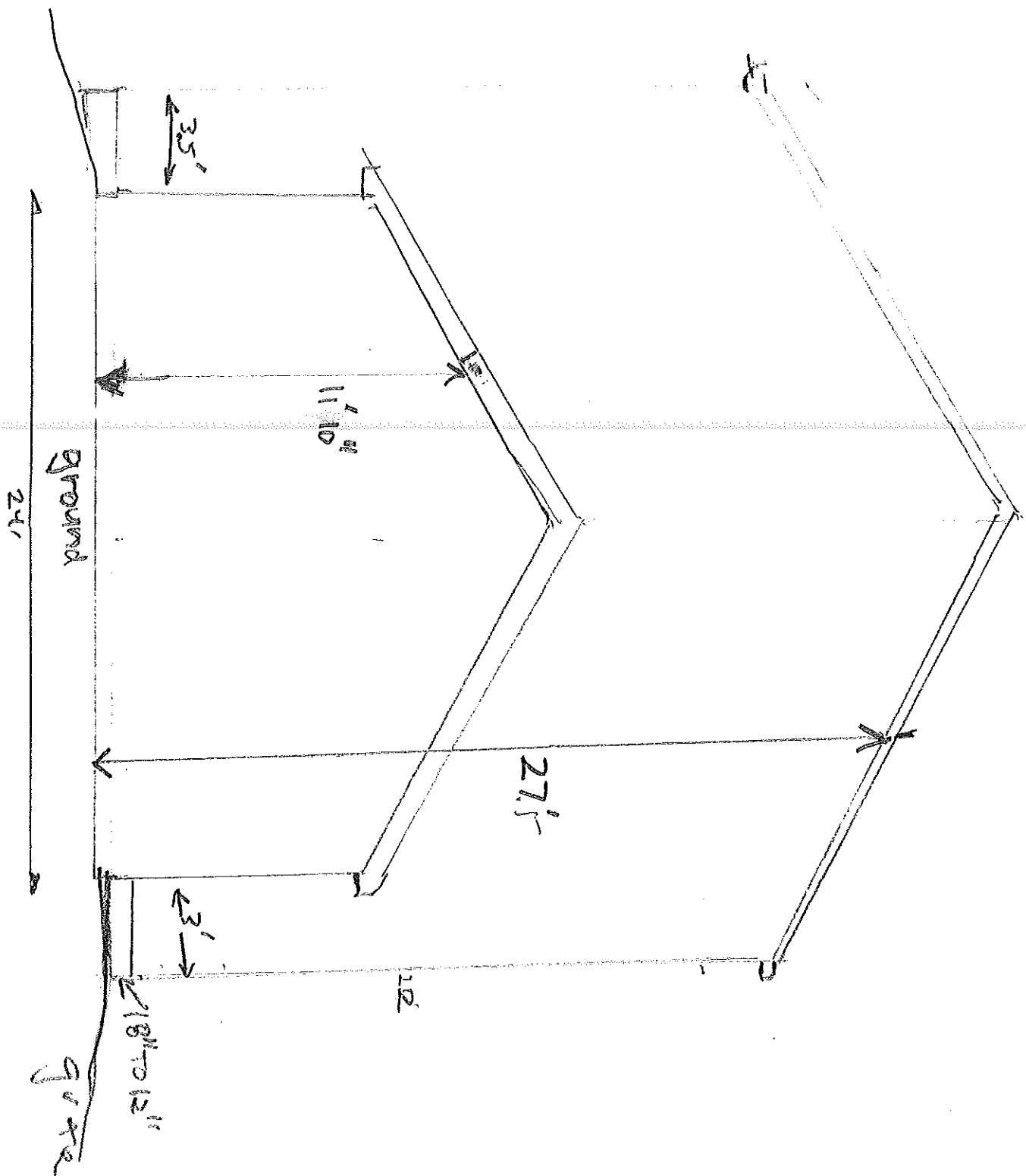
Floor grade of sill 109 feet

Floor grade of 1st floor 110 feet

Zoning R-3

Setbacks 14' side

Back and rear 25'



$1'' = 5'$

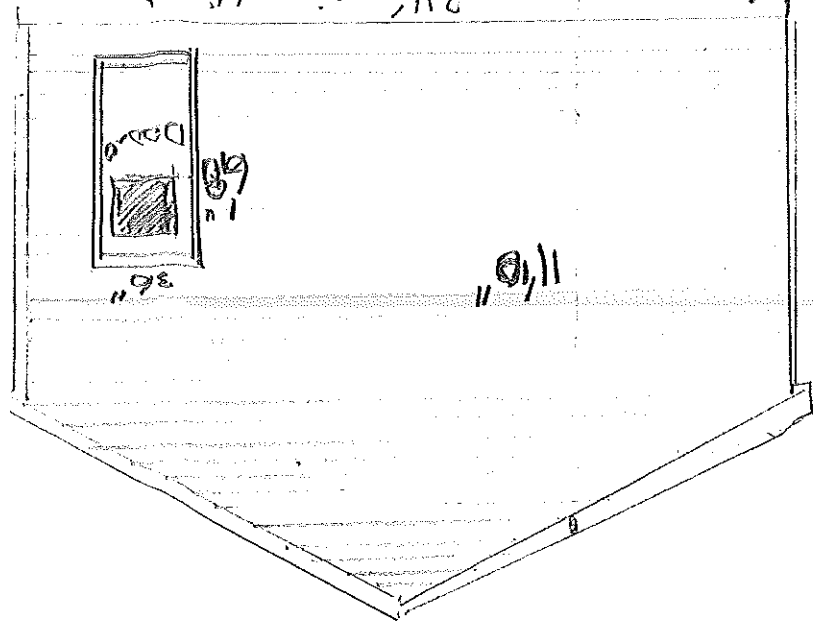
Scale 1/4" = 1'

