

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0641  
 Permit Date: JUN 1 2006  
 CBL: 342 B052001

Location of Construction: 25 RUBY LN  
 Owner Name: GREVEN JONATHAN & SARAH  
 Business Name:  
 Contractor Name:  
 Lessee/Buyer's Name:  
 Phone:  
 Permit Type: Amendment to Single Family  
 Zone: R-3

Past Use: Single Family Home  
 Proposed Use: Single Family Home/ amendment to permit #051397 change trusses, add 2 windows, relocate entry door to garage. No change of footprint

Permit Fee: \$30.00  
 Cost of Work: \$1,000.00  
 CEO District: 5  
 FIRE DEPT:  Approved  Denied  
 INSPECTION: Use Group: R-3 Type: SB  
 Signature: JMC 2003

Proposed Project Description: amendment to permit #051397 change trusses, add 2 windows, relocate entry door to garage. No change of footprint

Signature: [Signature]  
 Date: 5/31/06  
 PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)  
 Action:  Approved  Approved w/Conditions  Denied  
 Signature: [Signature]  
 Date:

Permit Taken By: Idobson  
 Date Applied For: 05/02/2006  
**Zoning Approval**

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Denied Date: 5/31/06	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: [Signature]
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT: \_\_\_\_\_ ADDRESS: \_\_\_\_\_ DATE: \_\_\_\_\_ PHONE: \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE: \_\_\_\_\_ DATE: \_\_\_\_\_ PHONE: \_\_\_\_\_

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

BUILDING INSPECTION

Permit Number: 106062006

CITY OF PORTLAND

This is to certify that GREVEN JONATHAN & SAH GREVEN JTS

has permission to amendment to permit #0513

locate entry door to garage. No change of footpr

AT 25 RUBY LN

342 B052001

provided that the person or persons responsible for the work shall comply with all of the provisions of the Statutes of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

If inspection must be made on premises during the course of the work, the person or persons responsible for the work shall be notified in advance of the inspection. If the inspection is required, the person or persons responsible for the work shall be notified in advance of the inspection. IF NO INSPECTION IS REQUIRED, THE PERSON OR PERSONS RESPONSIBLE FOR THE WORK SHALL BE NOTIFIED IN ADVANCE OF THE INSPECTION.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_

Department Name

*Thomas M. Mearley*  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
06-0641	05/02/2006	342 B052001

Location of Construction:		Owner Name:	Phone:
25 RUBY LN		GREVEN JONATHAN & SARAH	
Business Name:		Contractor Name:	Phone:
Lessee/Buyer's Name		Permit Type:	
		Amendment to Single Family	

Proposed Use:	Proposed Project Description:
Single Family Home/ amendment to permit #051397 change trusses, add 2 windows, relocate entry door to garage. No change of footprint	amendment to permit #051397 change trusses. add 2 windows, relocate entry door to garage. No change of footprint

<b>Dept:</b> Zoning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Marge Schmuckal	<b>Approval Date:</b> 05/16/2006
<b>Note:</b>	<p>1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.</p> <p>2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</p> <p>3) All previous conditions of approval on permit #05-1397 are still in force.</p> <p>4) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.</p>		
<b>Dept:</b> Building	<b>Status:</b> Approved	<b>Reviewer:</b> Tom Markley	<b>Approval Date:</b>
<b>Note:</b>	<p>1) Separate permits are required for any electrical, plumbing, or heating.</p> <p>2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.</p>		

**Ok to Issue:** **Ok to Issue:**



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>25 Ruby Lane, Portland</u>		Square Footage of Lot <u>15000</u>	
Total Square Footage of Proposed Structure <u>480</u>			
Tax Assessor's Chart, Block & Lot Chart# <u>B</u> Lot# <u>S2</u>	Owner: <u>Jonathan Greven</u>	Telephone: <u>2077977080</u>	
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Jonathan Greven</u> <u>25 Ruby Lane</u> <u>Portland ME 04103</u>	Cost Of Work: \$ _____	Fee: \$ _____
Current Specific use: <u>Residential Garage</u>	C of O Fee: \$ _____		
If vacant, what was the previous use? _____			
Proposed Specific use: <u>Garage</u>			
Project description: <u>Change to Permit # 0513917</u> <u>1) Use trusses to Frame Roof</u> <u>2) Add 2 Windows to Garage</u> <u>3) Re locate entry door to rear of garage.</u>			
Contractor's name, address & telephone: _____			
Who should we contact when the permit is ready: <u>Jonathan Greven</u>			
Mailing address: Phone: <u>207 577-2636</u>			

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 

Date: 5/2/06

This is not a permit; you may not commence ANY work until the permit is issued.

**From:** Jay Reynolds  
**To:** Occupancy Routing List  
**Date:** 5/3/2006 8:34:06 AM  
**Subject:** C of O Property Addr: RUBY LN #12 Parcel ID: 342 B052001

Mike N., this is a 're-issuing' of a temporary C of O, extending the expiration to Aug. 1st. Helping a new Homeowner who's having trouble with the developer.  
Thanks.

Jay Reynolds  
Development Review Coordinator  
City of Portland Planning Division  
(207) 874-8632  
jayjr@portlandmaine.gov

>>> Donna Martin 03/01/2006 8:36:39 AM >>>  
Date: 3/9/2006 Time: 6:00:00 AM  
**This was rescheduled from 3/2**

Note: Dana Dresser @ 450-1923 final for c of o. /gg Property Addr: RUBY LN #12 Parcel ID: 342 B052001

Application Type: Prmt  
Application ID: 51397

Contact: Dana Dresser  
Phone1: 2074501923 Phone2:

Owner Name: We Three Magpies  
Owner Addr: 12 Whispers Way  
Falmouth, Maine 04105

TO: Inspections Department  
FROM: Jay Reynolds, Development Review Coordinator  
DATE: May 2, 2006  
RE: C. of O. for #\_\_ Ruby Lane, Lot 12 Willow Knoll Subdivision  
(Id#2005-0228)(CBL 342B052)

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After visiting the site, I have the following comments:

Site work incomplete:

1. Final Grading,
2. Paving,
3. Loam and seed,
4. Landscaping,

I anticipate this work can be completed by August 1, 2006.  
At this time, I recommend issuing a temporary Certificate of Occupancy.

