

COMMENTS

Refer to Amendment permit # 010030

2/3/01

2/7/01 for Close Change Latent Area on 1st floor - both sides

2 Timers checked 1st floor

1st floor need right side door stay only 10"

1st floor door under stairs need force change

See with owner

1) Remove string door frame to in order w/ steps  
See John Collins

See John Collins

2- Ok - Report per Engineer Spec (attached) Seattle Model from LR Report to LTR Board

1 - Letter of Disapproval 2/15/01

2 - ~~Letter of Disapproval~~ 2/15/01

Ok to Close 2/15/01

4/15/01 - final inspection - Needs returns for permits, Also Rear Door (off kitchen) must be

blocked due to ramp decks not being complete

4/11/01 - checked above and met at site w/ Jay Reynolds. Some site issues to be corrected today. Jay will give a memo for a temporary slip

Inspection Record

Type

Date

Foundation:

Framing:

Plumbing:

Final:

Other:

# ELECTRICAL PERMIT

## City of Portland, Me.



①

To the Chief Electrical Inspector, Portland Maine:  
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland Electrical Ordinance, National Electrical Code and the following specifications:

LOCATION: Lot 8 Maggie Lane  
 CMP ACCOUNT # 441-146-907001  
 TENANT \_\_\_\_\_

METER MAKE & #  
 OWNER D. Buckley  
 PHONE # 772-0543

Date 12-5-2000  
 Permit # 7336  
 CBL# 342-A-011

OUTLETS	Receptacles	Switches	Smoke Detector	TOTAL EACH FEE
FIXTURES	Incandescent	12	5	7.10
SERVICES	Overhead			
	Underground	1	<800	15.00
Temporary Service	Overhead			25.00
METERS	(number of)			25.00
	(number of)	2		2.00
RESID/COM	Electric units			1.00
	oil/gas units			5.00
APPLIANCES	Ranges			2.00
	Insta-Hot			2.00
	Dryers			2.00
	Compactors			2.00
MISC. (number of)	Others (denote)			2.00
	Air Cond/win			3.00
TRANSFORMER	0-25 Kva			4.00
	25-200 Kva			5.00
PANELS	Over 200 Kva			8.00
	Service			10.00
INSPECTION:	MINIMUM FEE/COMMERCIAL	45.00	35.00	58.80
	MINIMUM FEE			

INSPECTION: Will be ready \_\_\_\_\_ or will call

CONTRACTORS NAME Ames Electric Co. MASTER LIC. # 7336  
 ADDRESS PORTLAND LIMITED LIC. # \_\_\_\_\_  
 TELEPHONE 774-0604  
 SIGNATURE OF CONTRACTOR John G. Ames

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**Minor/Minor Site Review for New Detached Single Family Dwelling, Additions/Alterations/Accessory Structures, Multi-Family, Commercial Interior Rehab (other than additions), Change of Use**

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

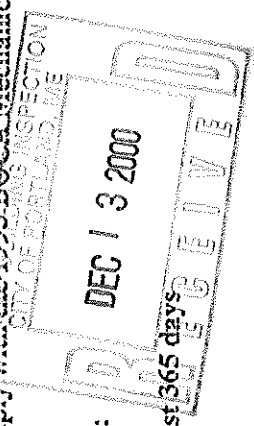
**NOTE\*\*** If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Constructed: <u>LOT #8 MAGGIE LANE 59-61</u>	
Total Square Footage of Proposed Structure <u>Two 6x8 Deck</u>	Square Footage of Lot
Tax Assessor's Chart, Block & Lot Number <u>Chart# 342 Block# A Lot# 011</u>	Owner: <u>DWIG HT BRACKETT</u> Telephone#: <u>772-0543</u>
Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address: <u>PO BOX 1414 PORTLAND ME 04103</u> Cost Of Work: Fee: <u>\$0</u> s <u>30.00</u>
Current use: <u>Vacant</u>	Proposed use: <u>2 family</u>
Project description: <u>Amend # 00189 Add 2 Decks</u>	
Contractor's Name, Address & Telephone <u>DWIG HT BRACKETT 84 COUNTRY LANE PORTLAND ME 04103</u> Rec'd By: <u>[Signature]</u>	

- Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.
- All construction must be conducted in compliance with the 1999 B.C.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air-Conditioning) installation must comply with the 1993-B.O.C.A. Mechanical Code.

**YOU MUST INCLUDE THE FOLLOWING WITH YOUR APPLICATION:**

- A Copy of Your Deed or Purchase and Sale Agreement if purchased in the last 365 days
- A Plot Plan (Sample Attached)



**A "minor/minor" site plan review is required for New Single Family Homes Only (does not include additions, alterations or accessory structures) prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor. FOUR COPIES ARE REQUIRED FOR NEW SINGLE FAMILY HOMES**

LAND USE - ZONING REPORT

ADDRESS: Maggie Lane lot #8 DATE: 1/5/01

REASON FOR PERMIT: Amendment - Add 2 decks and Altin elevation with Daylight Basement in Rear

BUILDING OWNER: Dwight Brackett C-B-I: 342-A-11

PERMIT APPLICANT: owner

APPROVED: With conditions: #12, #13

CONDITION(S) OF APPROVAL

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. During its existence, all aspects of the Home Occupations criteria, Section 14-410, shall be maintained.
3. All the conditions placed on the original, previously approved, permit issued on \_\_\_\_\_ are still in effect for this amendment, and/or revised permit.
4. The footprint of the existing \_\_\_\_\_ shall not be increased during maintenance reconstruction.
5. Your present structure is legally nonconforming as to setbacks. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and the same use. Any changes to any of the above shall require that this structure met the current zoning standards.
6. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
7. Our records indicate that this property has a legal use of \_\_\_\_\_ units. Any change in this approved use shall require a separate permit application for review and approval.
8. Separate permits shall be required for any new signage.
9. Separate permits shall be required for future decks, sheds, pool(s), and/or garage.
10. This is not an approval for an additional dwelling unit. You shall not add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals.
11. All of the attached Floodplain forms shall be appropriately filled out, signed, and returned prior to the issuance of any certificates of occupancy.

12. Other requirements of condition: There shall be no exterior, open stairways from the 2 rear decks. The approval is for decks only.

13. The approval of the grade changes is based upon that approved by Chris Earle from Deluca-Hibman. A copy of that plan in Scalable form shall be submitted to this office to document the approval.

Marge Schmuckal  
Marge Schmuckal, Zoning Administrator  
prior to the  
temporary or  
permanent Certificate  
of occupancy.

BUILDING PERMIT REPORT

DATE: 22 December 59-61 Maggie Lane 678 CBL: 342-1055

REASON FOR PERMIT: Amend # 001189 add 2 deck / 1011 Elev daylight base

BUILDING OWNER: Dwight Brackett

PERMIT APPLICANT: SAO / CONTRACTOR SAO

USE GROUP: R-3 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: 0 PERMIT FEES: Pardon other amount

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)  
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: #32, #35, #37, #38 \$11, \*29, 31

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) "ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the filter, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precast concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B, H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

12/13

19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms

• In each story within a dwelling unit, including basements

20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)

21. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.

22. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.

23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)

24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.

26. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).

27. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.

28. All requirements must be met before a final Certificate of Occupancy is issued.

29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).

30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)

31. Please read and implement the attached Land Use Zoning report requirements. *See Attached*

32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code. Bridging shall comply with Section 2305.16.