Elevation

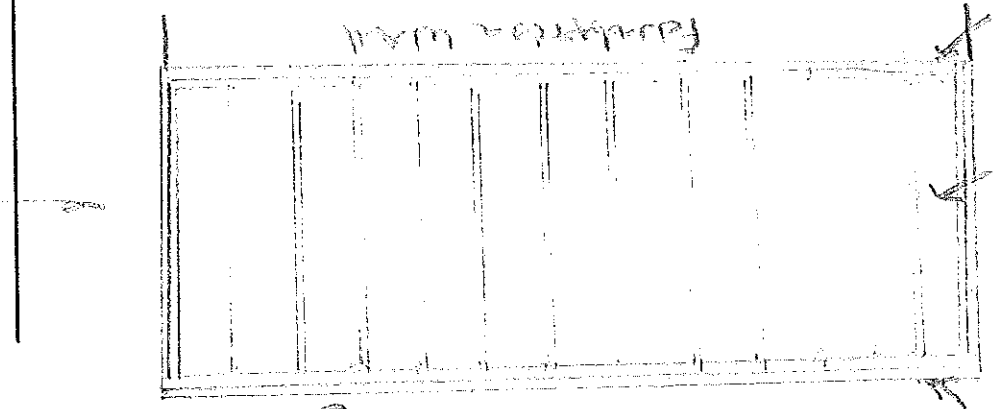
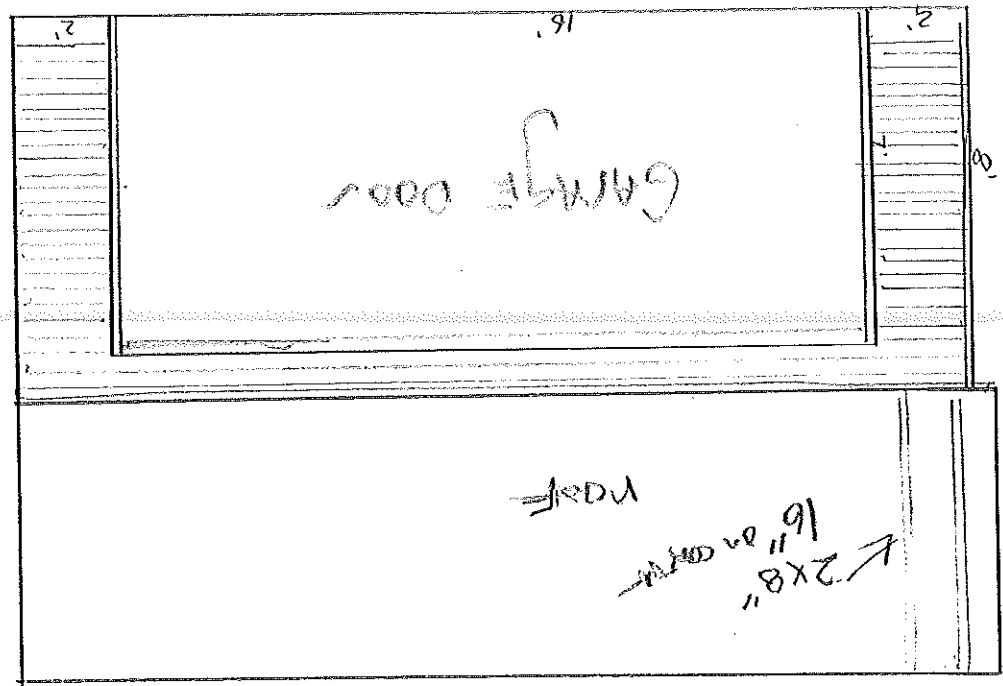
garage (1st floor)

6'