Cc: Sarah Hopkins, Development Review Services Manager  
Mike Nugent, Inspection Services Manager  
File: Urban Insight

File: O:\plan\drc\rubyknollot12b.doc

Job: WD MATTI ICWG  
 Truss Type: FINK  
 City: Ply  
 Job Reference (optional): 6.200 s Jul 13 2005 MITek Industries, Inc. Wed Apr 26 16:31:03 2006 Page 1



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 Scale = 1/43.1

3.67 1/2

LOADING (psf)

TCLL	56.0
(Roof Snow=56.0)	
TCDL	7.0
BCDL	0.0
BCDL	10.0

LUMBER

TOP CHORD	2 X 4 SPF 1650F 1.5E
BOT CHORD	2 X 4 SPF 1650F 1.5E
WEBS	2 X 3 S/P Df No.2

REACTIONS (lb/size)

2=1873/0-5-8, 6=1873/0-5-8
Max Horiz 2=-45 (load case 5)
Max Uplift 2=-179 (load case 6), 5=-179 (load case 7)

FORCES (lb) - Maximum Compression/Maximum Tension

TOP CHORD	1-2=0/65, 2-3=-4370/339, 3-4=-3775/279, 4-5=-3775/279, 5-6=-4370/339, 6-7=0/65
BOT CHORD	2-10=-315/4058, 9-10=-1542/287, 8-9=-1542/287, 8-8=-273/4056
WEBS	5-10=-780/158, 4-10=-68/1034, 4-8=-68/1034, 5-8=-790/160

NOTES (2)

- 1) Wind: ASCE 7-02; 90mph; h=25ft; TCDF=4.2psf; BCDL=4.2psf; Category II; Exp B; enclosed; MWFRS gable end zone; cantilever left and right exposed; end vertical left and right exposed; Lumber DOL=1.33 plate grip DOL=1.33.
- 2) Unbalanced snow loads have been considered for this design.
- 3) Overhang has been design for 2.00 times live load + dead load.
- 4) One RT7 USP connectors recommended to connect truss to bearing walls due to uplift at jts 2 and 6.
- 5) This truss design is based upon the building code shown. This code has been specified by the project engineer/architect or building designer. The applicability of this code in any particular jurisdiction should be confirmed with the building official prior to truss fabrication. This determination is not the responsibility of the component/truss designer.

LOAD CASE(S) Standard

DEFL	In (loc)	1/defl	L/d	PLATES	GRIP
Vert(LL)	-0.35	8-10	>808	MT20	1977/144
Vert(TL)	-0.48	2-10	>589		
Horz(TL)	0.13	6	n/a		
Wind(LL)	0.08	10	>999		
					Weight: 71 lb

BRACING  
 TOP CHORD Sheathed or 2-4-8 oc purlins.  
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

~~Att Ryan~~  
 COST would be \$600.00  
 det inc add for AC

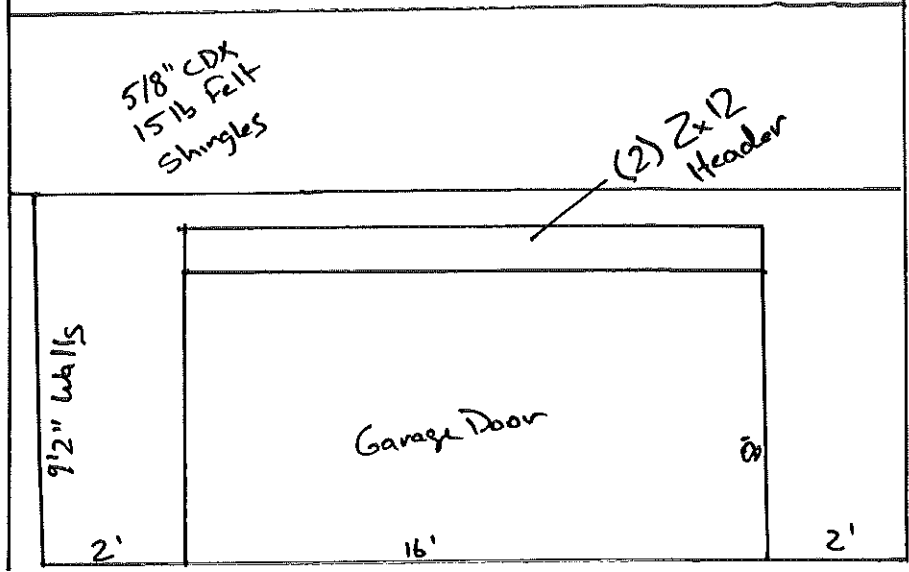
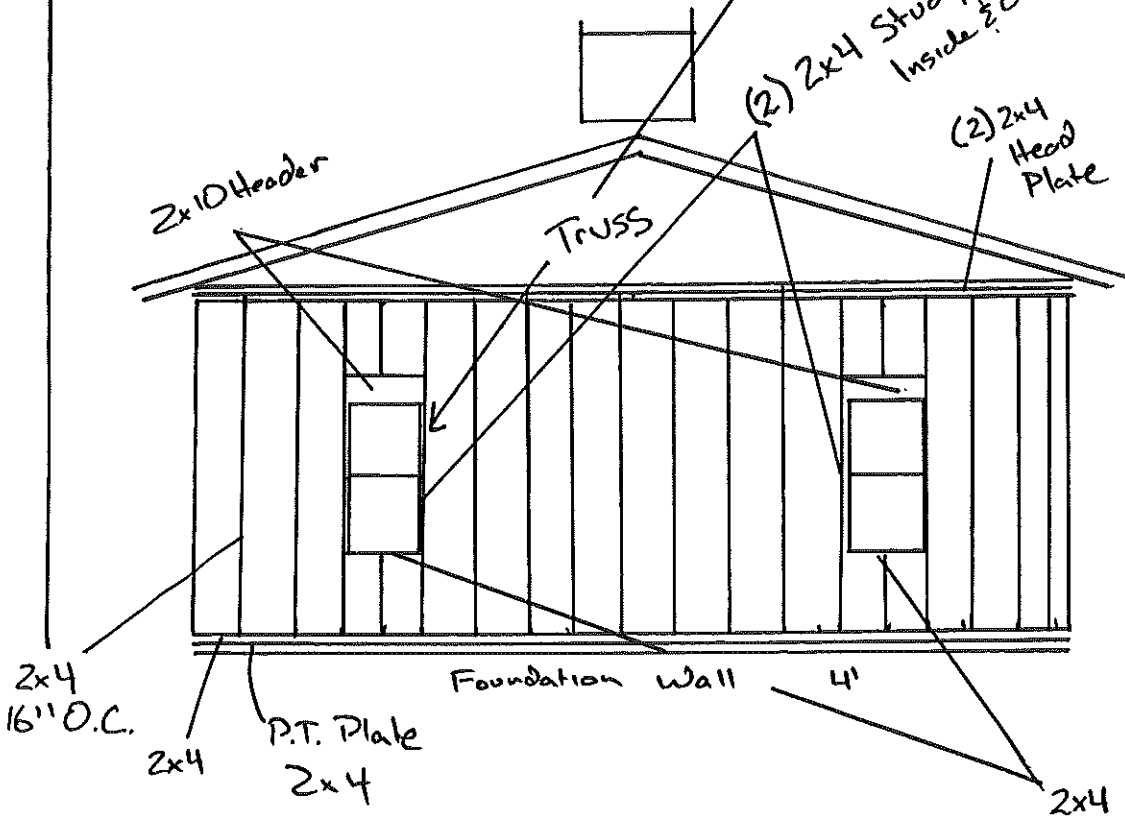
Windows Added  
Change #2