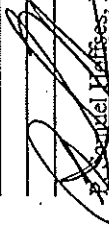
34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)

35. All flashing shall comply with Section 1406.3.10.

36. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

37. *All requirements of original permit shall be adhered to.*

38. *The decks shall have a design load of 40 PSF.*

  
Michael Nugent, Building Inspector

Cc: Marge McDougall, PFD  
Michael Nugent, Inspection Service Manager

PSR 107/00

\*\*This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

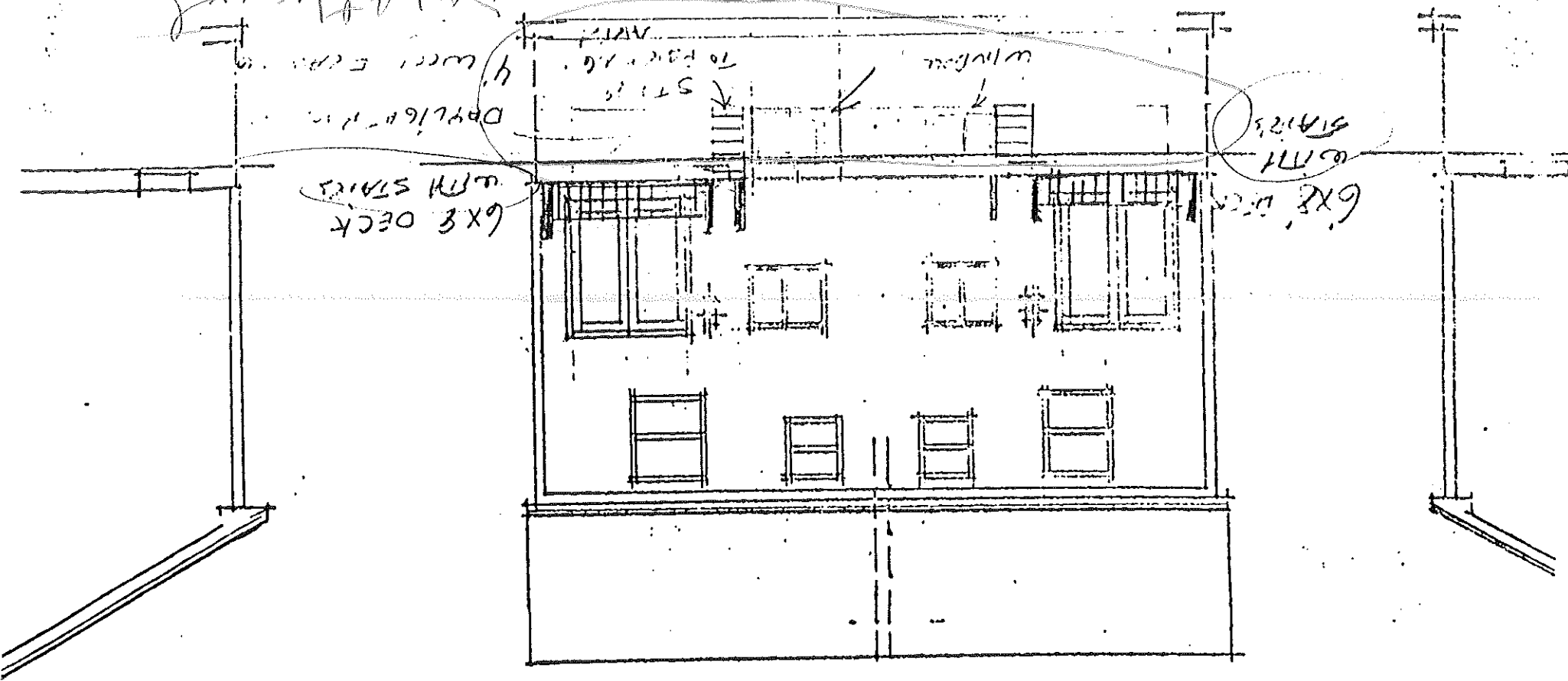
\*\*\*THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. ( You Shall Call for Inspections )

\*\*\*ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.

\*\*\*\*\*CERTIFICATE OF OCCUPANCY FEE \$50.00

Daylight Basement  
Does not appear  
more original plans

REAR ELEVATION



received 12/13/08

See Annual  
Stair grade changes

59-61. Margie Lane  
Lot # 9





**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE  
PERMIT IS ISSUED**

**A complete plot plan (Site Plan) includes:**

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation ( based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours


**Building Plans are required for all construction, including interior rehab (Sample Attached)**

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**Certification**

*I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

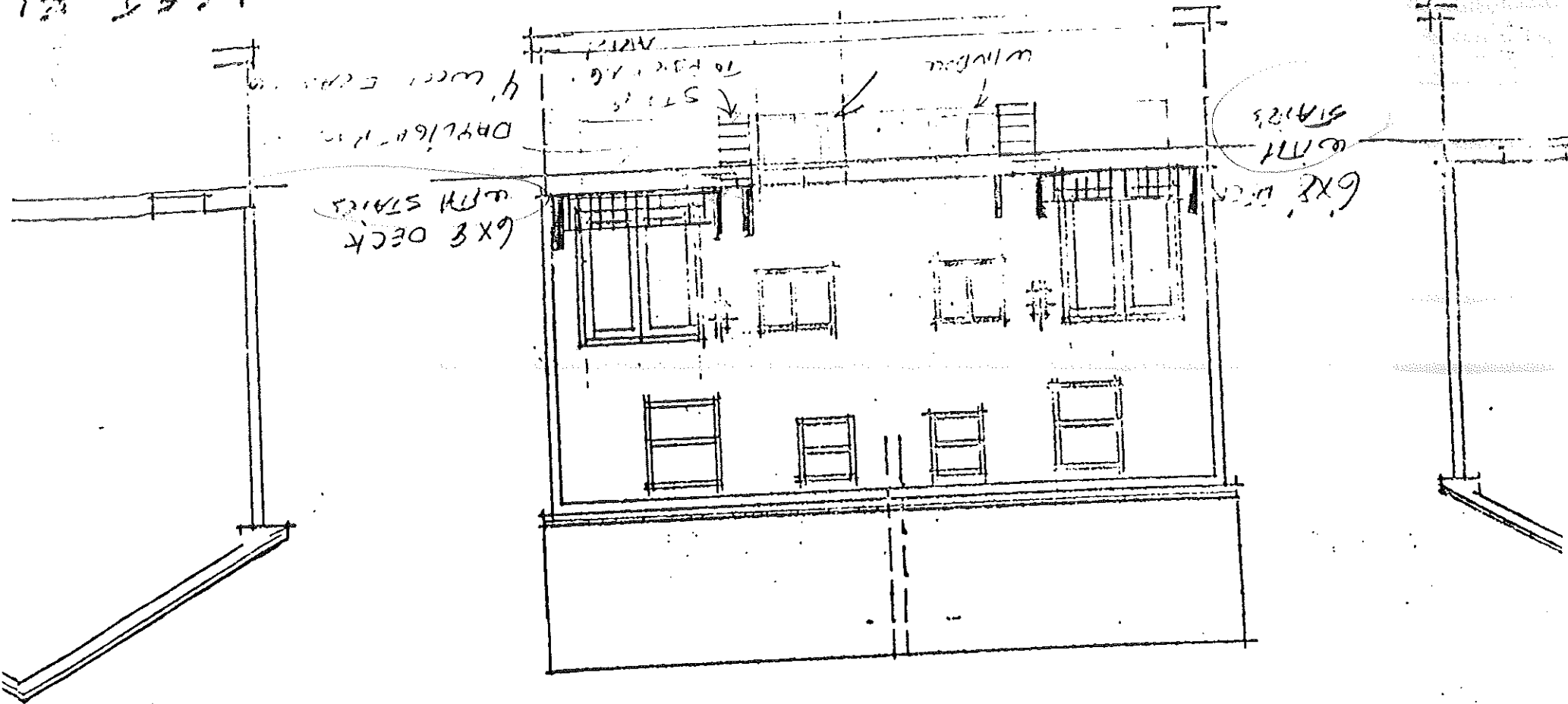
<b>Signature of applicant:</b> 	<b>Date:</b> 12/12/06
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Minor/Minor Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

**AUTOCAD OR ADOBE FORMAT REQUIRED FOR ALL COMMERCIAL PROJECTS**

REAR ELEVATION

LEFT



'C' BILD

ADD OW  
ENTRY  
TO BASEMENT

2813

2813

SUMP

FIRE DOOR

W.D.