24' Side View



Rear

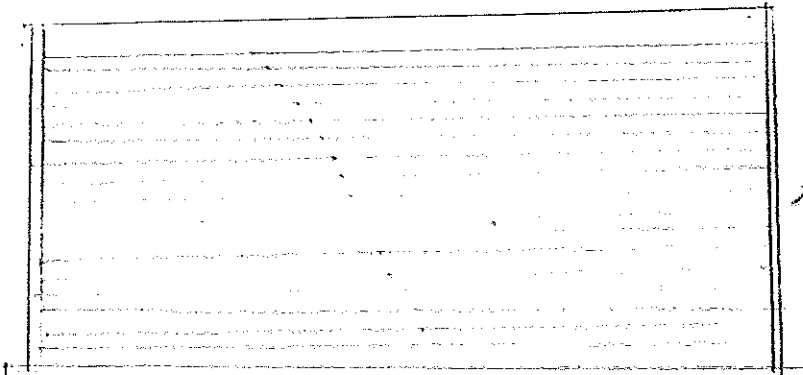


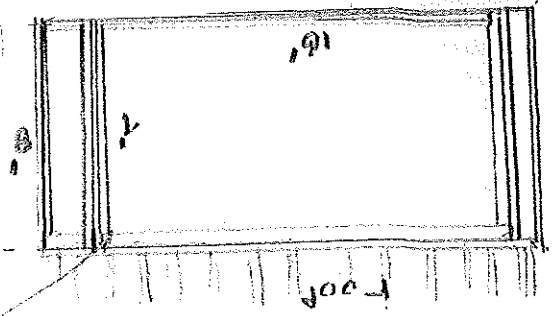
Front View

Cross of it

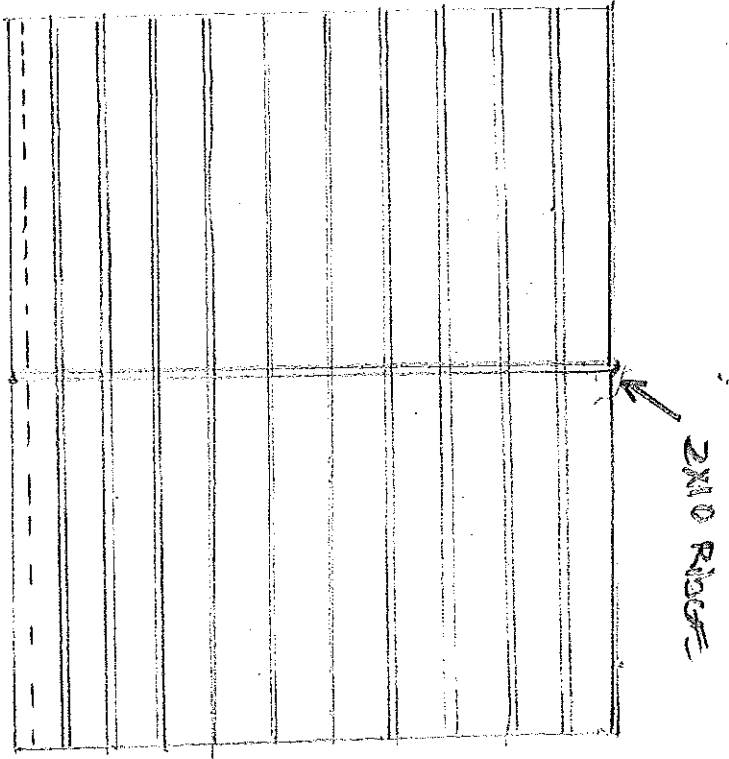
Double 2x4 on center

16" double 2x4





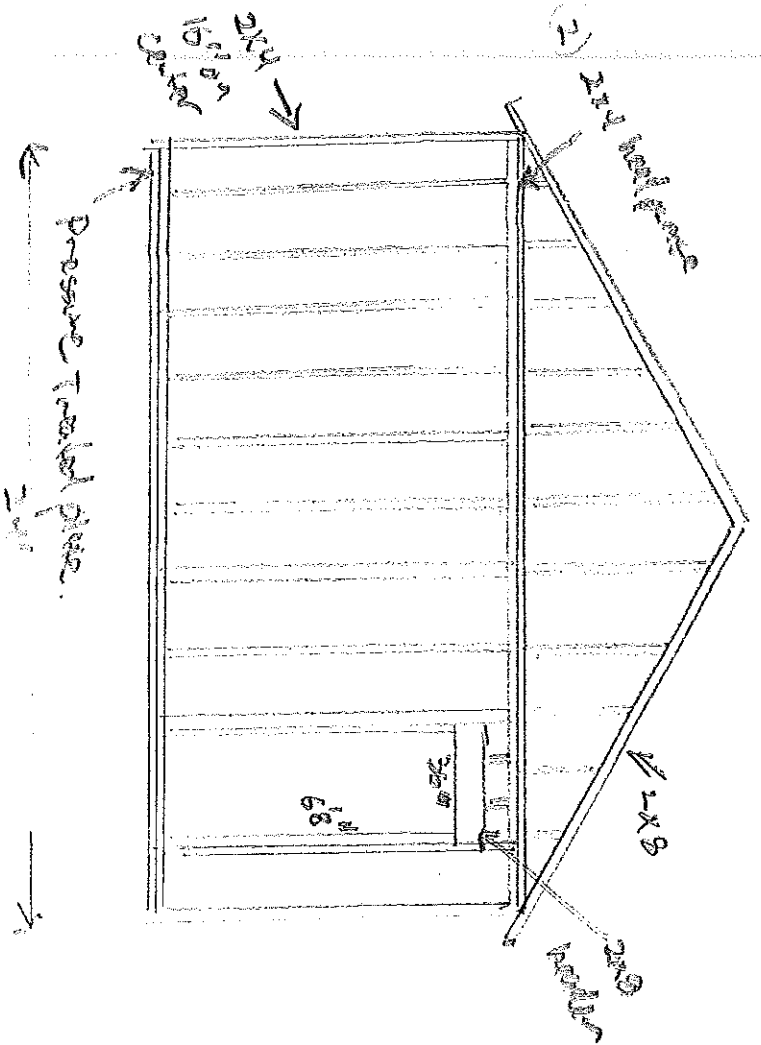
2x10 header



roof framing plan.

1/8" scale

12' span
2x8
16" on
center



2x10 head frame

2x8

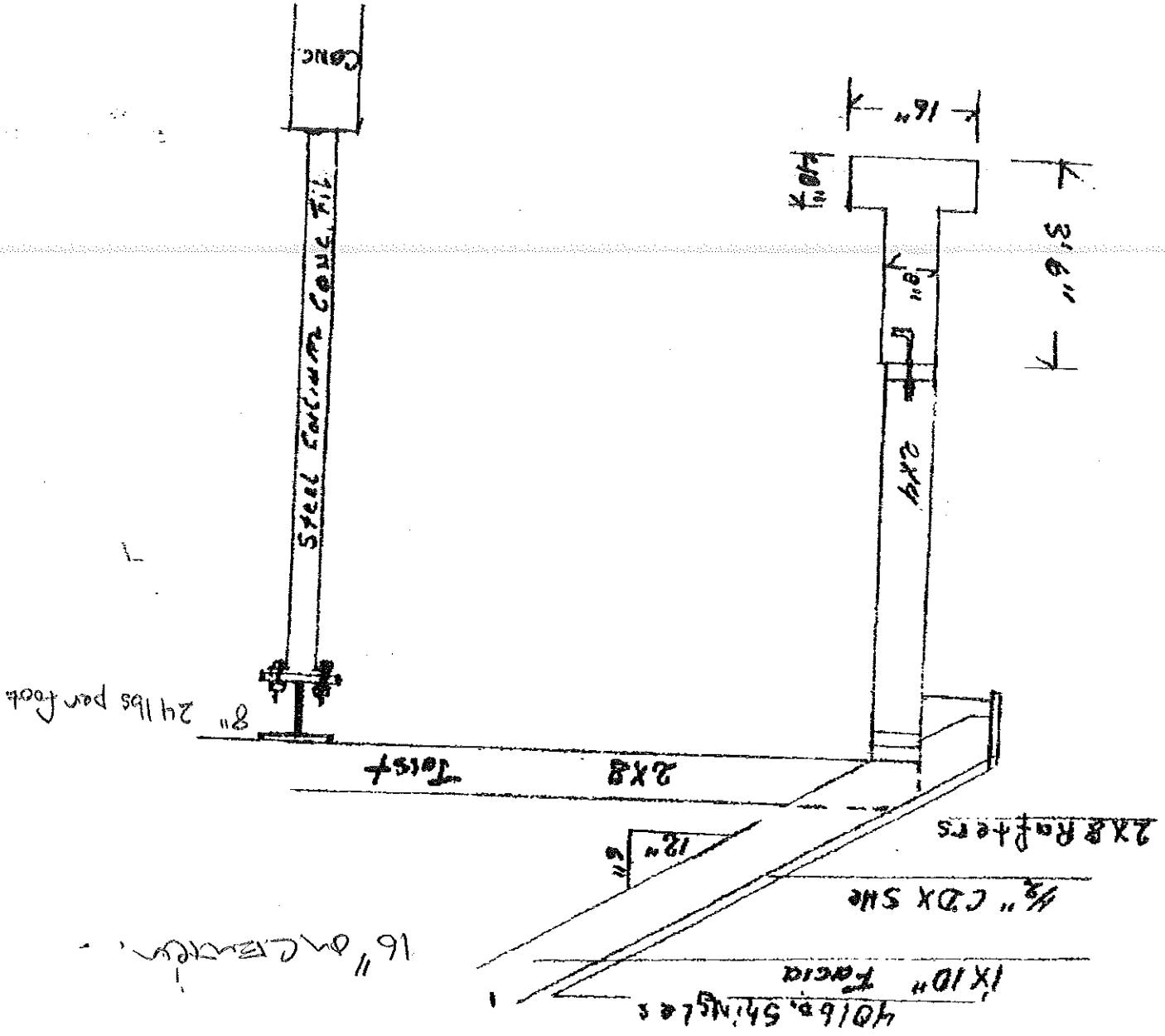
2x8

2x4
16" on
center

Pressure Treated pine.