Side View  
Framing

Window Size  
26" x 48"

House

Front View  
Door & Header

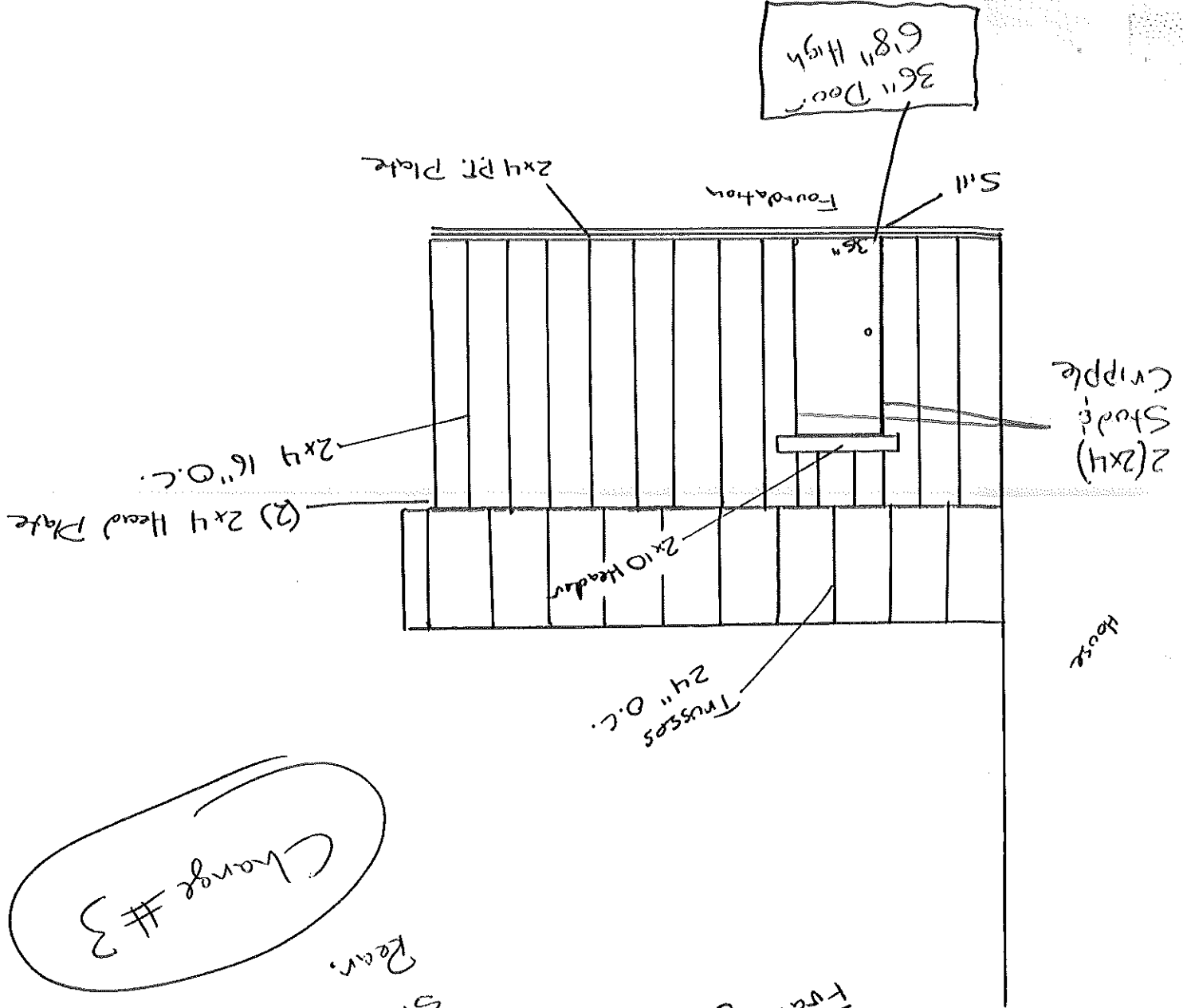




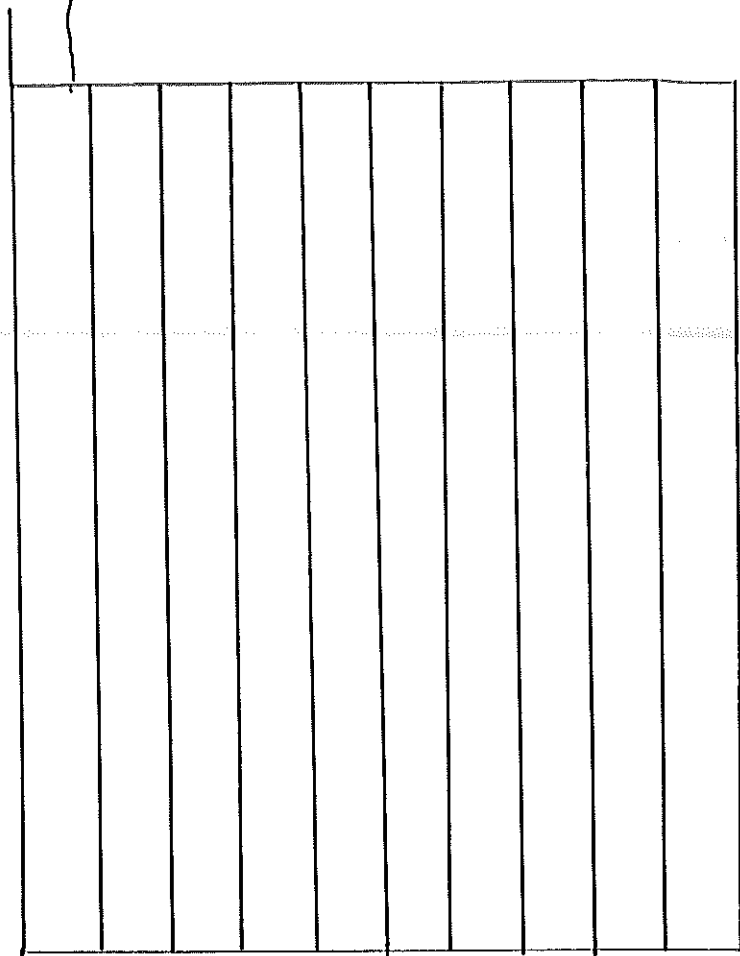
Change #3

Door Side moved from Rear

Rear View Framing



Driveway



See Truss Spec.