5/8 SHEET ROCK  
1 HOUR RATED

2813

2813

GIRDERS

COLUMNS

2-2x10

HP

2-2x10

6'-0"

6'-0"

2x8

2x8

6'-0"

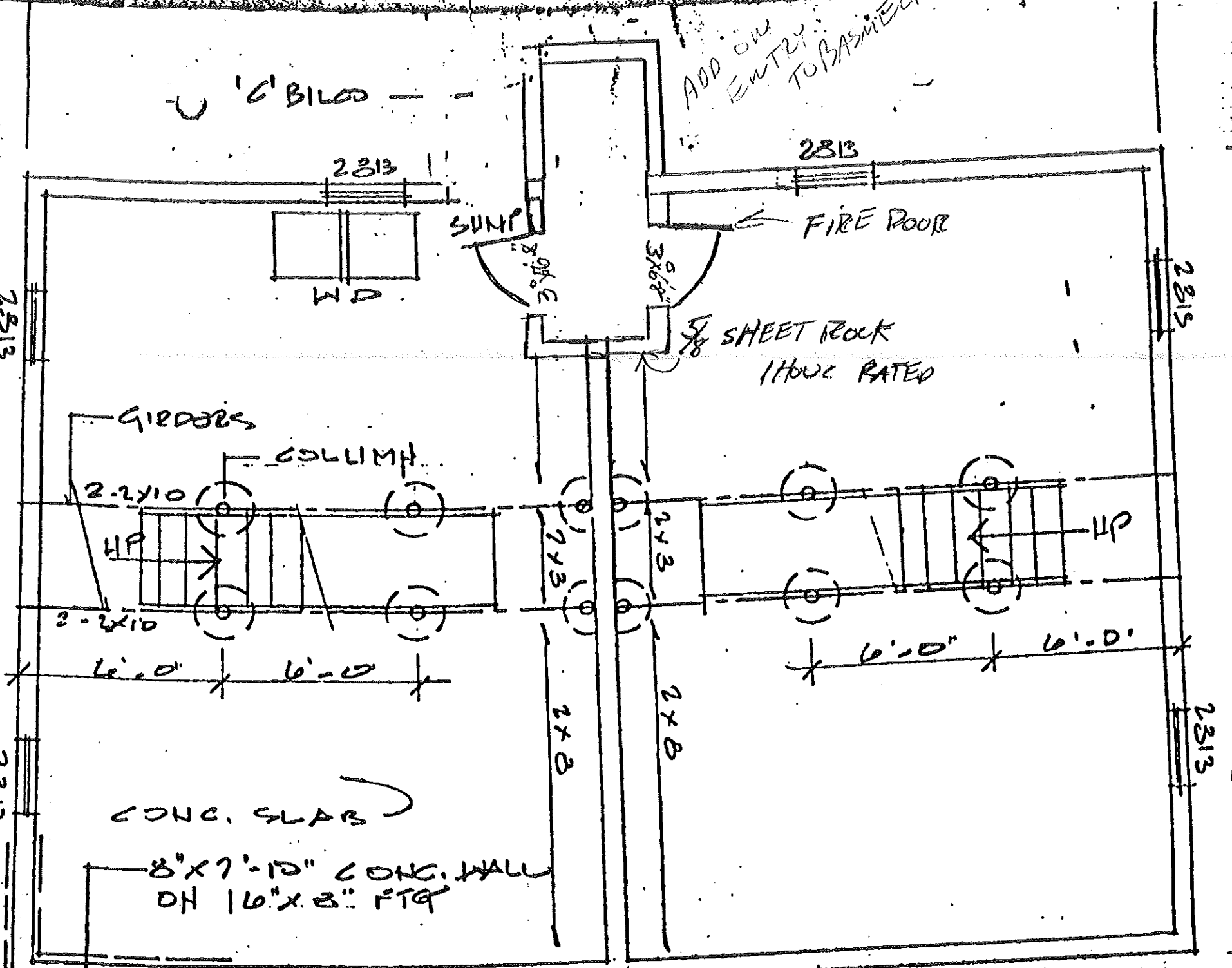
6'-0"

2813

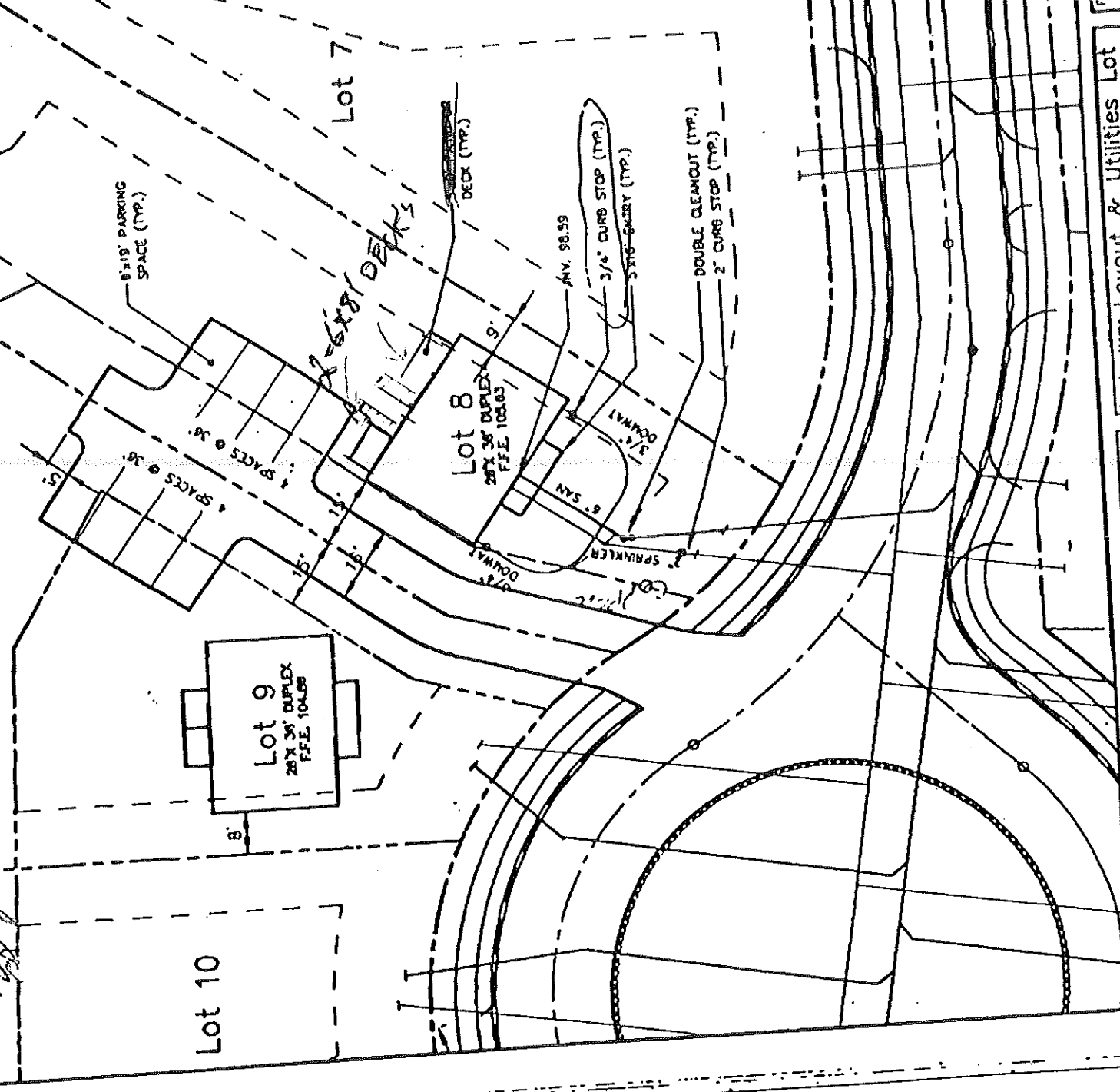
2813

CONC. SLAB

8" X 7'-10" CONC. WALL  
ON 16" X 8" FTG



NOTE: BUILDING LOCATION  
EXACT BUILDING LOCATION  
TO BE WITHIN MINIMUM  
SETBACKS AS SHOWN ON  
FIGURE 1.