2x4

2x4





Aquarion Engineering Services
222 St. John Street Suite 314
Portland, Maine 04102
Tel. (207) 828-1272 Fax (207) 774-6907

Project: Willow Knoll

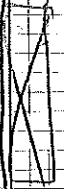
Proj. No.:
Date:

Subject: grasses

By:
Checked:

LOT 12

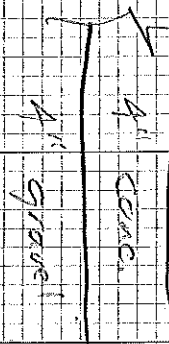
10'9"



7' 4"

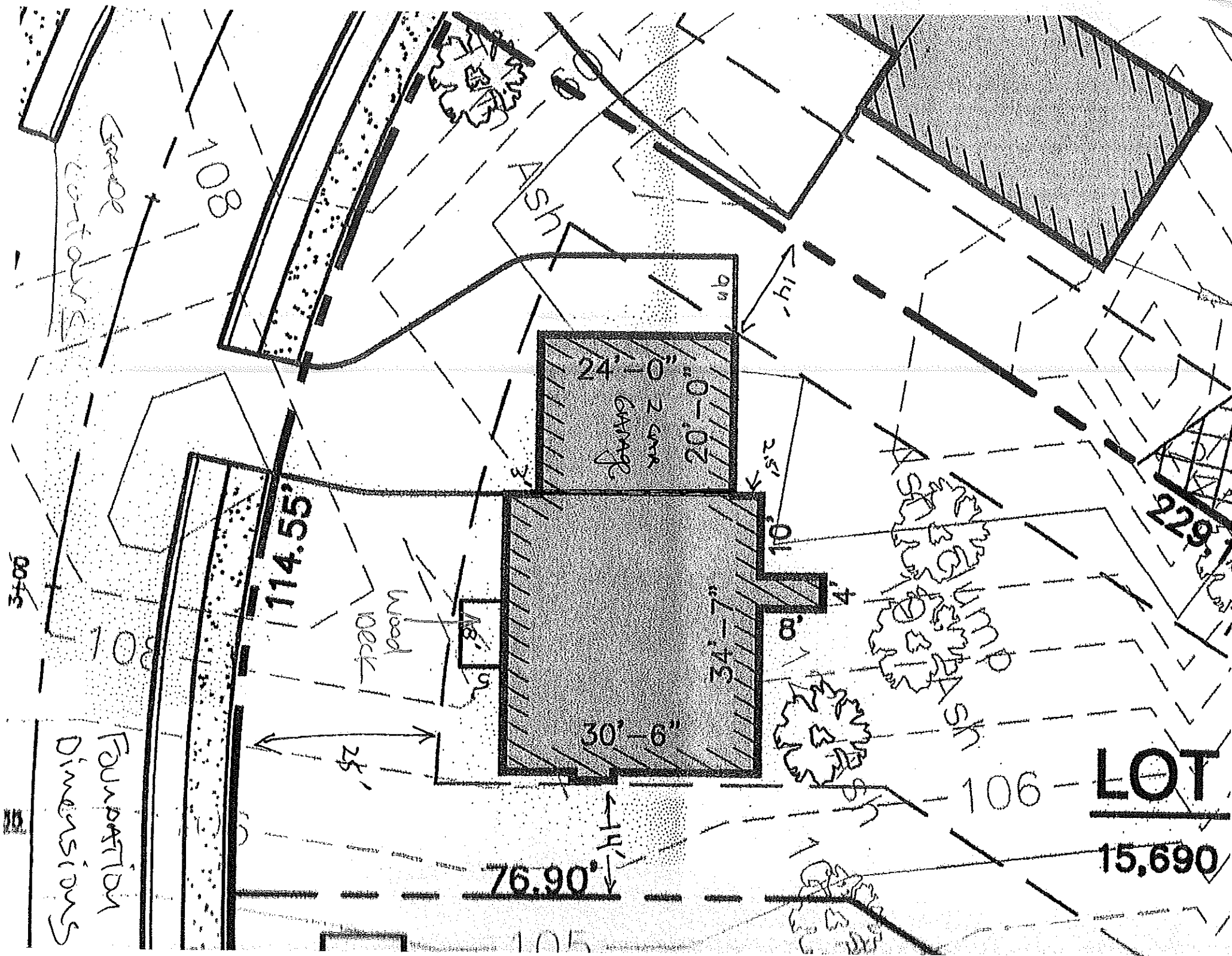
8' 1"

101.67



4" gravel

2'



FOUNDATION
DIMENSIONS

LOT
15,690

24'-0"
2 CAR
GARAGE

114.55'

76.90'