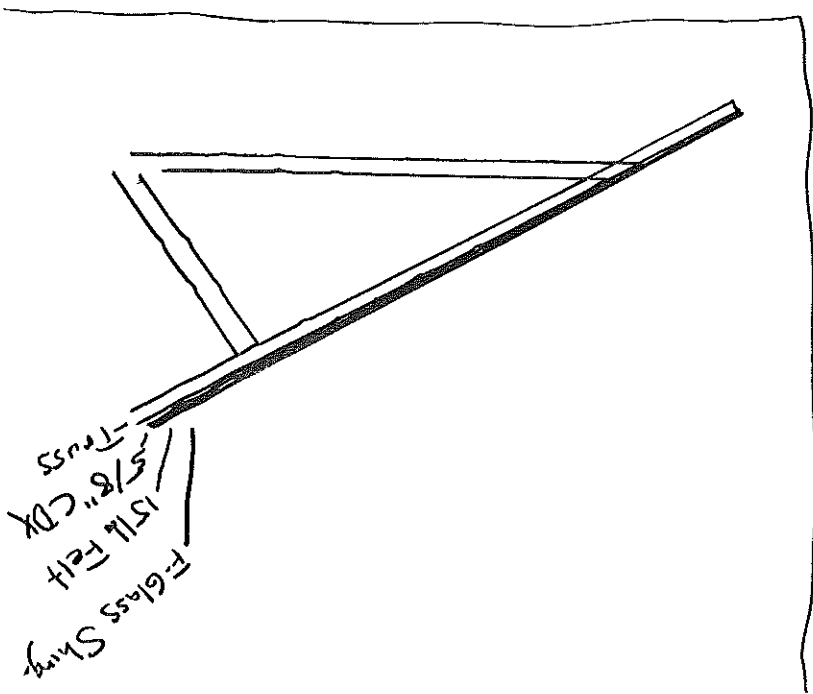
Trusses  
24" O.C.