Drawing Name: Layout & Utilities Lot 8

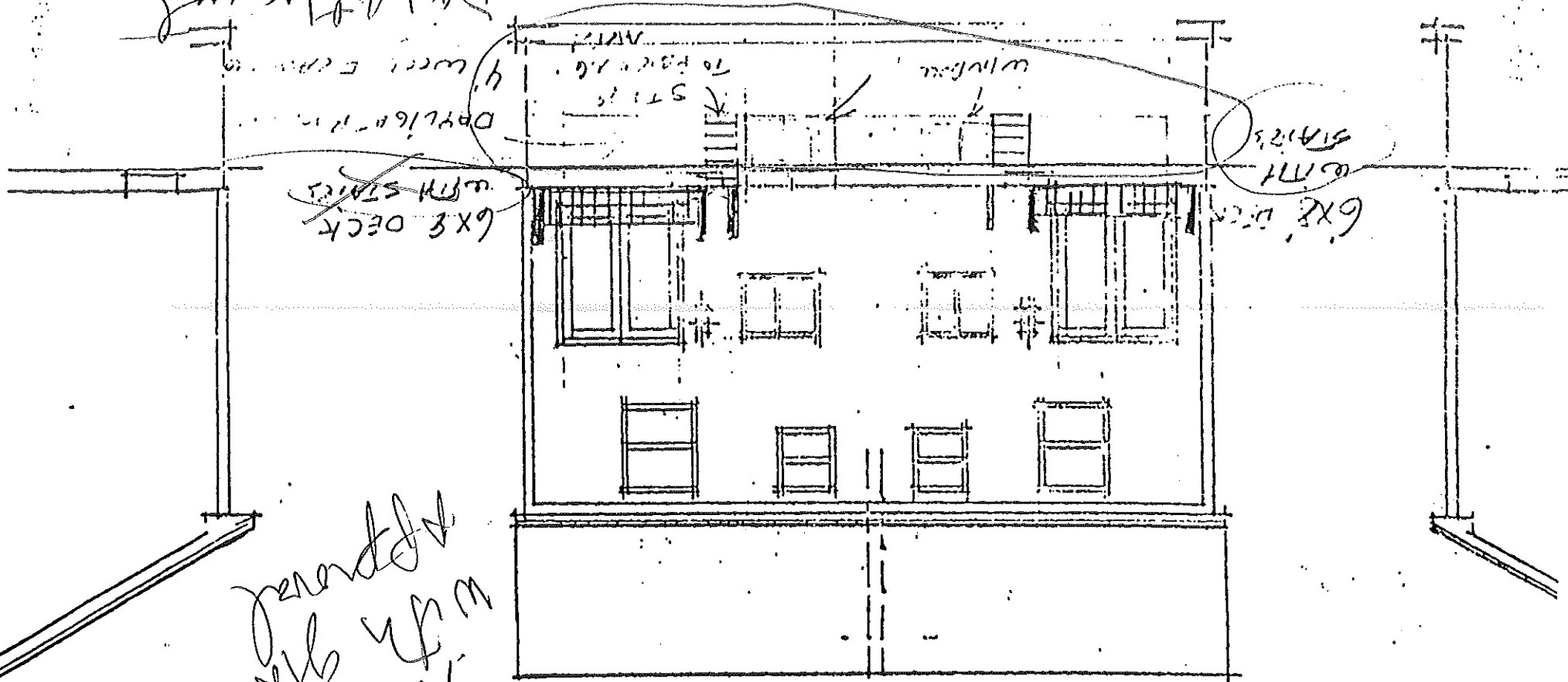
Project: MAGGIE LANE, PORTLAND

GP Traffic and Civil Engineering Services  
 80 Box 1237 26 Main Street  
 Gray ME 04039  
 207-657-6910

Design:	DCR	Date:	AUG 2000
Draft:	DB	Job No.:	99103
Checked:	AMP	Scale:	1" = 30'
File Name: 99103-AL-L0T8.DWG			

Design of Basement  
was not approved  
in the original plans

# REAR ELEVATION



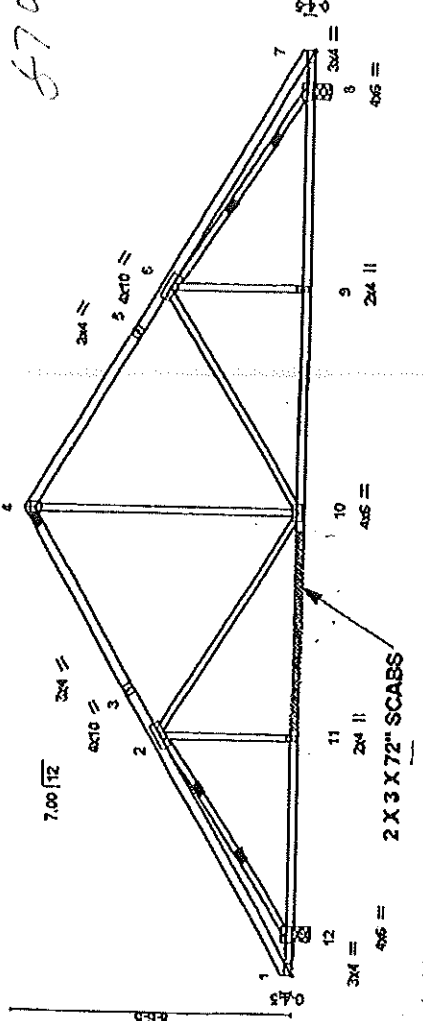
See other  
received 12/13/08  
with approval  
with grade change

*New Copy Connected*

Job	Truss	Truss Type	Qty	Fly	Y1521448
R48417	A	COMMON	16	1	
SPROWL BUILDING COMPONENTS, SEARSMONT, ME. 04973					
4.201 SR1's Sep 5 2000 MITEK Industries, Inc. Tue Feb 05 17:54:14 2007 Page 1					



CONDITION: BOTTOM CHORD HAS A 10" LONG CRACK LOCATED 10-0-0 FROM LEFT END OF TRUSS. ATTACH SCABS.



2 X 3 X 72" SCABS

Plate Offsets (X,Y): [1;0;0;0;0;0;4], [7;0;0;0;0;0;4]

LOADING (psf)	SPACING	CSI	DEFL	GRIP
TCLL 42.0	Plates Increase 2-0-0	TC 0.95	Vert(L) -0.13	MIR20
TCDL 7.0	Lumber Increase 1:15	EC 0.79	Horz(TL) 0.09	197/144
BCDL 10.0	Rep Stress liner YES	WB 0.95	1st L.C.L.L. Min I/delf = 360	
BCDL 10.0	Code BOCA/ANSIS			Weight: 98 lb

**LUMBER**  
 TOP CHORD 2 X 4 SPF 1650F 1.5E  
 BOT CHORD 2 X 3 SPF 1650F 1.5E  
 WEBS 2 X 3 SPF No.2 "Except"  
 2-12 2 X 3 SPF 1650F 1.5E, 6-8 2 X 3 SPF 1650F 1.5E

**REACTIONS (lb-size)** 12=1652/0-5-8, 8=1652/0-5-8  
 Max Horz 12=-145(load case 2)  
 Max Uplift 12=-238(load case 4), 8=-238(load case 4)  
 Max Grav 12=1680(load case 7), 8=1680(load case 7)

**FORCES (lb) - First Load Case Only**  
 TOP CHORD 1-2=707, 2-3=-1374, 3-4=-1374, 4-5=-1374, 5-6=-1374, 6-7=707  
 BOT CHORD 1-12=607, 11-12=1651, 10-11=1651, 9-10=1651, 8-9=1651, 7-8=-607  
 WEBS 2-11=129, 4-10=715, 6-9=129, 2-10=-546, 6-10=-546, 2-12=-2756, 6-8=-2756

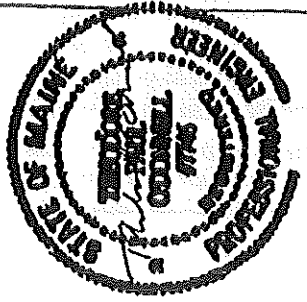
**BRACING**  
 TOP CHORD 1 Stabilizer(s) at 15-2-8 oc.  
 Installation Sheathed or 4-6-12 oc purlins.  
 BOT CHORD Permanent Rigid ceiling directly applied or 6-0-0 oc bracing.  
 WEBS Permanent 2 row(s) of 1 Stabilizer(s) at 1/3 p1s-12, 6-8

APPLY SPF 1650 SCAB(S), ONE EACH FACE, AS SHOWN. SECURE SCAB(S) USING CONSTRUCTION QUALITY ADHESIVE AND 10d COMMON WIRE NAILS (131" DIA. X 3") 2 X 3'S - 2 ROWS @ 5.0" O.C.

STAGGER NAIL SPACING FROM FRONT FACE AND BACK FACE.