106

229

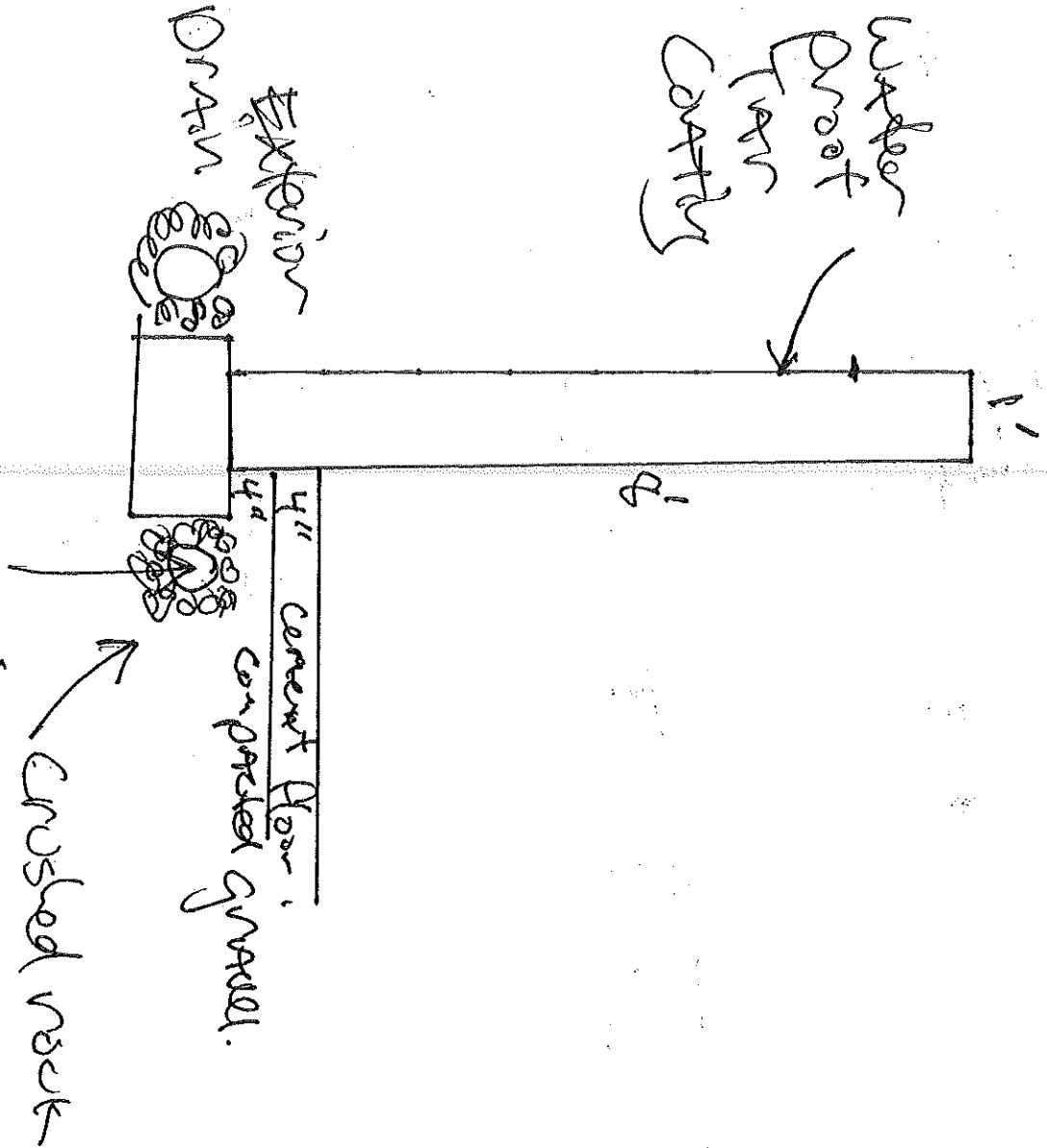
ASH

WOOD SK

WOOD
DECK

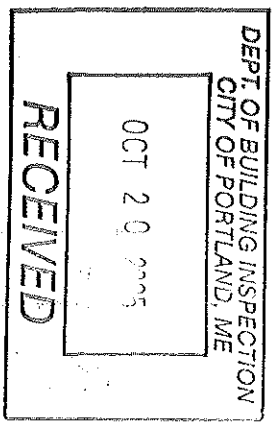
GRASS
CONTAINERS

Foundation drainage.
6" perforated pipe.



$\frac{1}{2}'' = 1$ foot

Foundation reference
and grades



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

2005-0228
Application I. D. Number

Zoning Copy

9/23/2005
Application Date

Ruby Lane #12
Project Name/Description

We Three Magpies LLC
Applicant

12 Whispers Way, Falmouth, Me 04105
Applicant's Mailing Address

We Three Magpies LLC
Consultant/Agent

Applicant Ph: (207) 939-7606

Agent Fax:

~~3223~~ Ruby Ln, Portland, Maine
Address of Proposed Site

~~342-B030001~~

342-B-52

Assessor's Reference: Chart-Block-Lot

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply):

New Building

Warehouse/Distribution

Manufacturing

Flood Hazard

Zoning Conditional Use (ZBA/PS)

Zoning Variance

Zoning Conditional Use (ZBA/PS)

Zoning Conditional Use (ZBA/PS)

Zoning Conditional Use (ZBA/PS)

Zoning Conditional Use (ZBA/PS)

Zoning Conditional Use (ZBA/PS)

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Zoning Conditional Use (ZBA/PS)

Zoning Conditional Use (ZBA/PS)

Zoning Conditional Use (ZBA/PS)

Zoning Conditional Use (ZBA/PS)

Proposed Building square Feet or # of Units

16381

Acreeage of Site

Zoning

Check Review Required:

Site Plan (major/minor)

Flood Hazard

Zoning Conditional Use (ZBA/PS)

Subdivision # of lots

Shoreland

Zoning Variance

PAD Review

Historic Preservation

Zoning Variance

14-403 Streets Review

DEP Local Certification

Other

Fees Paid: Site Pla \$50.00

Subdivision \$250.00

Engineer Review \$250.00

Date 9/23/2005

Zoning Approval Status:

Approved

Approval Date

Condition Compliance

Approved w/Conditions See Attached

Approval Expiration

Condition Compliance

Denied

Extension to

Condition Compliance

Additional Sheets Attached

Approval Expiration

Condition Compliance

Performance Guarantee

* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted

Inspection Fee Paid

Building Permit Issue

Performance Guarantee Reduced

Temporary Certificate of Occupancy

Final Inspection

Certificate Of Occupancy

Performance Guarantee Released

Defect Guarantee Submitted

Defect Guarantee Released

Defect Guarantee Released

Defect Guarantee Released

Defect Guarantee Released

Defect Guarantee Released

Defect Guarantee Released

Defect Guarantee Released

Defect Guarantee Released

Defect Guarantee Released

Required* Not Required

date amount expiration date

date amount expiration date

date amount expiration date

date remaining balance signature expiration date

date Conditions (See Attached) signature expiration date

date signature expiration date

date signature expiration date

date signature expiration date

date signature expiration date

date signature expiration date

date signature expiration date

Applicant: We Three Magpies, LLC

Date: 10/13/05

Address: Ruby Lane - Lot #12

C-B-L: 342-B-52
Permit #: 05-1347

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - more 2160 sq single home - add 20'x24' garage

Sewage Disposal - City

Lot Street Frontage - 50' min. - 115' scaled

Front Yard - 25' min. - 25' scaled

Rear Yard - 25' min. - 25' scaled

Side Yard - 25' min. - 14' min. - 14' on right, 16 on left (garage)
~~27 1/2' min. - 16' min.~~

Projections - ~~3'~~ bulkhead 8x4, chimney 1x5, front porch, stairs 10x5

Width of Lot - 65' min. - 80'

Height - 35' max. - 27.5'

Lot Area - 6500 sq min - 16,389.1 sq shown

Lot Coverage/Impervious Surface - 35% max = 5733.35

Area per Family - 6500 sq min.

Off-street Parking - 2 pks. spaces req. - 2 car garage.

Loading Bays - N/A

Site Plan - 2005-0228 minor/minor

Shoreland Zoning/Stream Protection - N/A

Flood Plains - ~~part~~ - Zone X

$34.5' \times 301' = 10384.64$
 ~~$34' \times 34' = 1156$~~
 $20 \times 24 = 480$
 $1 \times 5 = 5$
 $8 \times 4 = 32$
 $10 \times 5 = 50$
1621.09

Shoot #1
#3

Factor Penetration	Type of Heating System	Means of Egress (see R311 & R312)	Basement	Number of Stairways	Interior	Exterior	Stairs and Risers (Section R311.5.3)	Width (Section R311.5.1)	Headrooms (Section R311.5.2)	Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.9)	Smoke Detectors (Section R313)	Locations and type/ladder connected	Traveling Unit Separation (Section R317) and IRC - 2403 (Section 2407)	Deck Construction (Section R302.2.1)

new stairs
↓

4

Lot 12 Ruby 342-B-052
 Dana O450-923

CHECKLIST	PLAN REVIEW	ONE AND TWO FAMILY Soil type/Preemptive Load Value (Table R401.4)
		STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1D), (Section R403.1 & R403.1A)
	NOT SHOWN	Foundation Drainage, Fabric, Flaming, proofing (Section R405 & R405)
Deck foundation	Weld fabric	Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY
Plumbers	NOT SHOWN	Anchor Bolt/Straps, spacing (Section R403.1.9)
W/Plumbers (copy)	IC	Lally Column Type (Section R407)
	IC	Girders & Header Spans (Table R 502.5.2)
	IC	Built-up Wood Center Girders Dimension/Type
	IC	Sill/Beam Fast Type & Dimensions
	N/A	First Floor Joist Species Dimensions and Spacing (Table R502.3.1(2))
	↑	Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))
		Attic or additional floor Joist Species Dimensions and Spacing (Table R802.4) and



Re- Lot #12 Ruby Lane. Willow Knoll Subdivision

Dear Ann, or *TAMMY*.