3.67/12 Pitch

Top View

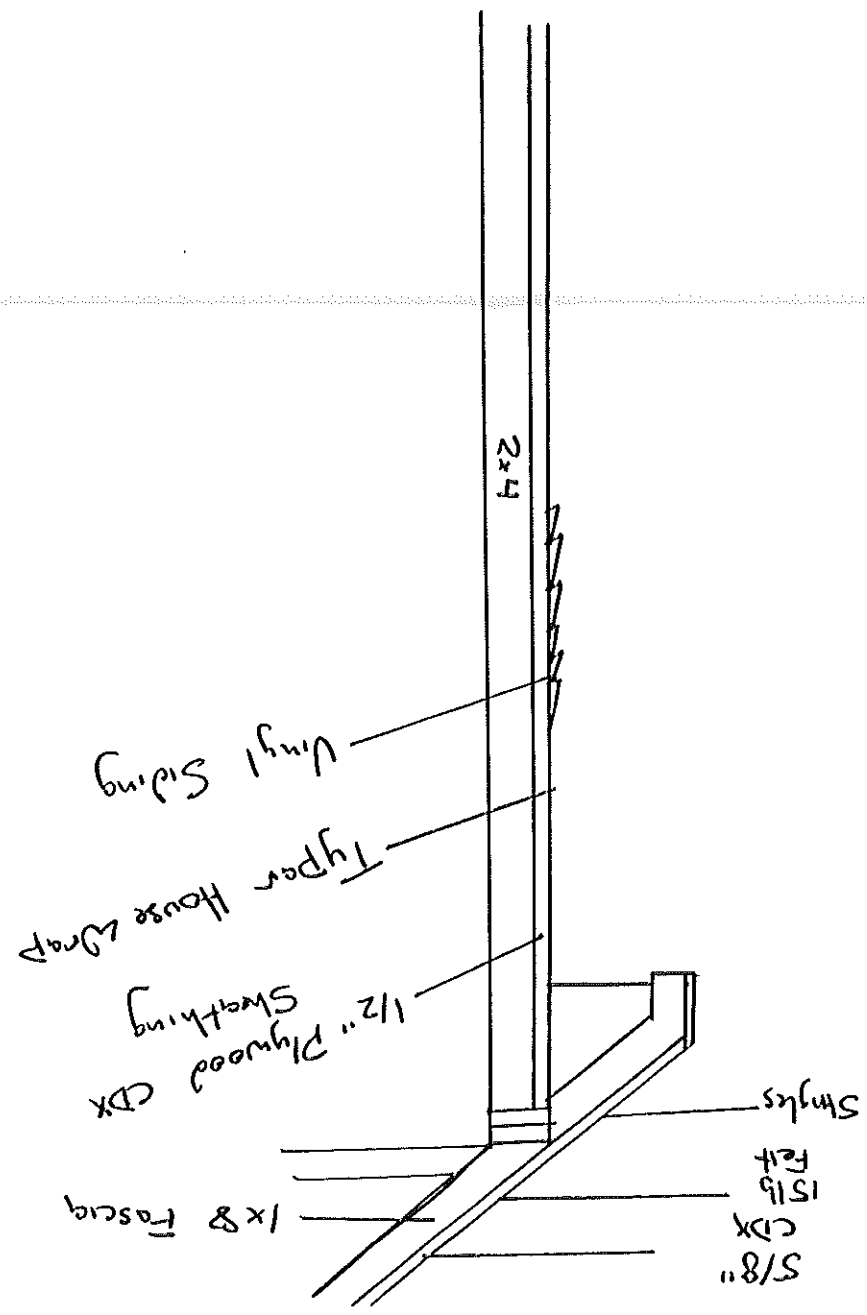
House

Roof Framing



Glass Shing  
15 1/2" Felt  
5/8" CDK  
Truss

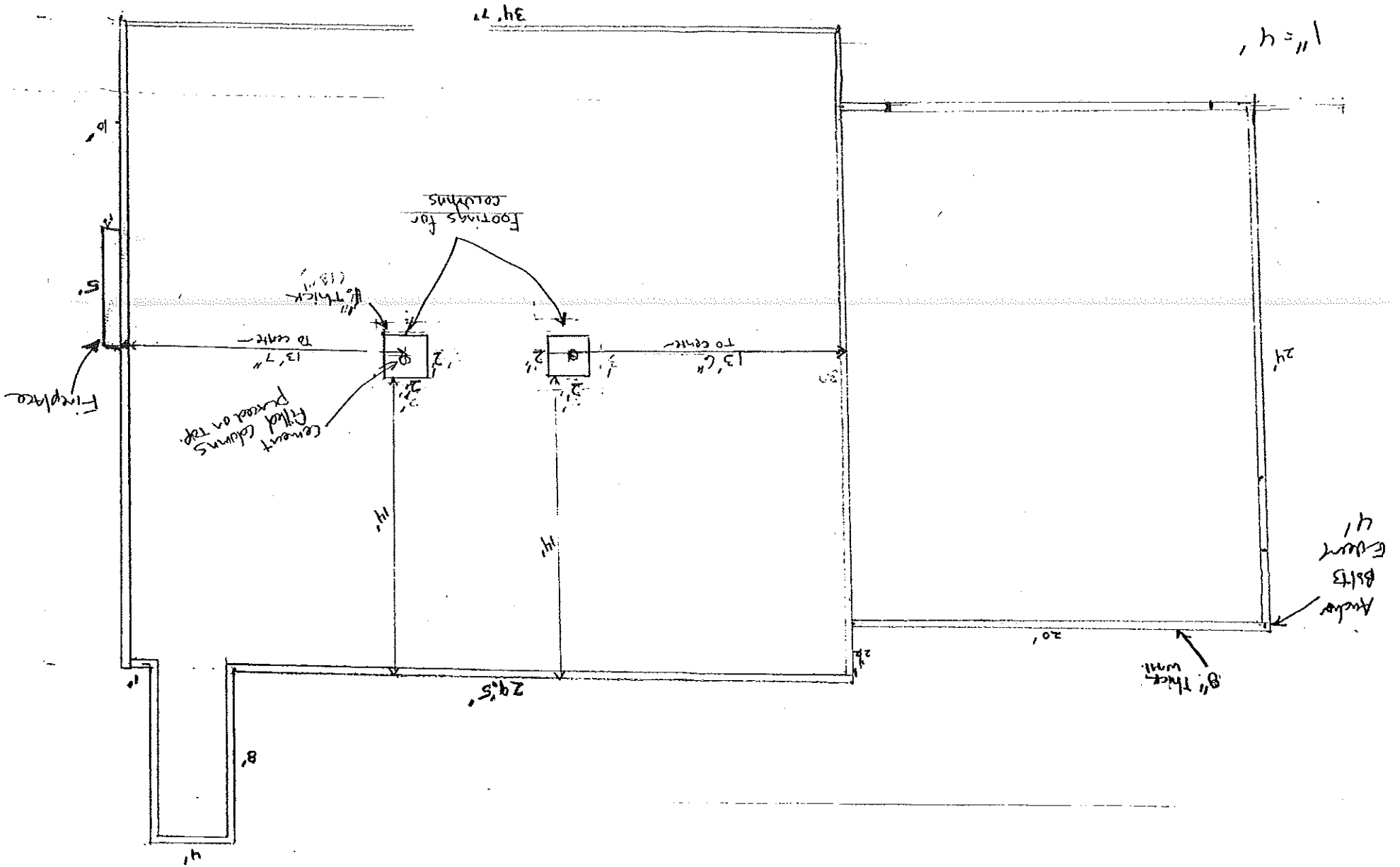
Cutaway



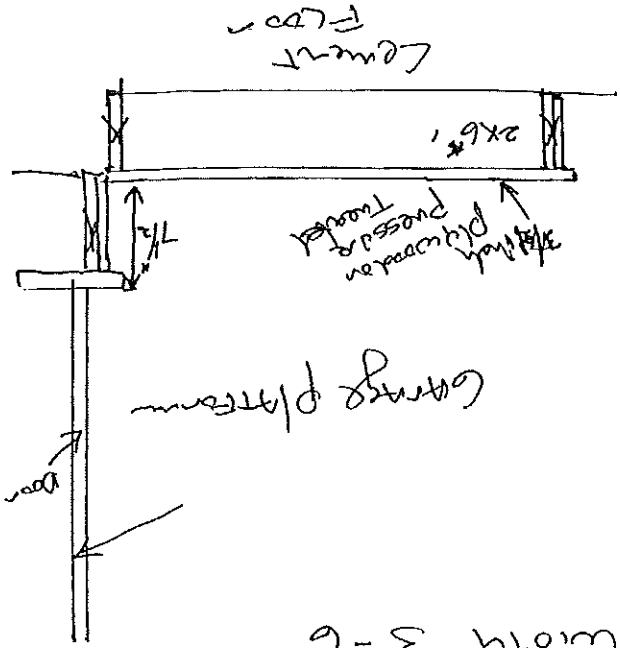




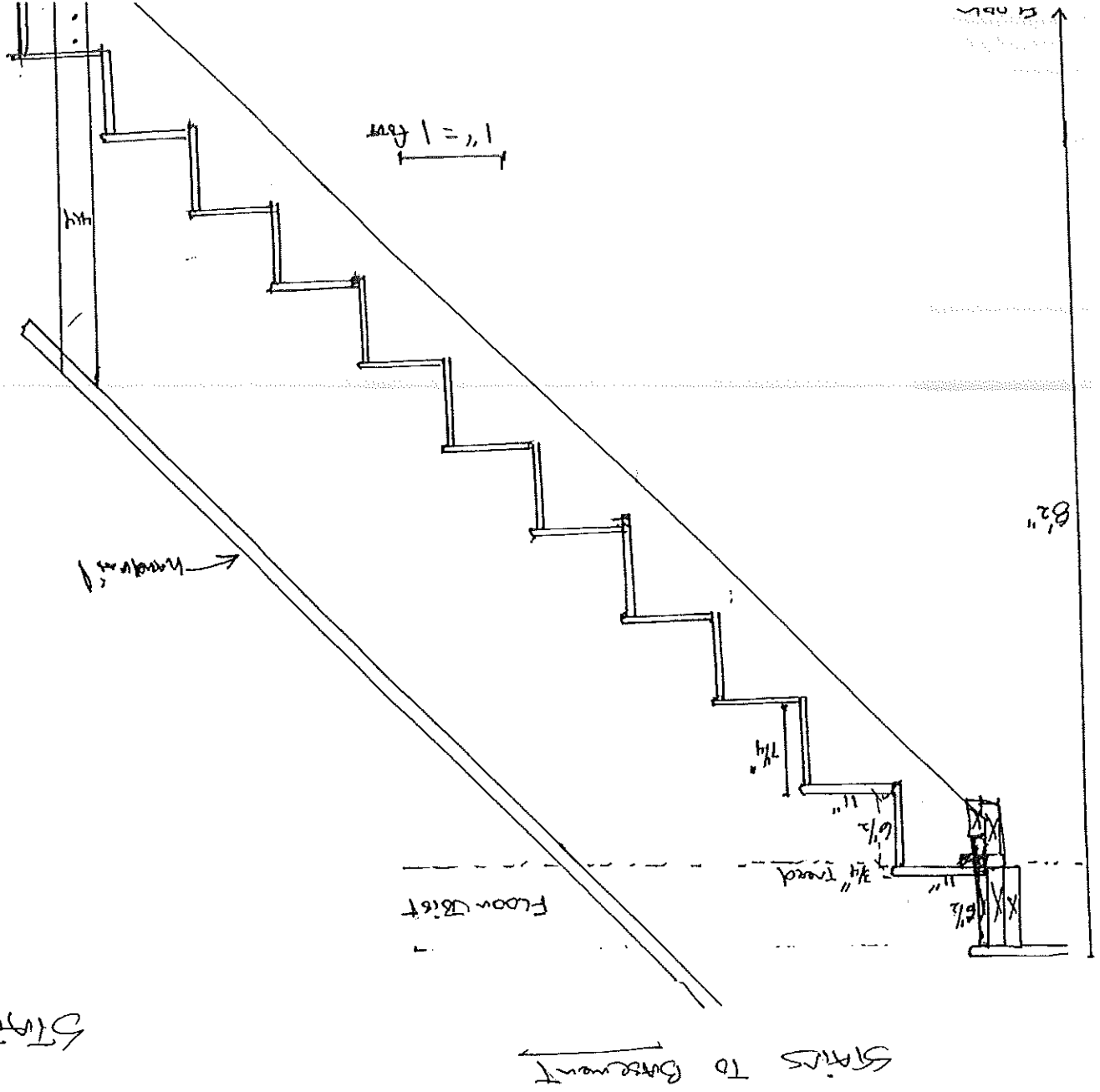




3A



Stair width 3'-6"