**NOTES**  
 1) This truss has been checked for unbalanced loading conditions.  
 2) This truss has been designed for the wind loads generated by 80 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, 100 mi from hurricane coastline, on an occupancy category I, condition I enclosed building, of dimensions 45 ft by 24 ft with exposure C ASCE 7-99 per BOCA/ANSI68. If end verticals or cantilevers exist, they are exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33  
 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 238 lb uplift at joint 12 and 238 lb uplift at joint 3.  
 4) This truss has been designed with ANSIT/P1 1-1995 criteria.  
 5) For bracing specified, use Mitek Stabilizer(tm) Truss Bracing System (or Equivalent), attached per The Stabilizer Truss Bracing System Installation Guide. Cross bracing required at each end and at these spacings: Webs: 20-0-0.  
 6) Where diaphragm blocking is required at pitch breaks, Stabilizers may be replaced with wood blocking.

**LOAD CASE(S) Standard**  
 1) Regular Lumber Increase=1.15, Plate Increase=1.15  
 Uniform Loads (UL)  
 Vert: 1-7=-20.0, 1-4=-98.0, 4-7=-98.0



February 7, 2001

**WARNING - Verify design parameters and READ NOTES ON THIS AND REVERSE SIDE BEFORE USE.**  
 Design void for use only with Mitek connectors. This design is based upon parameters shown, and is for an individual building component to be installed and loaded vertically. Applicability of design parameters and proper installation of component is responsibility of building designer. Not trust designer, bracing shown is for lateral support of individual web members only. Additional temporary bracing to insure stability during construction is the responsibility of the erector. Additional permanent bracing of the overall structure is the responsibility of the building designer. For general guidance regarding fabrication, quality control, storage, delivery, erection and bracing, consult 687-06 Quality Standard, 688-09 Bracing Specification, and 810-07 Handling, Lifting and Bracing Recommendation available from Trus Plate Institute, 563 D'Onofrio Drive, Madison, WI 53719.





# TRUST FOR PORTLAND EMPLOYEES

Richard Wurfel  
Chairman

892-6646

85 Smith Road, Windham, Maine 04062

## Administrator's Report 2001 Annual Meeting

In the fiscal year 2000, the Trust paid (12) estates of decedents \$325.00 each for a total of \$3900.00 in death benefits.

Scholarships of \$1000.00 each were awarded to (2) students for a total of \$2,000.00 in payments. The recipients of the scholarships were Nicholas Rich and Kristen Wurfel. As always, thank you to Cindy, Linda and Mary for serving on the Scholarship Committee.

Miscellaneous expenses were \$700.35. This amount included administrator's stipend, office expenses and scholarship announcements to employees and retirees.

Expenses for 2000 totaled \$6600.35

- On January 1, 2000 the total market value of Trust Fund was \$145,893.39.
- On December 31, 2000 the total market value of the Trust Fund was \$146,802.45.  
The total change (increase) in the value of the Fund during the 2000 fiscal year was + \$909.06.

The agenda for the 2001 meeting will include but is not limited to:

1. Financial condition of the fund
2. IRS reporting
3. Death benefit report
4. Scholarship report and discussion
5. Trust Board Membership

*Patricia Dubois / K.C. - meet w/Dick wonderful*



# TRUST FOR PORTLAND EMPLOYEES

85 Smith Road, Windham, Maine 04062

## 2000 Annual Meeting Minutes

The 2000 Annual meeting ( February 9, 2000 ) was attended by John Fitzgerald (Account Investor, Fleet Investments), Brenda Deschenes (Relationship Manager, Fleet Investments), Penny Ward (Associate Relationship Manager), Cindy Wilson, Joe Esposito, Kevin Carroll, Mary O'Bradovitch, Linda Nieves, Kurt Neilson and Dick Wurfel.

- John gave an overview of our investments and gave us a mini investment class, including an explanation of our purchase of Galaxy Growth Fund Shares (new to our portfolio), growth expectation of our fund and need for us to exercise fiscal restraint. He believes that, unless we can keep our spending in the 6 percent range that we will not be able to make the necessary death payments to all beneficiaries throughout the life of the trust.
- We received a comparison of how our portfolio performed (approximately a 10% gain) relative to the year's market index. We are now invested approximately 60% in the stock market and 40% in government bonds. After some discussion the board felt that we would like to move towards a 70-30 ratio of stocks to bonds. John indicated that we will have a choice in November, when a large bond matures, and that the market might bring us to that goal anyway. He asked that we include in this year's minutes authorization for him to move us to that position if he thinks it prudent. The Board voted unanimously to give such authorization.
- The Board asked Brenda to check on our IRS obligation by talking with their tax accounting firm and reporting back to the Trust.
- In an attempt to reduce spending the Board voted to scale back this years scholarship offering to 2 @ \$1000.00 each.
- The Board will attempt to identify the class size by having Mary attempt to obtain some information about how many employees are still working for the city who were employed before 1983 and have life insurance.
- The Board voted to install Kurt Neilson as a new member of the Board of Trustees and asked Joe to find a replacement for himself (The Trust rules require 7 active employees but allow retirees to remain emeritus).

Applicant: Gorrill Palmer

Date: 10/20/00

Address: 51-61 Maggie Lane - (lot #8) C-B-L: 342-A-11

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-5 MultiPlay

Interior or corner lot -

Proposed Use/Work - New building - 2 unit - NO GARAGE

Sewage Disposal - City NO REAR DECK  
(on plot plan, but no structural shown)

Lot Street Frontage - 50' req - 50' shown

Front Yard - 20' req. - ~ 36' scaled

Rear Yard - 20' req. - 100' + shown

Side Yard - 12' req (may reduce side to 9' if 3' added to other side) 9' is 15' shown OK

Projections - 5x16 entry w/yn front

Width of Lot - 60' req - 60' shown (front entry can be past the 60' width but the principle structure)

Bldg Crn Height - 35' MAX

Lot Area - 6,000 sq ft - 21,388 sq ft

Lot Coverage/Impervious Surface - 40% - 8555.2 sq ft

Area per Family - 3,000 sq ft

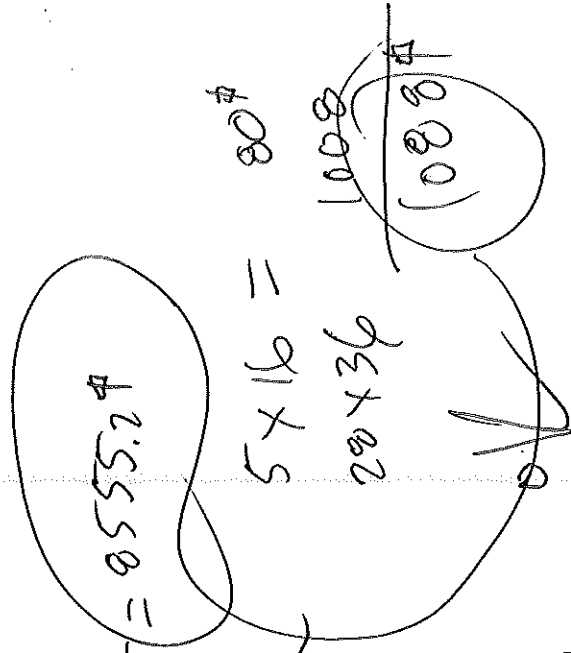
Off-street Parking - 4 req - 4 shown

Loading Bays - N/A

Site Plan - minor #20000168

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 7 - Zone X



Note: Permit 3 different side plans

CITY OF PORTLAND, ME  
 BOCA 1999 Plan Review Record  
 One and Two Family Dwelling

Valuation: \$90,000 Plan Review # 1375/2K

Fee: \$564.00 Date: 6 Sept. 2000

Building Location: 67<sup>th</sup> Magpie Lane CBL: 342-A-011

Building Description: To Construct a Two Family Dwelling

Reviewed By: S. Hoffes

Use or Occupancy: R-3 Type of Construction: 5-B  
 \*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