I have enclosed all of the information requested.

Cross sections w/ framing details

Floor plans with elevations

Window and door placement.

Foundation plans

No special review. garage is being added. to existing house.

Shape of lot

Boundary survey with measurements

1st floor , basement floor elevations

Utilities

Disposal area for surface water

Silt fence locations

Please contact me at 939-7606 if additional information is needed.

Nicholas Karahalios



Residential Building Permit Application Checklist

All of the following information is required and must be submitted in order to help insure an expeditious permitting process.

A complete set of construction drawings must include:

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing (if applicable)
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included. *with applicable code*

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the new or existing structure(s), a plot plan is required and must include:

- The shape and dimension of the lot, footprint of the proposed structure and the distance from the actual property lines drawn to scale. Structures include decks porches; a bow windows cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown.
- Boundary survey to scale showing north arrow; zoning district and setbacks
- First floor sill elevation (based on mean sea level datum)
- Location and dimensions of parking areas and driveways
- Location and size of both existing utilities in the street and the proposed utilities serving the building
- Location of areas on the site that will be used to dispose of surface water
- Existing and proposed grade contours
- Silt fence locations

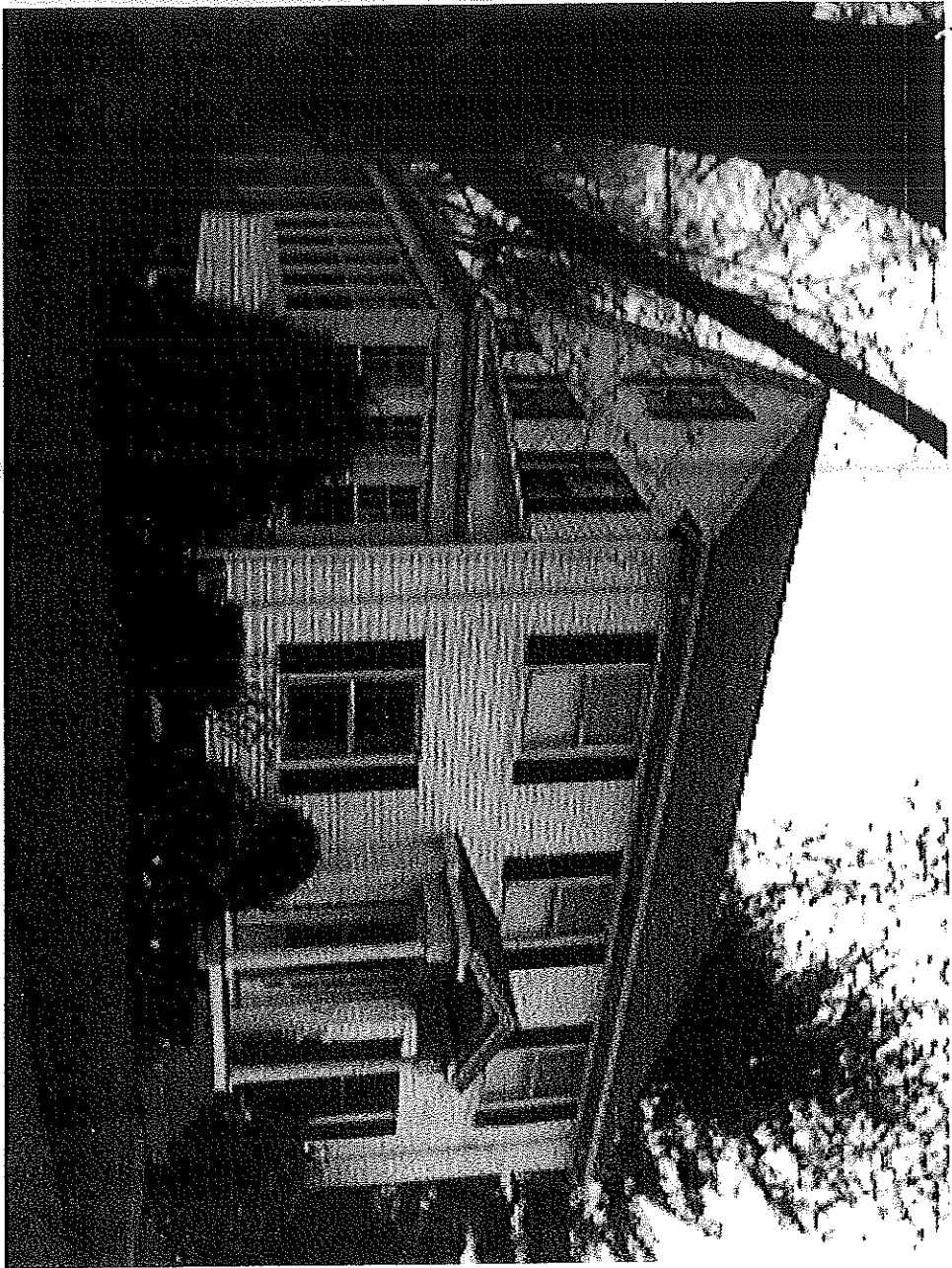
Surveyor's monuments must be in place and the lot staked for a setback inspection.

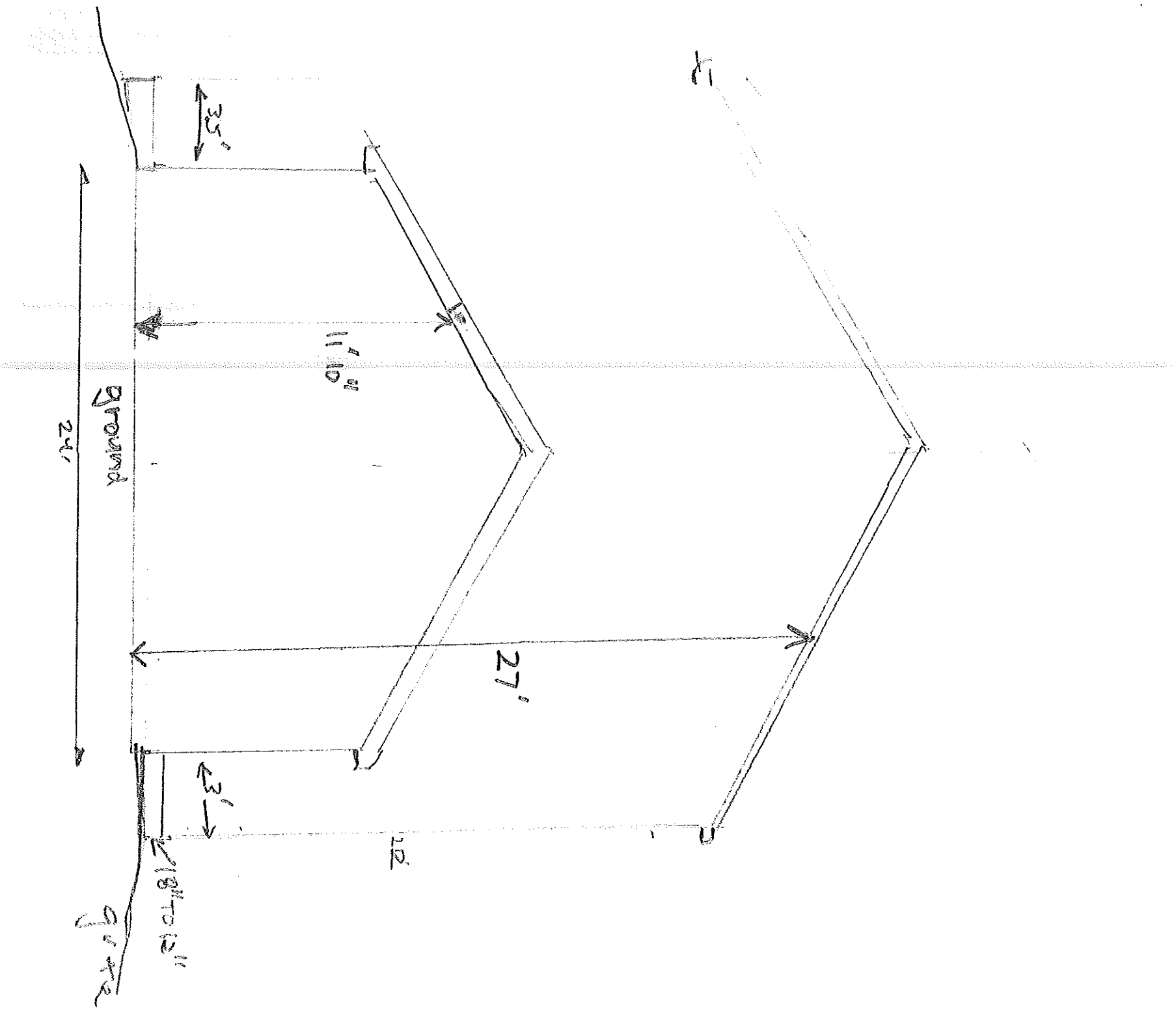
Please submit all of the information outlined in this Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.





$1'' = 5'$

Floor grades requested

Floor grade of basement floor	101.67 feet
Floor grade of sill	109 feet
Floor grade of 1 st floor	110 feet

Zoning R-3

Setbacks 14' side
Back and rear 25'

4" sewer

1" water

Underground
Electric

Private
Drain



From: Jay Reynolds
To: Single Family Signoff
Date: 10/24/05 4:09:30 PM
Subject: Ruby Lane Lot #12

perm# 05-1397

CBL 342B030,

Approvals with conditions have been entered in urban insight for this application.

Jay Reynolds
Development Review Coordinator
City of Portland Planning Division
(207) 874-8632
jayr@portlandmaine.gov

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your
inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

____ Footing/Building Location Inspection: Prior to pouring concrete

____ Re-Bar Schedule Inspection: Prior to pouring concrete

____ Foundation Inspection: Prior to placing ANY backfill

Final Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

 Signature of Applicant/Designee Date 6/8/06

 Signature of Inspections Official Date 6-8-06

CBL: 342 B052 Building Permit #: 060641

LOT 10

14,967 S.F.

LOT 11

14,965 S.F.

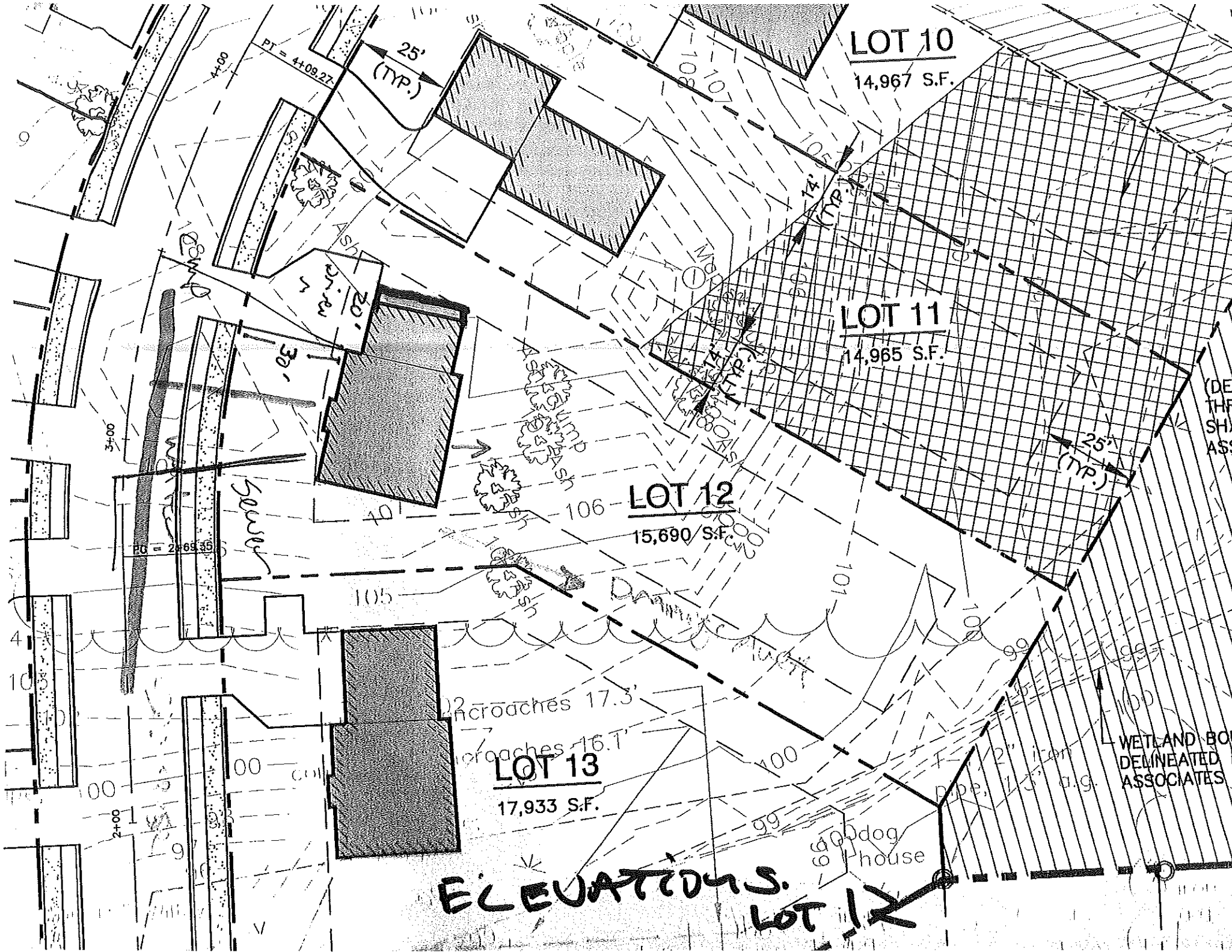
LOT 12

15,690 S.F.

LOT 13

17,933 S.F.

**ELEVATIONS.
LOT 13**



12" SD
8" DUCTILE IRON
WATER MAIN, TYP.

RESIDENTIAL
TRANSFORMER, TYP.

STA 2+70.77, 1' RT.
RIM: 109.27
8" INV IN: 103.60
8" INV OUT: 103.50

NEW HYDRANT

CAL

3+00

4+00

PROVIDE NEW 4" GAS
LINE AND SERVICES TO
EACH LOT

8" PVC SDR 35
L=83'
S=0.0036

1" AIR VALVE

NEW SEWER MANHOLE
STA 2+92.45, 1' RT.
RIM: 108.05
8" INV IN: 100.50
8" INV OUT: 100.40

8" PVC SDR 35
L=72'
S=0.0056

2' HIGH ARCHITECTURAL BLOCK
RETAINING WALL

PROPOSED 4" RESIDENTIAL
PERIMETER DRAIN, TYP-SEE
SHEET C-103

Handwritten:
Sewer
Water
Electric

LOT 13

LOT 12

LOT 11



Residential Building Permit Application Checklist

All of the following information is required and must be submitted in order to help insure an expeditious permitting process.

A complete set of construction drawings must include:

- Cross sections w/ framing details
- Detail of any new walls or permanent partitions
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing (if applicable)
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included. *with proper labels*

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the new or existing structure(s), a plot plan is required and must include:

- The shape and dimension of the lot, footprint of the proposed structure and the distance from the actual property lines drawn to scale. Structures include decks porches; a bow windows cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown.
- Boundary survey to scale showing north arrow; zoning district and setbacks
- First floor sill elevation (based on mean sea level datum)
- Location and dimensions of parking areas and driveways
- Location and size of both existing utilities in the street and the proposed utilities serving the building
- Location of areas on the site that will be used to dispose of surface water
- Existing and proposed grade contours
- Silt fence locations

Surveyor's monuments must be in place and the lot staked for a setback inspection.

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RECEIVED

5002 0 2 100

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

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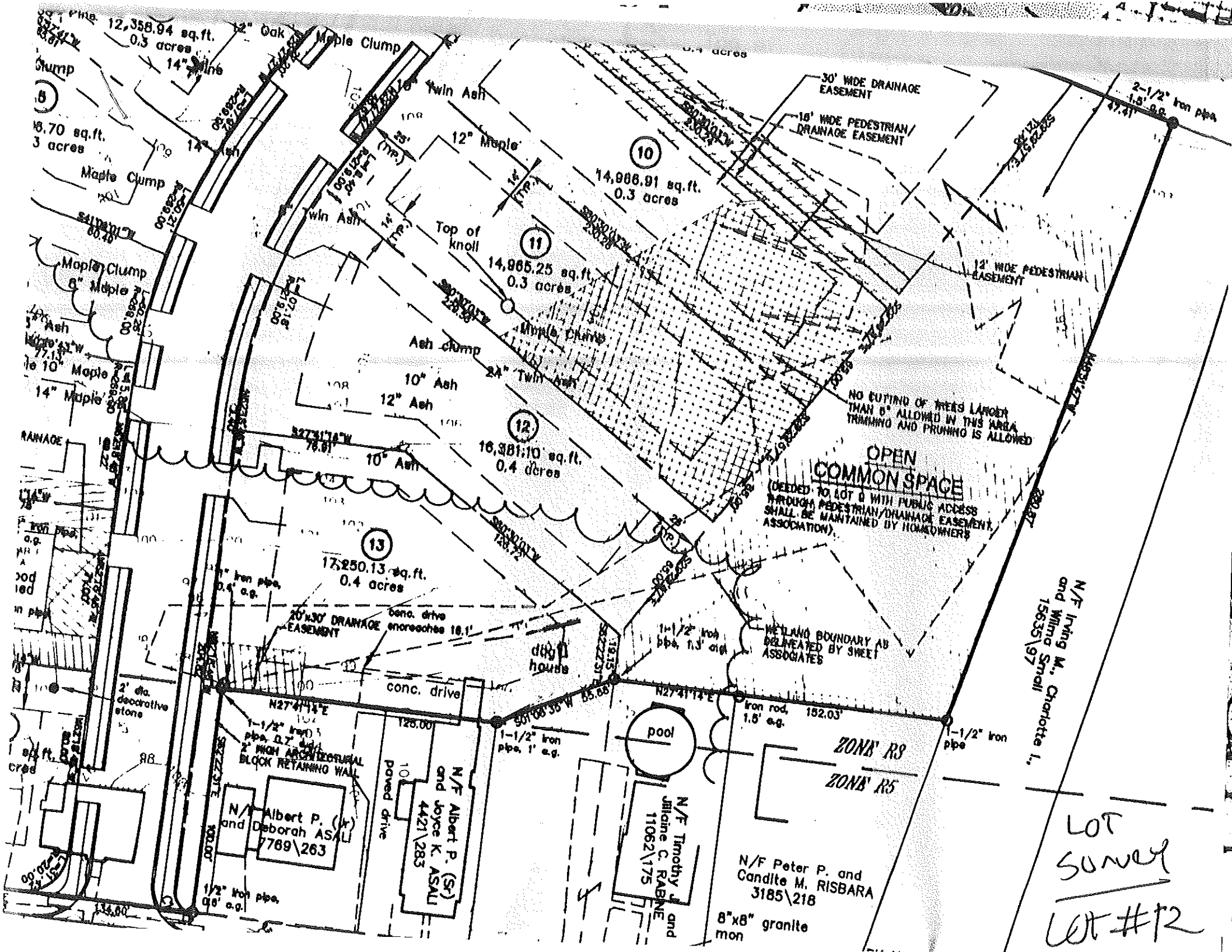
- | | |
|---|--|
| <u>COOL</u> Footing/Building Location Inspection: | Prior to pouring concrete |
| <u>N/A</u> Re-Bar Schedule Inspection: | Prior to pouring concrete |
| <u>COOL</u> Foundation Inspection: | Prior to placing ANY backfill |
| <u>COOL</u> Framing/Rough Plumbing/Electrical: | Prior to any insulating or drywalling |
| <u>COOL</u> Final/Certificate of Occupancy: | Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point. |

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Signature of Applicant/Designee: [Signature] Date: 11/2/05
Signature of Inspections Official: [Signature] Date: _____
CBL: 3423059 Building Permit #: 051397



OPEN COMMON SPACE

(DEED TO LOT 8 WITH PUBLIC ACCESS THROUGH PEDESTRIAN/DRAINAGE EASEMENT SHALL BE MAINTAINED BY HOMEOWNERS ASSOCIATION)

ZONE R3
ZONE R5

LOT
Survey
LOT #12