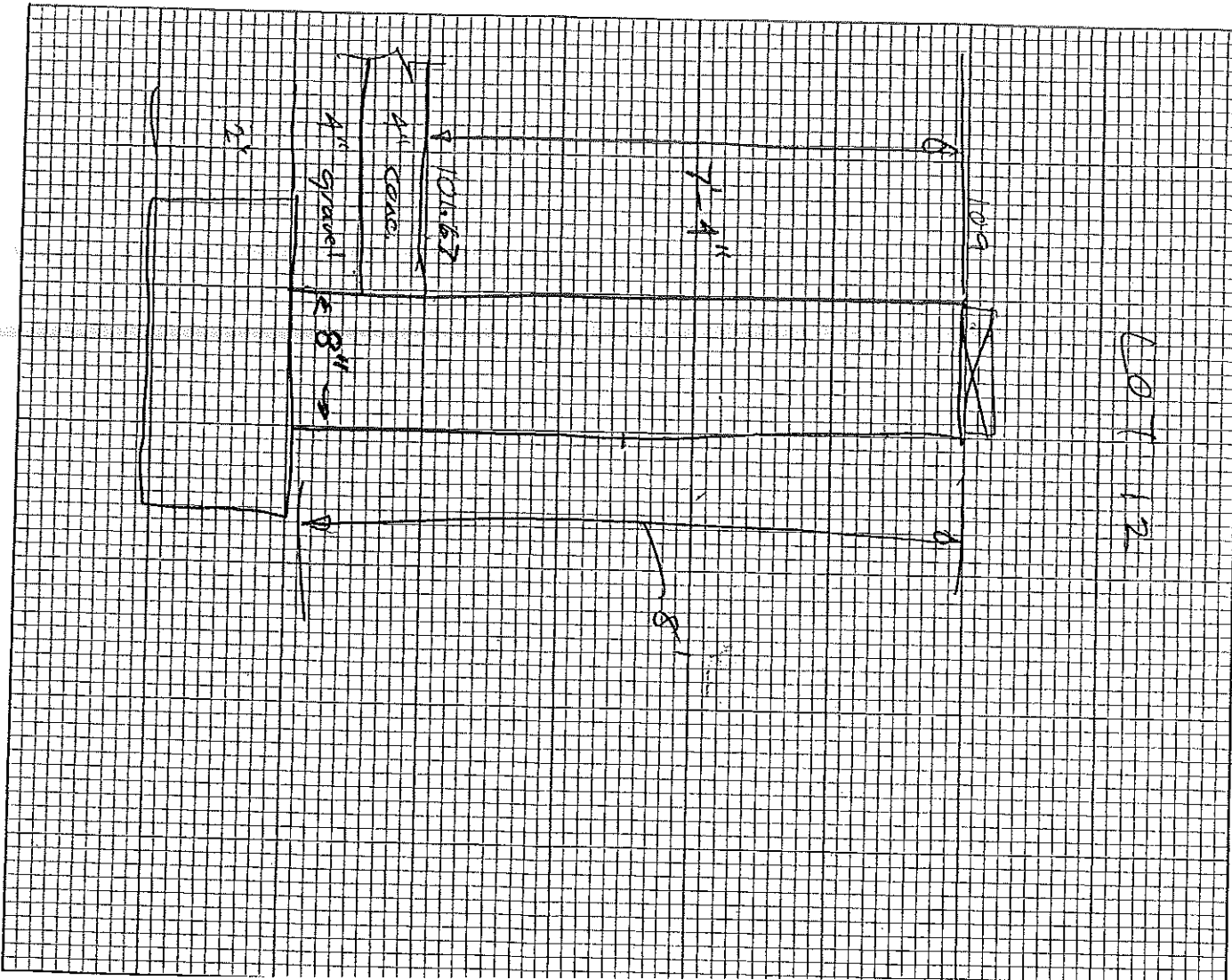


Aquarion Engineering Service  
222 St. John Street Suite 314  
Portland, Maine 04102  
Tel. (207) 828-1272 Fax (207) 774-6907

Project: Willow Knoll  
Subject: graves

Proj. No.:  
Date:  
By:  
Checked:

LOT 12



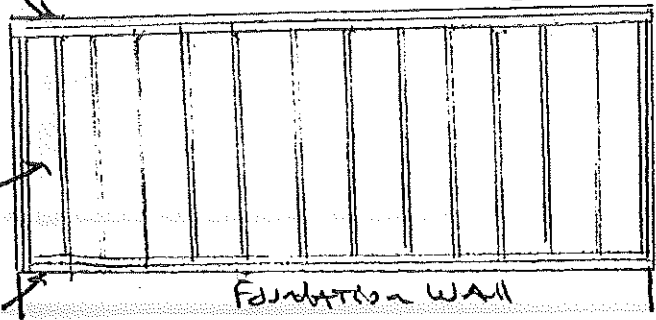
Drawn

Front View

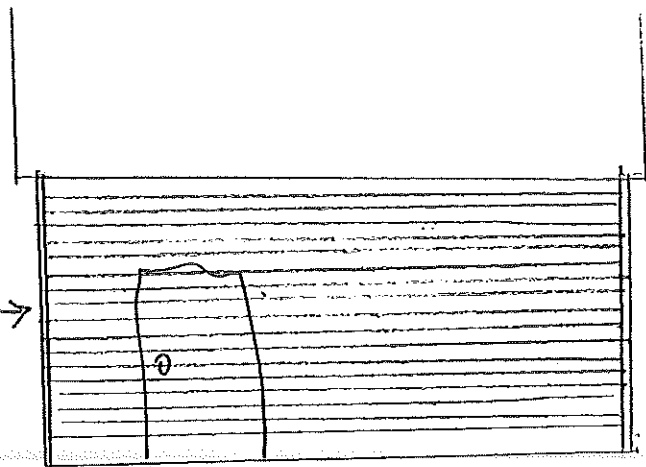
Double 2x4 purlin

CROSS SECT

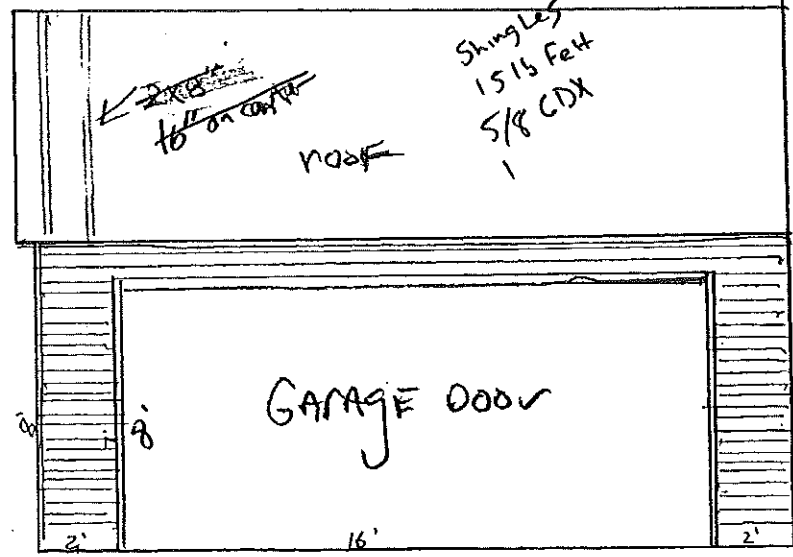
1/2" on center  
2x4



Foundation Wall



Rear



2x8 on center  
roof

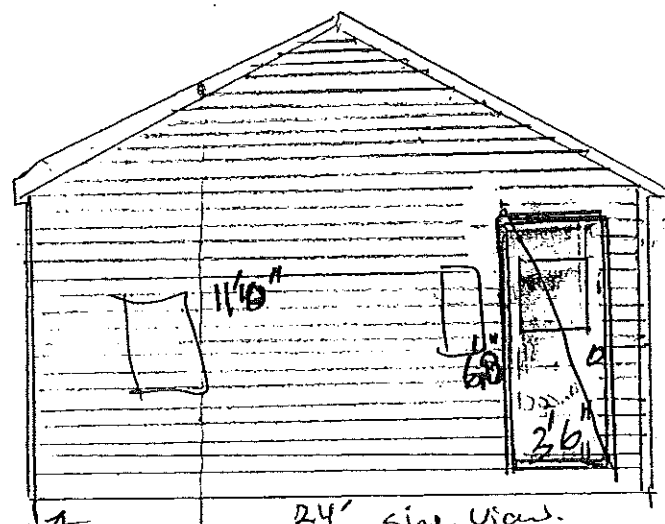
Shingles  
1515 felt  
5/8 CDX

GARAGE DOOR

2' 8'

16'

6" Elevation  
gable (1/2 w form)  
24' side view.

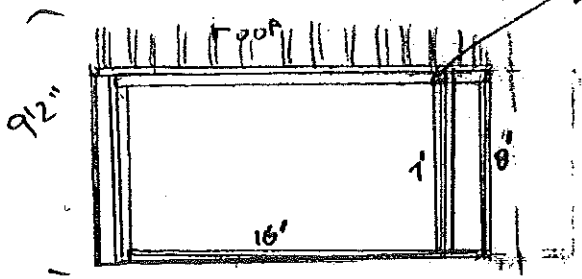


11'6"

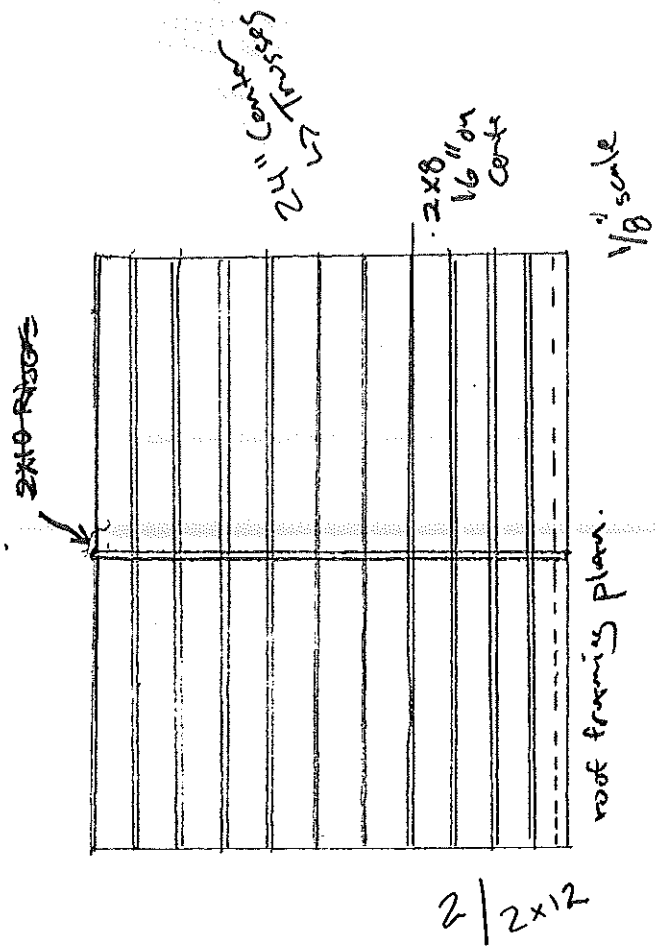
6'6"

36"

1 1/2 x 4'