NO:	Correction List	Description	Code Section
1.		All site plan & building code requirements shall be completed before a Certificate of Occupancy can, or will be issued.	111.0 118.0
2.		Water proofing and clamping shall comply with section 1815.0	1815.0
3.		Anchorage bolting in foundation shall comply with section 2305.12	2305.12
4.		Ventilation & access to attic or crawl spaces shall comply with sections 1210-1211.0	1210.0 1211.0
5.		Drainage shall comply with section 2305.16	2305.16
6.		Roofing, cutting & notching shall comply with sections 2305.3, 2305.3.1, 2305.4.4, 2305.5.1	Sec. Sec.
7.		All fastening shall comply with table 2305.2	2305.2
8.		Concrete floors shall comply with section 1905.0	1905.0
9.		Roof passes shall comply with section 2312.2	2312.2
10.		Roof covering shall comply with Chapter 15	
11.		Chimneys & vents shall comply with Chapter 12 of BOCA Mech 93- & NFPA 811	NFPA 11 Ch-12
12.		Safety glazing shall comply with section 2406.0	2406.0
13.		2406.0	
14.		Stair construction shall comply with section 1010.0	1010.0
		Stair construction shall comply with section 1014.0	1014.0

REV: PSB 4-7-00



**Foundations (Chapter 18)**

**Wood Foundation (1808)**

NA Design  
NA Installation

**Footings (1807.0)**

- X Depth below (outside) grade 4' minimum; but below frost line except for insulated footings.
- NA Insulated footing provided
- X Soil bearing value (table 1804.3)
- X Footing width
- X Concrete footing (1810.0) 3.1, 3.2
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

**Foundation Walls**

- X Design (1812.1)
- X Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
- SA Water proofing and damp proofing Section 1813
- X Sill plate (2305.17)
- SA Anchorage bolting in concrete (2305.17)
- X Columns (1912)
- SA Crawl space (1210.2) Ventilation
- SA Crawl opening size (1210.2.1)
- SA Access to crawl and attic space ( 1211.0 )
- \_\_\_\_\_

**Floors (Chapter 16-23)**

- X Joists - Non sleeping area LL40PSF (Table - 1606)
- X Joists - Sleeping area LL30PSF (Table - 1606)
- X Grade
- X Spacing
- X Span
- X Girder 4" bearing 2305.6.1

**Floors (contd.)**

<del>X</del>	Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3") 2305.2
<del>SA</del>	Bridging (2305.16)
<del>SA</del>	Boring and notching (2305.5.1)
<del>SA</del>	Cutting and notching (2305.3)
<del>SA</del>	Fastening table (2305.2)
<del>SA</del>	Floor trusses (AFPANDS Chapter 35)
X	Draft stopping (721.7)
X	Framing of openings (2305.11) (2305.12)
X	Flooring - (2304.4) 1" solid - 1/2" particle board
<del>SA</del>	Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
_____	
_____	
_____	
_____	

**Wall Construction (Chapter 2300)**

<del>X</del>	Design (1609) wind loads
<del>X</del>	Load requirements
<del>A</del>	Grade
<del>SA</del>	Fastening schedule (Table 2305.2)
<del>X</del>	Wall framing (2305.4.1)
<del>X</del>	Double top plate (2305.4.2)
<del>SA</del>	Bottom plates: (2305.4.3)
<del>X</del>	Notching and boring: (2305.4.4) studs
<del>X</del>	Non load bearing walls (2305.5)
<del>SA</del>	Notching and boring (2305.5.1)
<del>X</del>	Wind bracing (2305.7)
<del>X</del>	Wall bracing required (2305.8.1)
<del>X</del>	Stud walls (2305.8.3)
<del>X</del>	Sheathing installation (2305.8.4)
<del>X</del>	Minimum thickness of wall sheathing (Table 2305.13)
<del>NA</del>	Metal construction
<del>NA</del>	Masonry construction (Chapter 21)
<del>X</del>	Exterior wall covering (Chapter 14)
<del>X</del>	Performance requirements (1403)
<del>X</del>	Materials (1404)
<del>NA</del>	Veneers (1405)
<del>X</del>	Interior finishes (Chapter 8)

**Roof-Ceiling Construction (Chapter 23)**

- ~~MA~~ Roof rafters - Design (2305.15) spans
- ~~X~~ Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- ~~X~~ Roof trusses (2313.3.1)
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

**Roof Coverings (Chapter 15)**

- ~~X~~ Approved materials (1404.1)
- ~~X~~ Performance requirement (1505)
- ~~X~~ Fire classification (1506)
- ~~X~~ Material and installation requirements (1507)
- ~~NA~~ Roof structures (1510.0)
- ~~X~~ Type of covering (1507)

**Chimneys and Fireplaces  
BOCA Mechanical/1993**

- ~~LA~~ Masonry (1206.0)
- ~~NA~~ Factory - built (1205.0)
- ~~MA~~ Masonry fireplaces (1404)
- ~~LA~~ Factory - built fireplace (1403)
- \_\_\_\_\_ NFPA 211

**Mechanical  
1993 BOCA Mechanical Code**

- ~~f~~ \_\_\_\_\_
- ~~f~~ \_\_\_\_\_
- ~~f~~ \_\_\_\_\_
- ~~f~~ \_\_\_\_\_
- ~~f~~ \_\_\_\_\_
- ~~f~~ \_\_\_\_\_

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**Load Design Criteria**

Floor live load sleeping 30 PSF  
Floor live load non sleeping 40 PSF  
Roof live load 42 PSF  
Roof snow load 45 PSF  
Seismic Zone 2  
Weathering area S  
Frost line depth 4' MIN

X  
X  
X  
X  
X  
X  
X

**Glazing (Chapter 24)**

RR Labeling (2402.1)  
NA Louvered window or jalousies (2402.5)  
NA Human impact loads (2405.0)  
NA Specific hazardous locations (2406.2)  
NA Sloped glazing and skylights (2404)

\_\_\_\_\_  
\_\_\_\_\_  
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\_\_\_\_\_

**Private Garages (Chapter 4)**

MA General (407)  
MA Beneath rooms (407.3)  
MA Attached to rooms (407.4)  
MA Door sills (407.5)  
MA Means of egress (407.8)  
MA Floor surface (407.9)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



Egress (Chapter 10)

- ~~X~~ One exit from dwelling unit (1010.2)
- ~~52~~ Sleeping room window (1010.4)
- ~~X~~ EXIT DOOR (1017.3) 32" W 80" H
- ~~A~~ Landings (1014.3.2) stairway
- ~~NA~~ Ramp slope (1016.0)
- ~~51~~ Stairways (1014.3) 36" W
- ~~52~~ Treads (1014.6) 10" min.
- ~~51~~ Riser (1014.6) 7 3/4" max.
- ~~50~~ Solid riser (1014.6.1)
- ~~NA~~ Winders (1014.6.3)
- ~~NA~~ Spiral and Circular (1014.6.4)
- ~~52~~ Handrails (1022.2.2.) Ht.
- ~~51~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
- ~~52~~ Guards (1012.0) 36" min.
- \_\_\_\_\_
- \_\_\_\_\_

Smoke Detectors (920.3.2)

- ~~52~~ Location and interconnection
- ~~52~~ Power source

Dwelling Unit Separation  
Table 602

THH

Electrical  
NFPA #70

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

20000168

I. D. Number

Gorrill Palmer  
Applicant  
P.O. Box 10127, Portland, ME 04104  
Applicant's Mailing Address  
SAA  
Consultant/Agent  
773-4988 773-2267  
Applicant or Agent Daytime Telephone, Fax

9/6/00

Application Date  
Maggie Lane Lot 8  
Project Name/Description  
59- 61 Maggie Ln, Portland Maine 04103  
Address of Proposed Site  
342-A-071  
Assessor's Reference: Chart-Block-Lot

**DRC Conditions of Approval**

Approved subject to site plan review condition of approval sheet.  
All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.  
Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.  
Your new street address is now 59-61 Maggie Lane,  
, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.  
The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.  
Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.  
A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.  
As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.  
The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.  
The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.  
A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices  
The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.  
Applicant shall coordinate with Diversified Properties and their contractor A. H. Grover for all utility connections and curb opening to insure compliance with the approved subdivision plans.  
Applicant shall be responsible for installation and maintenance of erosion control measures including silt fence, hay bales, etc.  
Applicant shall minimize and be responsible to clean up any tracking of mud and other debris from city streets..

**Planning Conditions of Approval**

1. building roof shall have a min.7 in 12 pitch
2. the right and left building side elevations shall have a min. of 2 windows per floor (4 windows per side)

**Inspections Conditions of Approval**

BUILDING PERMIT REPORT

DATE: 6 Sep 1999 ADDRESS: Maggie Lane lot #8 CBL: 342-A-011

REASON FOR PERMIT: To Construct a 2 Family Dwelling

BUILDING OWNER: Maggie Lane Development

PERMIT APPLICANT: CONTRACTOR SAO

USE GROUP: R-3 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: 90,000.00 PERMIT FEES: 56400

The City's Adopted Building Code (The BOCA National Building code/1999 with City Amendments)  
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: X1 X2 X3 X4 X5 X7  
X9 X10 X11 X12 X13 X14 X15 X16 X17 X18 X19 X20 X21 X22 X23 X24 X25 X26 X27 X28 X29 X30 X31 X32 X33 X34 X35 X36 X37 X38 X39 X40 X41 X42 X43 X44 X45 X46 X47 X48 X49 X50 X51 X52 X53 X54 X55 X56 X57 X58 X59 X60 X61 X62 X63 X64 X65 X66 X67 X68 X69 X70 X71 X72 X73 X74 X75 X76 X77 X78 X79 X80 X81 X82 X83 X84 X85 X86 X87 X88 X89 X90 X91 X92 X93 X94 X95 X96 X97 X98 X99 X100

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete from freezing. Section 1908.0
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardsails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", occupancies in Use Group A,B,H-4, I-1, I-2, M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38"). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self-closer's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

X19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements
20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
21. The Fire Alarm System shall maintained to NFPA #72 Standard.
22. The Sprinkler System shall installed and maintained to NFPA #13 Standard.
23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.

X26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).

X27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.

X28. All requirements must be met before a final Certificate of Occupancy is issued.

X29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1999).

30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1999). (Chapter M-16)

X31. Please read and implement the attached Land Use Zoning report requirements. *All conditions and requirements on the sheets*

X32. Boring, cutting and notching shall be done in accordance with Sections 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code. *SHA1 be met,*


X33. Bridging shall comply with Section 2305.16.

X34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2405.0)

X35. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

X36. *Flashing shall comply with Section 1508.0*

X37. *The lintel p-tilles between dwelling units shall be 1/4" or -*

  
M. McDougall, PFD  
Marge Schmuckel, Zoning Administrator

PSH 11/25/99

\*\*\*This Permit is herewith issued, on the basis of plans submitted and conditions placed the plans, any deviations shall require a separate approval.

\*\*\*THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD.

\*\*\*\* Certificate of Occupancy Fees: \$50.00 each

\*\*\*\*\* ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGN'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000 OR EQUIVALENT.

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM**

20000168  
I. D. Number

**Gorrill Palmer**  
Applicant  
P.O. Box 10127, Portland, ME 04104  
Applicant's Mailing Address  
SAA  
Consultant/Agent  
773-4988 773-2267  
Applicant or Agent Daytime Telephone, Fax

9/6/00  
Application Date  
Maggie Lane Lot 8  
Project Name/Description  
59- 61 Maggie Ln, Portland Maine 04103  
Address of Proposed Site  
342-A-011  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  
 Office  Retail  Manufacturing  Warehouse/Distribution  Building Addition  Change Of Use  Residential  
 New Building  Parking Lot  Other (specify) Duplex 2 unit no garage  
 1,872 21,388  
 Proposed Building square Feet or # of Units Acreage of Site  
 R5  
 Zoning

**Check Review Required:**  
 Site Plan (major/minor)  Subdivision # of lots  PAD Review  14-403 Streets Review  
 Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other

Fees Paid: Site Plan \$400.00 Subdivision \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date: 9/6/00

**Inspections Approval Status:**  
 Approved  Approved w/Conditions see attached  
 Reviewer Marge Schumuckal  
 Denied

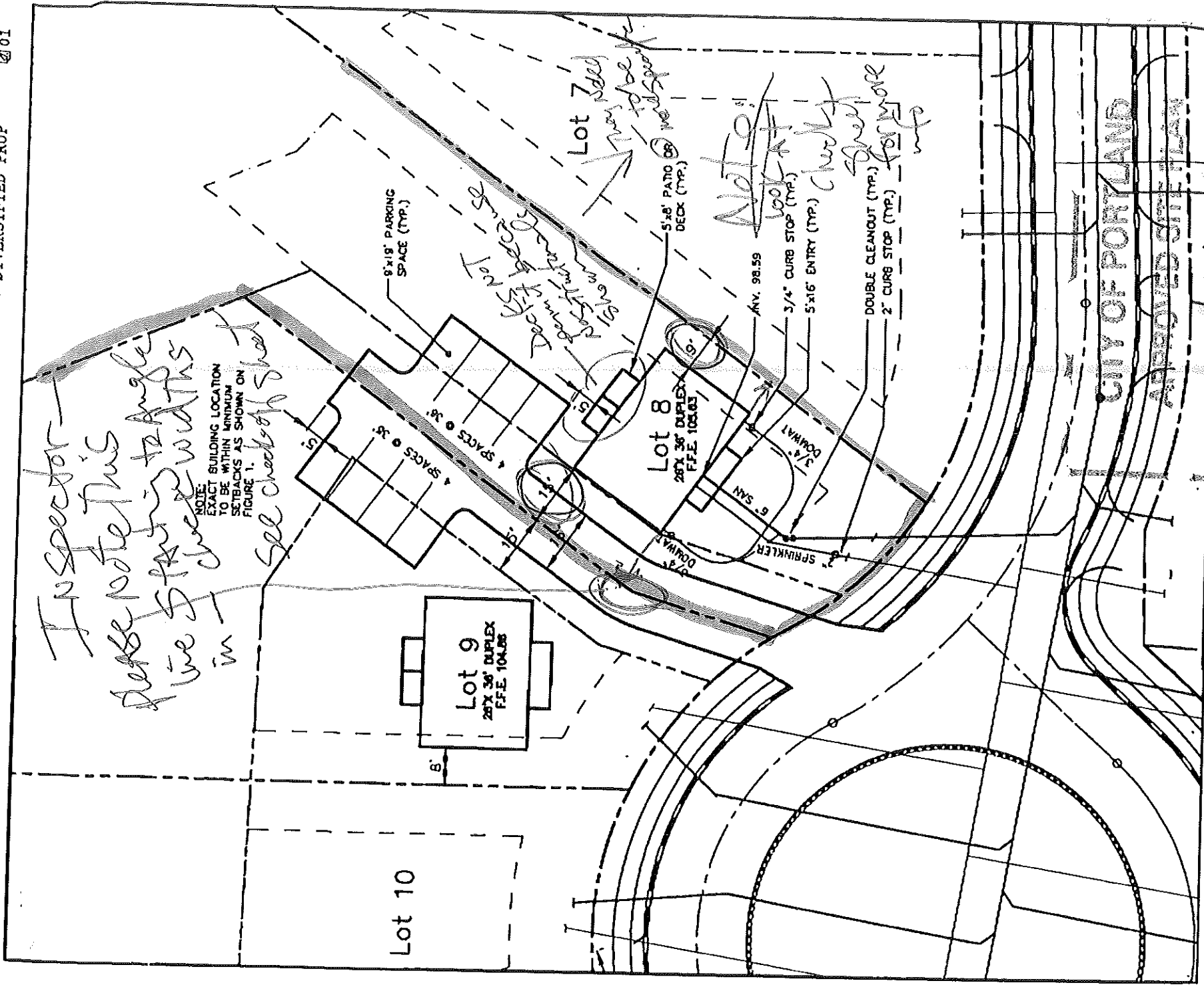
Approval Date \_\_\_\_\_ Extension to \_\_\_\_\_  
 Condition Compliance signature \_\_\_\_\_ date \_\_\_\_\_  
 Additional Sheets Attached

Performance Guarantee	<input checked="" type="checkbox"/> Required*	<input type="checkbox"/> Not Required	signature	date	amount	expiration date
<input checked="" type="checkbox"/> Performance Guarantee Accepted				10/18/00	\$2,000.00	9/19/00
<input checked="" type="checkbox"/> Inspection Fee Paid				10/18/00	\$300.00	
<input type="checkbox"/> Building Permit Issued				date		
<input type="checkbox"/> Performance Guarantee Reduced				date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy		<input type="checkbox"/> Conditions (See Attached)		date		
<input type="checkbox"/> Final Inspection				date	signature	
<input type="checkbox"/> Certificate Of Occupancy				date	signature	
<input type="checkbox"/> Performance Guarantee Released				date	signature	
<input type="checkbox"/> Defect Guarantee Submitted				submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released						

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

*Inspector -  
Please note this  
line spacing to angle  
line spacing widths  
in*

**NOTE:**  
EXACT BUILDING LOCATION  
TO BE WITHIN MINIMUM  
SETBACKS AS SHOWN ON  
FIGURE 1.  
*See checks of sheet*



*Lot 7  
may need  
to be  
to be  
to be*

*Notes!  
look at  
5'x16' ENTRY (TYP.) check  
sheet  
DOUBLE CLEANOUT (TYP.)  
2" CURB STOP (TYP.) for more  
info*

9'x18' PARKING SPACE (TYP.)

Lot 8  
287X 36' DUPLEX  
F.F.E. 104.03

Lot 9  
287X 36' DUPLEX  
F.F.E. 104.06

Lot 10

CITY OF PORTLAND  
APPROVED SITE PLAN

Design: DCR	Date: AUG. 2000
Draft: DB	Job No.: 99103
Checked: AMP	Scale: 1" = 30'
File Name: 99103-ALL-LOTS2.DWG	

**GP** Traffic and Civil Engineering Services  
 PO Box 1237 26 Main Street  
 Gray, ME 04039  
 207-657-6910

Drawing Name: **Layout & Utilities Lot 8**  
 Project: **MAGGIE ALANE, PORTLAND**  
 10-11-00

Figure No. **2**

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM**

20000168

I. D. Number

Gorrill Palmer  
Applicant  
P.O. Box 10127, Portland, ME 04104  
Applicant's Mailing Address  
SAA  
Consultant/Agent  
773-4988  
Applicant or Agent Daytime Telephone, Fax  
773-2267  
Maggie Ln, Portland Maine 04103  
Address of Proposed Site  
342-A-011  
Assessor's Reference: Chart-Block-Lot

9/6/00  
Application Date  
Maggie Lane Lot 8  
Project Name/Description

Proposed Development (check all that apply):  
 Office  Retail  Manufacturing  New Building  Warehouse/Distribution  Building Addition  Change Of Use  Residential  
 1,872  2,388  Other (specify) Duplex 2 unit

Proposed Building square Feet or # of Units 2,388 Acreage of Site R5  
 Zoning R5

**Check Review Required:**  
 Site Plan (major/minor)  Subdivision # of lots  PAD Review  14-403 Streets Review  
 Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other

Fees Paid: Site Plan \$400.00 Subdivision \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date: 9/6/00

**Fire Approval Status:**

Approved  Approved w/Conditions see attached  Denied  
 Reviewer Lt. Mc Dougall Gorring  
 Approval Date 9/11/00 Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_ Additional Sheets Attached  
 Condition Compliance Lt. Mc Dougall 9/11/00 signature \_\_\_\_\_ date \_\_\_\_\_

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____	_____	_____
	date	amount	signature	signature	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	_____	_____	_____
	date	amount	signature	signature	expiration date
<input type="checkbox"/> Building Permit Issued	_____	_____	_____	_____	_____
	date	amount	signature	signature	expiration date
<input type="checkbox"/> Performance Guarantees Reduced	_____	_____	_____	_____	_____
	date	remaining balance	signature	signature	expiration date
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	_____	_____	_____	_____
	date	Conditions (See Attached)	signature	signature	expiration date
<input type="checkbox"/> Final Inspection	_____	_____	_____	_____	_____
	date	signature	signature	signature	expiration date
<input type="checkbox"/> Certificate of Occupancy	_____	_____	_____	_____	_____
	date	signature	signature	signature	expiration date
<input type="checkbox"/> Performance Guarantee Released	_____	_____	_____	_____	_____
	date	signature	signature	signature	expiration date
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____	_____	_____
	submitted date	amount	signature	signature	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	_____	_____	_____
	date	signature	signature	signature	expiration date

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

Building or Use Permit Pre-Application  
Attached Single Family Dwellings/Two-Family Dwelling  
Multi-Family or Commercial Structures and Additions Thereto

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

**NOTE\*\*** If you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction (include Portion of Building): lot 8, Maggie Lane		Square Footage of Lot	21388
Total Square Footage of Proposed Structure	1872	Owner:	Maggie Lane Development
Tax Assessor's Chart, Block & Lot Number	Chart# 342 Block# A Lot# 11	Telephone#:	773-4948
Owner's Address:	P.O. Box 10127 Portland ME 04107	Cost Of Work:	\$90,000
Proposed Project Description: (Please be as specific as possible)	construction of a two family building		
Contractor's Name, Address & Telephone	Maggie Lane Development	773-4948	Rec'd By: [Signature]
Current Use:	vacant land	Proposed Use:	2 Family

Separate permits are required for Internal & External Plumbing, HVAC and Electrical Installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
  - All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
  - All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
  - HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

4) Building Plans

Unless exempted by State Law, construction documents must be designed by a registered professional architect. A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

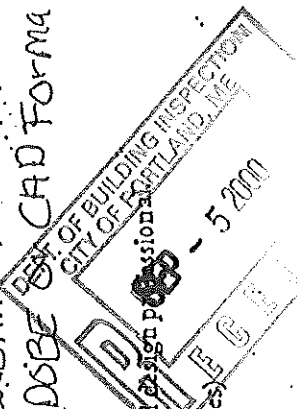
Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature]

Date: 9/5/00

Building Permit Fee: \$30.00 for the 1st \$1000. cost plus \$6.00 per \$1,000.00 construction cost thereafter.  
Additional Site review and related fees are attached on a separate addendum



\* If Available also  
Submit Plans on  
ADBE or CAD Form

9/5

11:30



**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM**

20000168

I. D. Number

Gorrill Palmer

Applicant

P.O. Box 10127, Portland, ME 04104

Applicant's Mailing Address

SAA

Consultant/Agent

773-4988 773-2267

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply):

Office  Retail  Manufacturing  New Building  Warehouse/Distribution  Building Addition  Change Of Use

Flood Hazard  Subdivision # of lots

Zoning Conditional Use (ZBA/PB)  Zoning Variance  Historic Preservation  DEP Local Certification

Proposed Building square Feet or # of Units 21,388 Acreage of Site

21,388

R5

Zoning

**Check Review Required:**

Site Plan (major/minor)

Flood Hazard

Zoning Conditional Use (ZBA/PB)

Subdivision # of lots

Shoreland

Zoning Variance

PAD Review

14-403 Streets Review

Historic Preservation

DEP Local Certification

Other

Fees Paid: Site Plan \$400.00

Subdivision

Engineer Review

Date: 9/6/00

**Inspections Approval Status:**

Approved

Approved w/Conditions see attached

Denied

Approval Date

Approval Expiration

Extension to

Additional Sheets Attached

Condition Compliance

signature

date

date

date

Performance Guarantee

Required\*

Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted

Inspection Fee Paid

date

amount

expiration date

Building Permit Issued

date

amount

Performance Guarantee Reduced

date

Temporary Certificate of Occupancy

date

remaining balance

signature

Final Inspection

date

Conditions (See Attached)

Certificate Of Occupancy

date

signature

Performance Guarantee Released

date

Defect Guarantee Submitted

date

signature

submitted date

signature

submitted date

CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM

20000168

I. D. Number

Gorrill Palmer

Applicant

P.O. Box 10127, Portland, ME 04104

Applicant's Mailing Address

SAA

Consultant/Agent

773-4988

Applicant or Agent Daytime Telephone, Fax

773-2267

9/6/00

Application Date

Maggie Lane Lot 8

Project Name/Description

59- 61 Maggie Ln, Portland Maine 04103

Address of Proposed Site

342-A-011

Assessor's Reference: Chart-Block-Lot

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. Because no structural plans were submitted and there was no clarity as to whether they were decks or patios, **NO REAR DECKS HAVE BEEN APPROVED** (L)
3. Separate permits will be required for future decks, sheds, pools, and/or garage.
4. Private drainage easements: Tree clearing, construction of buildings, filling, regrading, or other obstructions shall be prohibited within the private drainage easements, unless approved in writing by the City Planning Division.
5. It is a condition of approval that prior to the issuance of a temporary or permanent certificate of occupancy, each dwelling unit in the Maggie Lane subdivision shall be outfitted with a fire protection sprinkler system in accordance with NFPA 13a or 13r.

**Fire Conditions of Approval**