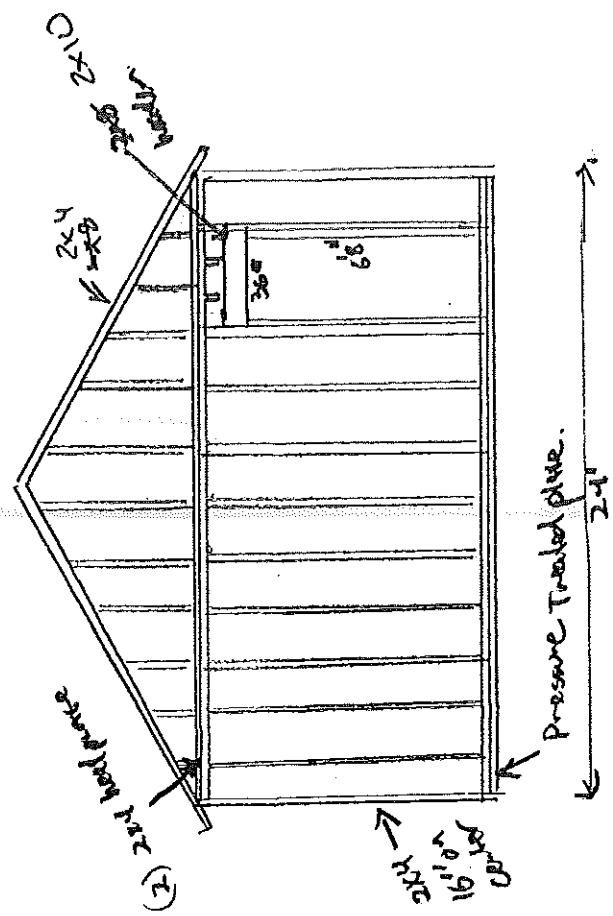


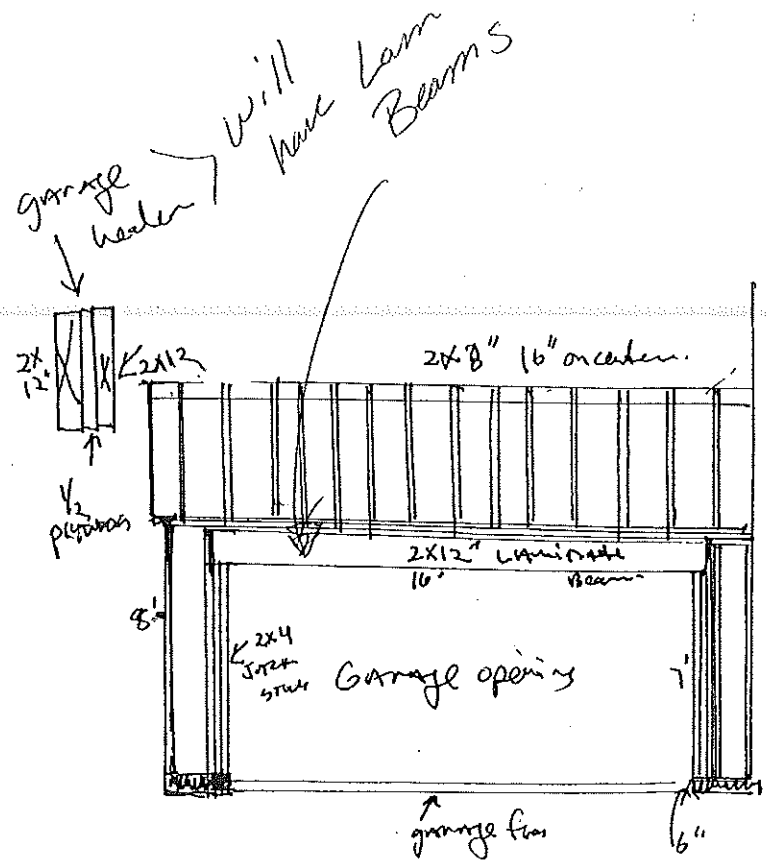
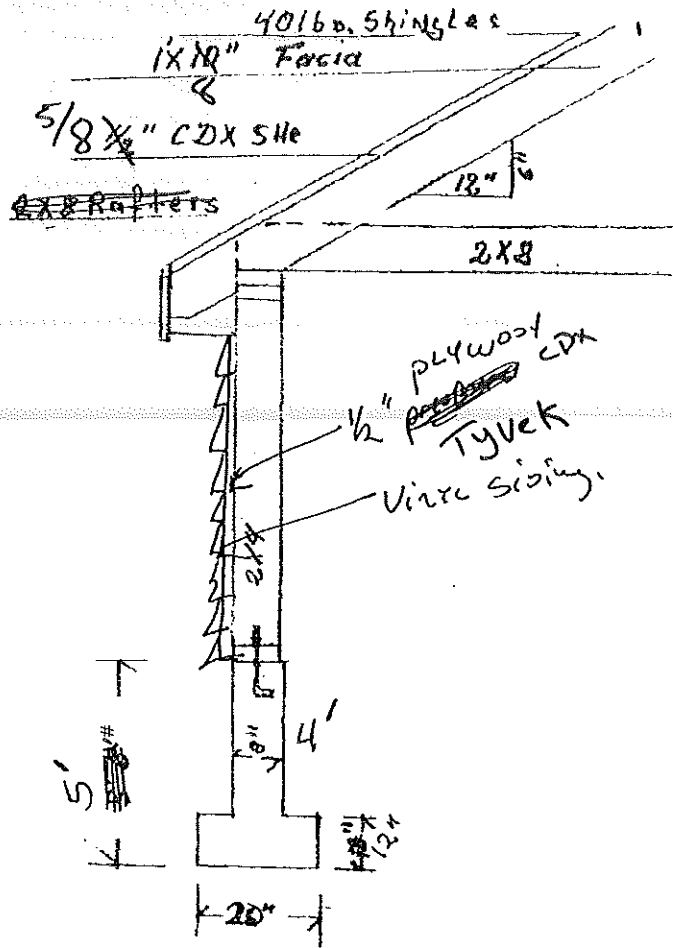
went over w/builder -  
Need LVL



2x12 (containing 5 Trusses)

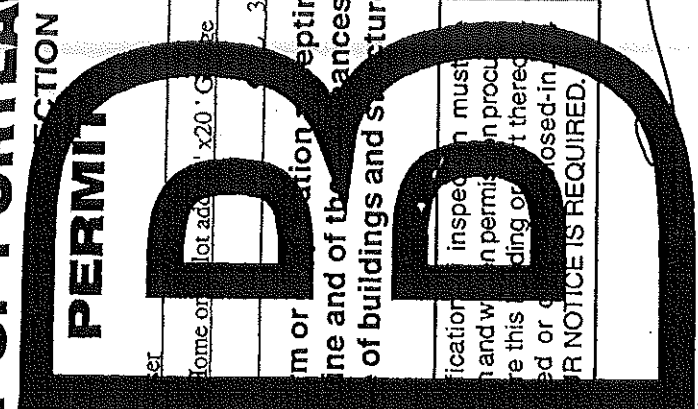
Door (Hardwood)





# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached



PERMIT ISSUED

Permit Number: 051397  
NOV 2 2005

CITY OF PORTLAND

This is to certify that We Three Magpies/Danna D  
has permission to Move 2160 sq ft single Family  
AT RUBY LN #12 342 B052

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

inspection must be made in person during or after the proposed work. NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_

Department Name

*[Handwritten Signature]*  
11/2/05  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Location of Construction: 53 RUBY LN #12	Owner Name: We Three Magpies	Permit No: 05-1397	PERMIT ISSUED
Business Name:	Contractor Name: Danna Dresser	Issue Date: NOV 2 2005	
Lessee/Buyer's Name:	Phone:	Contractor Address: 12 Whispers Way Fairbairn ME 04923	342 B052
Past USE:	Proposed use: Single Family Home/ Move 2160 sq ft single Family Home on to lot add 20'-20' Garage do yard	Permit Type: Single Family	Zone: R-3

Permit Fee: \$453.00	cost of Work: \$48,000.00	CEO District:
FIREDEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied	INSPECTION Use Group: R-3 Type: SB	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: <i>[Signature]</i> Date:		

P e d Taken By: Idobson Date Applied For: 09/23/2005	<b>Zoning Approval</b>	
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.  2. Building permits do not include plumbing, septic or electrical work.  3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.	Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland N/A <input type="checkbox"/> Flood Zone N/A <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 2005-09-28 Msj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> OK w/ conditions Date: 10/20/05 <i>Agm</i>	Zoning Appeal <input type="checkbox"/> variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied
	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>Agm</i>	Date:

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE