

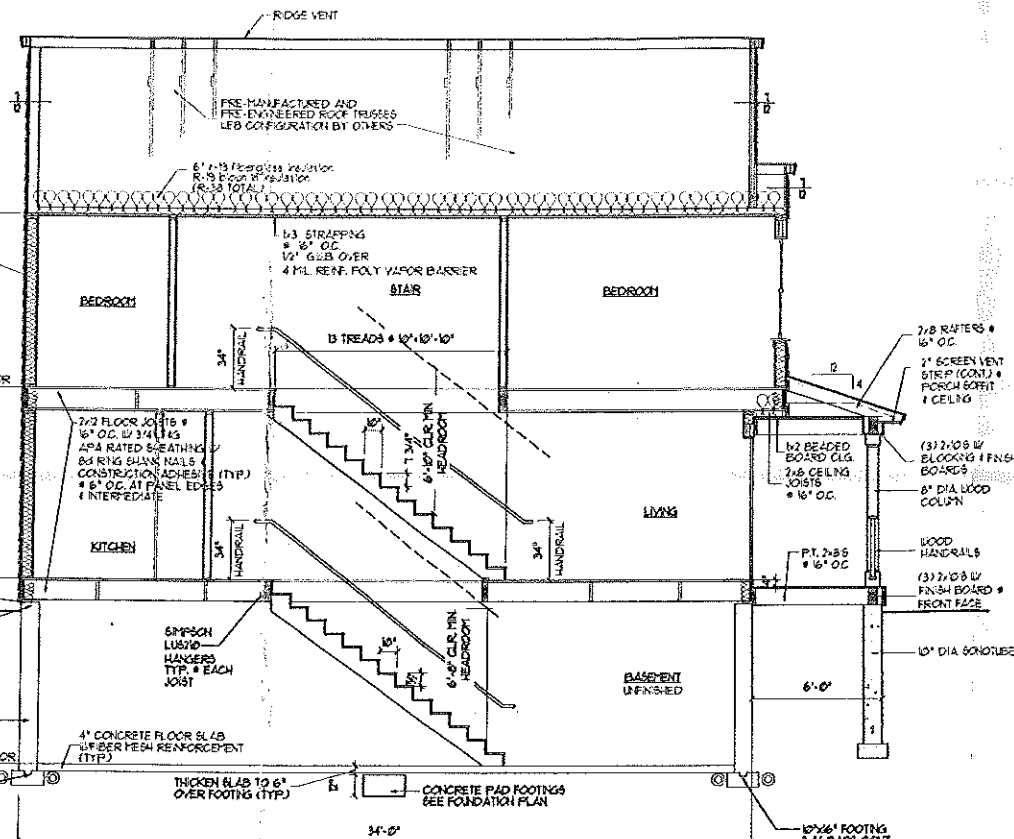
TYPICAL ROOF CONSTRUCTION

RIDGE VENT
 PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C.
 ROOF SHINGLES
 5/8" APA RATED SHEATHING @ 24" N.A.S. RING SHANK @ 6" O.C. PANEL EDGES AND 8" O.C. INTERMEDIATE
 15# FELT PAPER
 1/2" ROLLS 30# GUM WATERPROOF MEMBRANE @ EAVES

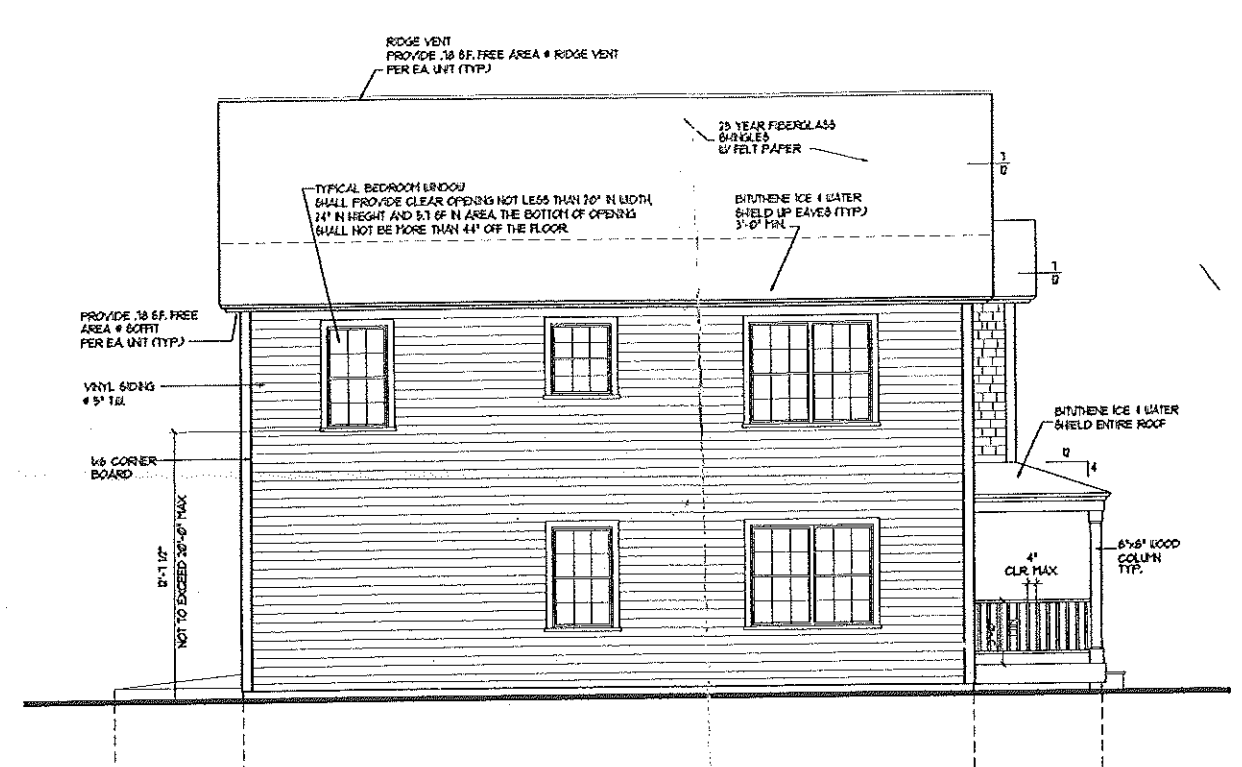
TYP. EXTERIOR WALL
 1/2" G.I.B. OVER
 4 ML REIN. FOLY VAPOR BARRIER
 2x6 BRDS @ 24" O.C.
 USOLID 7x BLOCKING AT ALL SHEATHING PANEL EDGES
 1/8" APA RATED SHEATHING @ 24" N.A.S. RING SHANK @ 4" O.C. PANEL EDGES AND 6" O.C. INTERMEDIATE (TYP) OVER CONT. BLDG. BRK. UNDER VINYL SIDING

5/8" DIA. x 2" LONG HOOKED ANCHOR BOLTS @ 3'-0" O.C. AND 3 @ CORNERS
 WALL REINFORCING 2-#4 BARS CONT. TOP & BOTTOM OF 10" WALL AT FRONT & SIDES & 1 @ REAR

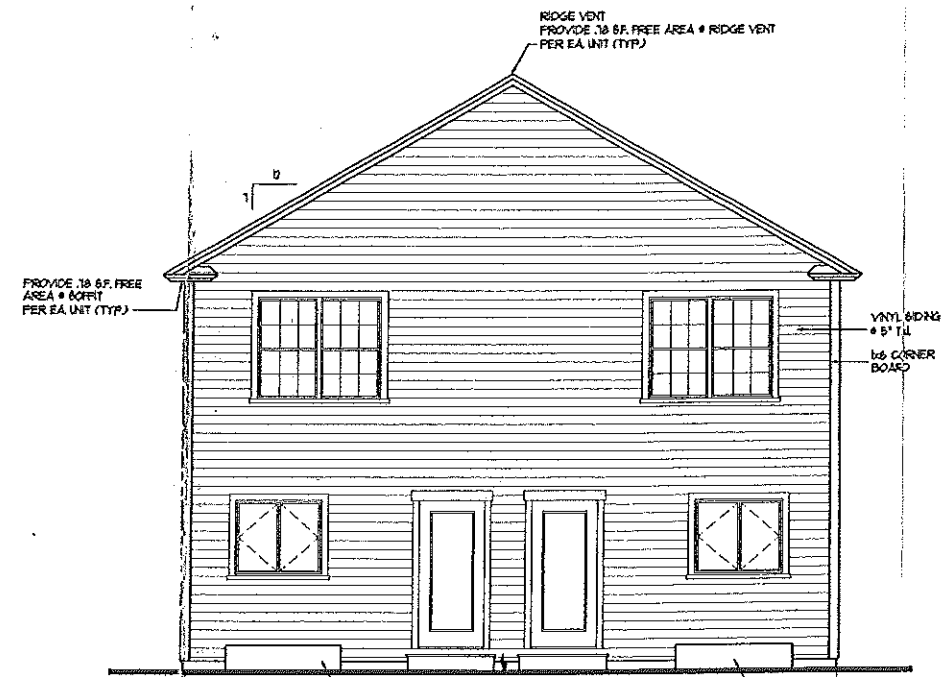
10"x16" FOOTING 2-#4 BARS CONT. 5" CLEAR (TYP.)



SECTION THRU HOUSE
 SCALE: 1/4" = 1' - 0"



LEFT SIDE ELEVATION
 (RIGHT SIDE ELEVATION SIMILAR) SCALE: 1/4" = 1' - 0"



REAR ELEVATION
 SCALE: 1/4" = 1' - 0"



FRONT ELEV
 SCALE: 1/4" = 1' - 0"

CITY OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 JUN 7 2004
 I E B E W

DRAWINGS THIS SHEET	
ELEVATIONS SECTION	20/174
DATE	01/3/03
A3	

ROUGH OPENING	HEADER SIZE
0' - 3'-0"	(3) - 2x6
3'-1" - 4'-6"	(3) - 2x8
4'-1" - 5'-8"	(3) - 2x10
5'-9" - 7'-0"	(3) - 2x12

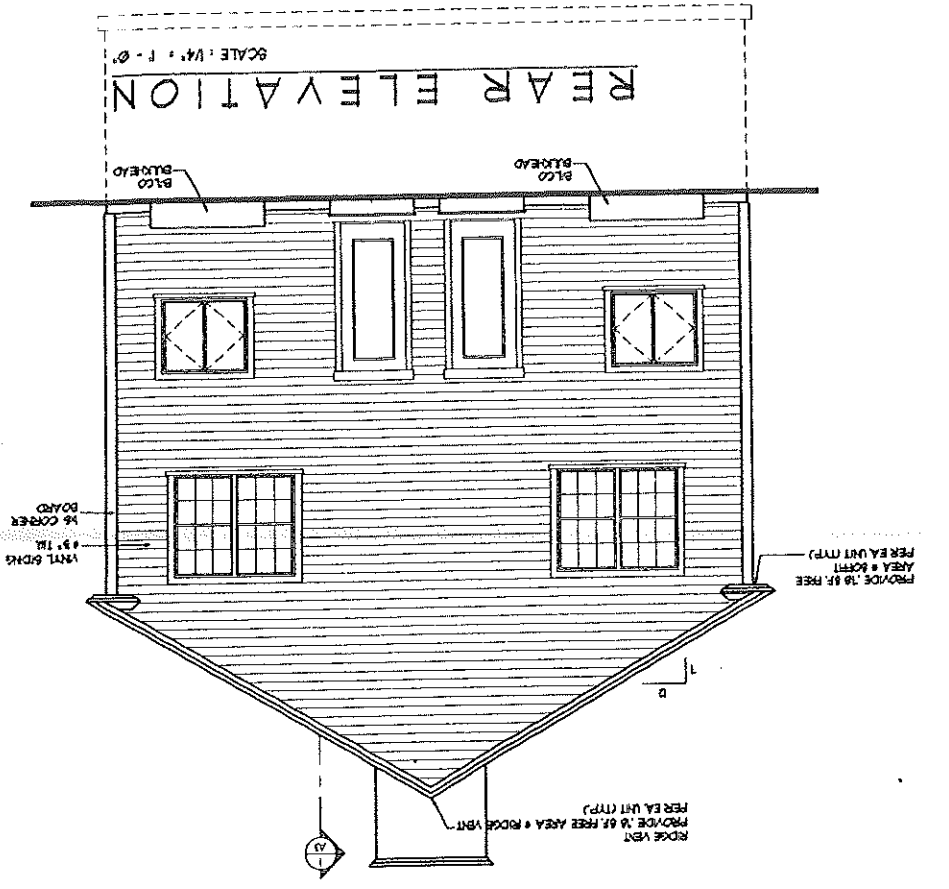
NOTE: PROVIDE JAMBS BOTH ENDS AS FOLLOWS:
 2x6 JACK PLUS 2x6 KING UP TO 4'-6" ROUGH OPENING
 (1) 2x6 JACKS PLUS (1) 2x6 KING UP TO 7'-0" ROUGH OPENING

Revised front elevations Lots 4, 34/5, 11

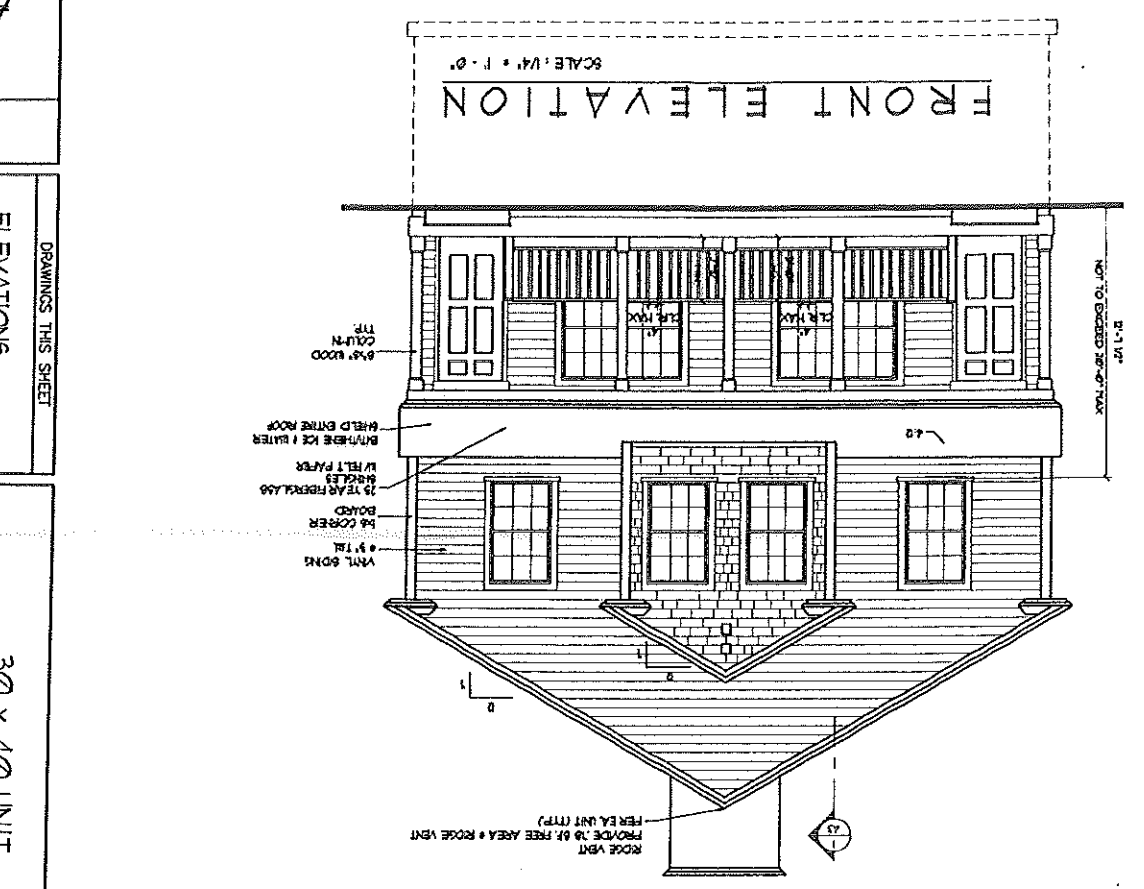
341624

HEADER SCHEDULE	
ROUGH OPENING	HEADER SIZE
0'-3" x 0'	(1) - 2x6
3'-0" x 4'-6"	(1) - 2x8
4'-0" x 5'-6"	(1) - 2x8
5'-0" x 7'-0"	(1) - 2x10

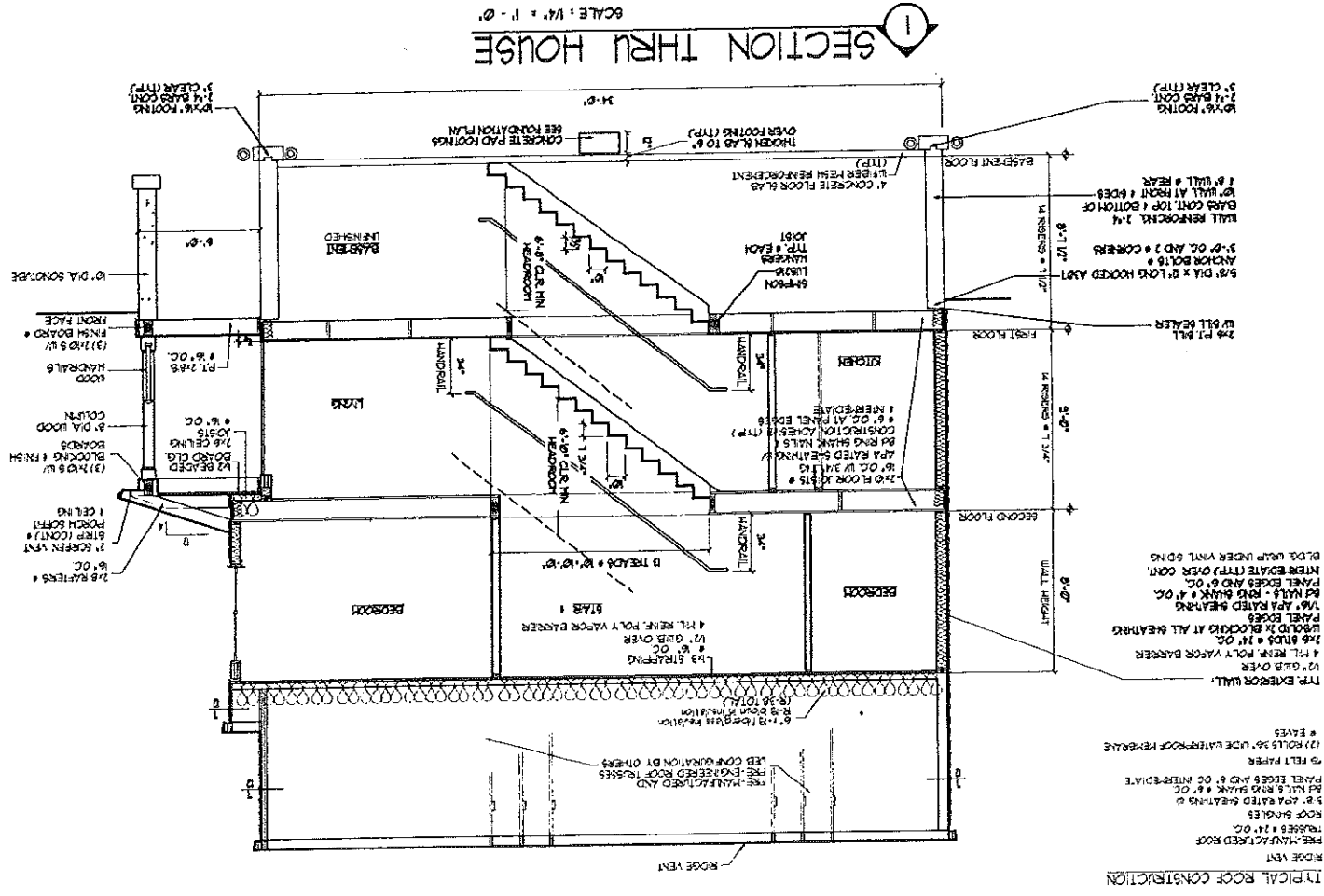
NOTE: PROVIDE JACOBS FROM BIDS AS FOLLOWS
 2x6 JACOBS PLUS 2x6 KIDS UP TO 4'-6" ROUGH OPENING
 2x8 JACOBS PLUS 2x8 KIDS UP TO 7'-0" ROUGH OPENING



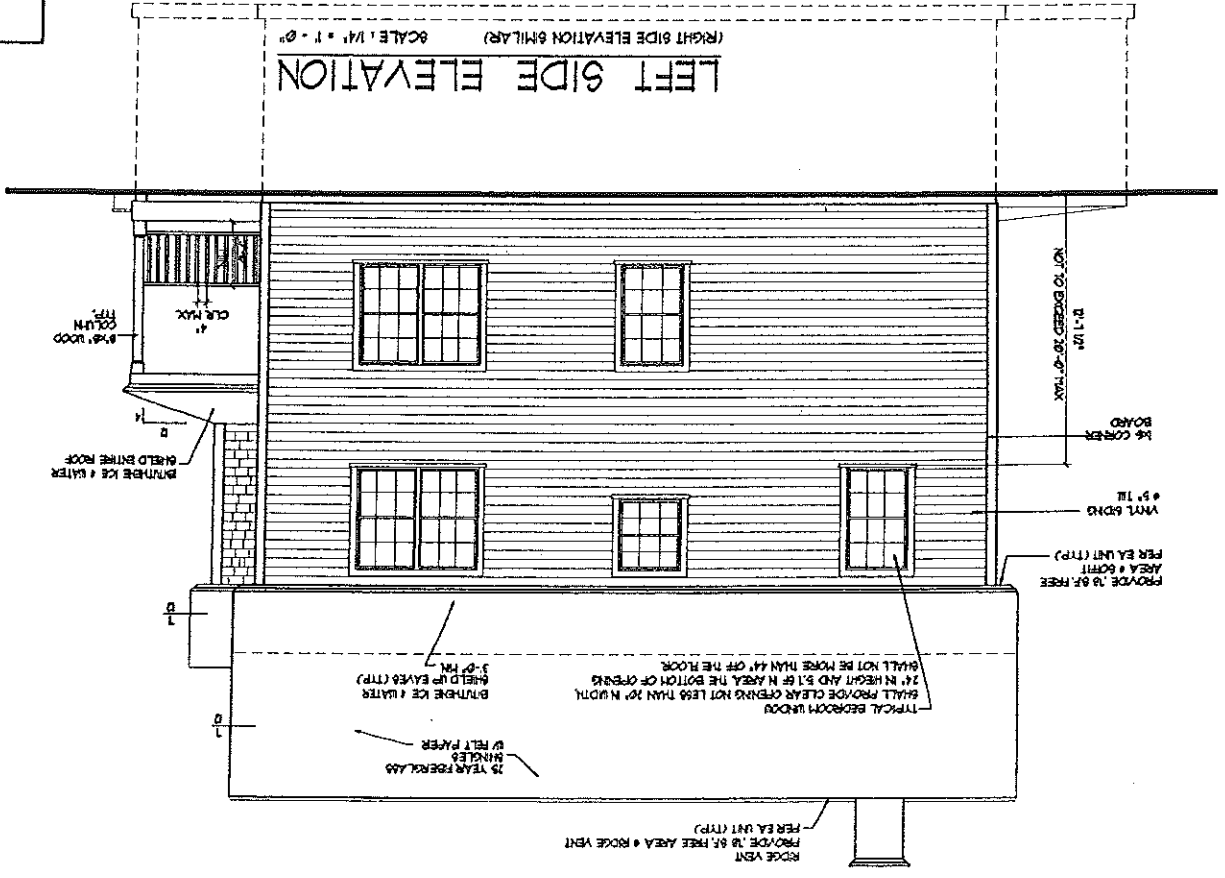
REAR ELEVATION
 SCALE: 1/4" = 1'-0"



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



SECTION THRU HOUSE
 SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
 (RIGHT SIDE ELEVATION SHILAR)
 SCALE: 1/4" = 1'-0"

A3

DATE _____
 DRAWN _____

DRAWINGS THIS SHEET
 ELEVATIONS
 SECTION

30 X 40 UNIT
 (FULL BASEMENT)
 LOT 6 SCHEME 'A'

TYPICAL ROOF CONSTRUCTION

ROOF VENT
 2x6 MINIMUM RAFTERS
 1/2\"/>

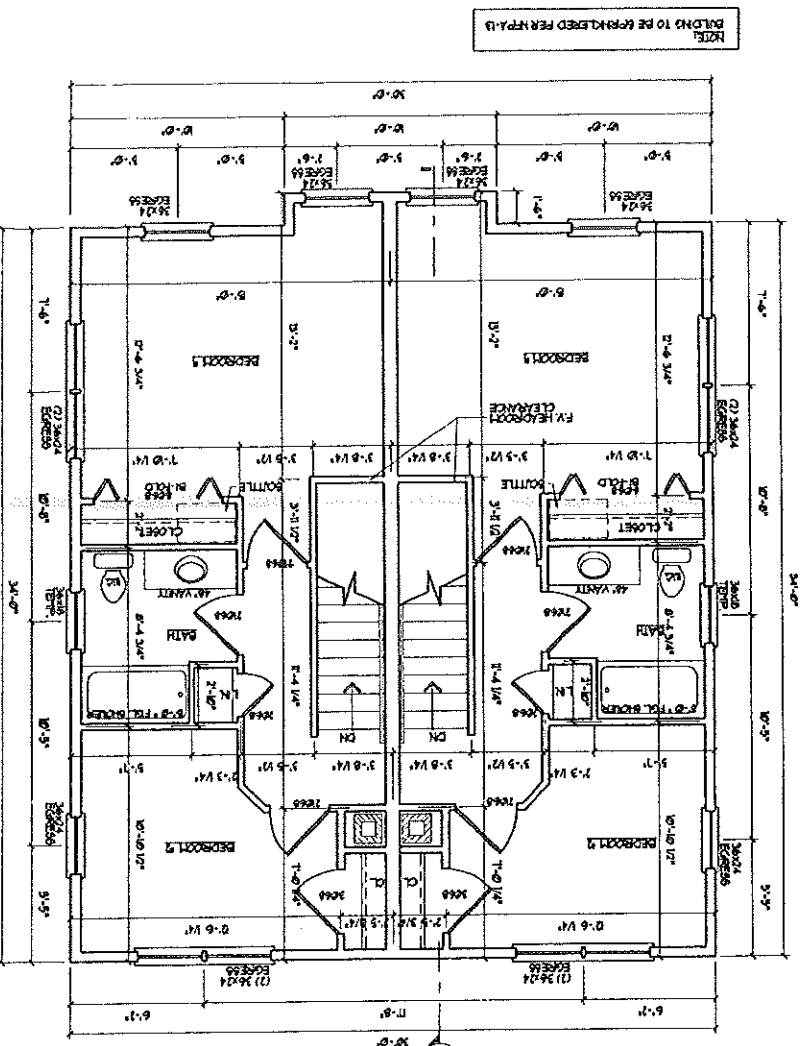
1/2\"/>

1/2\"/>

1/2\"/>

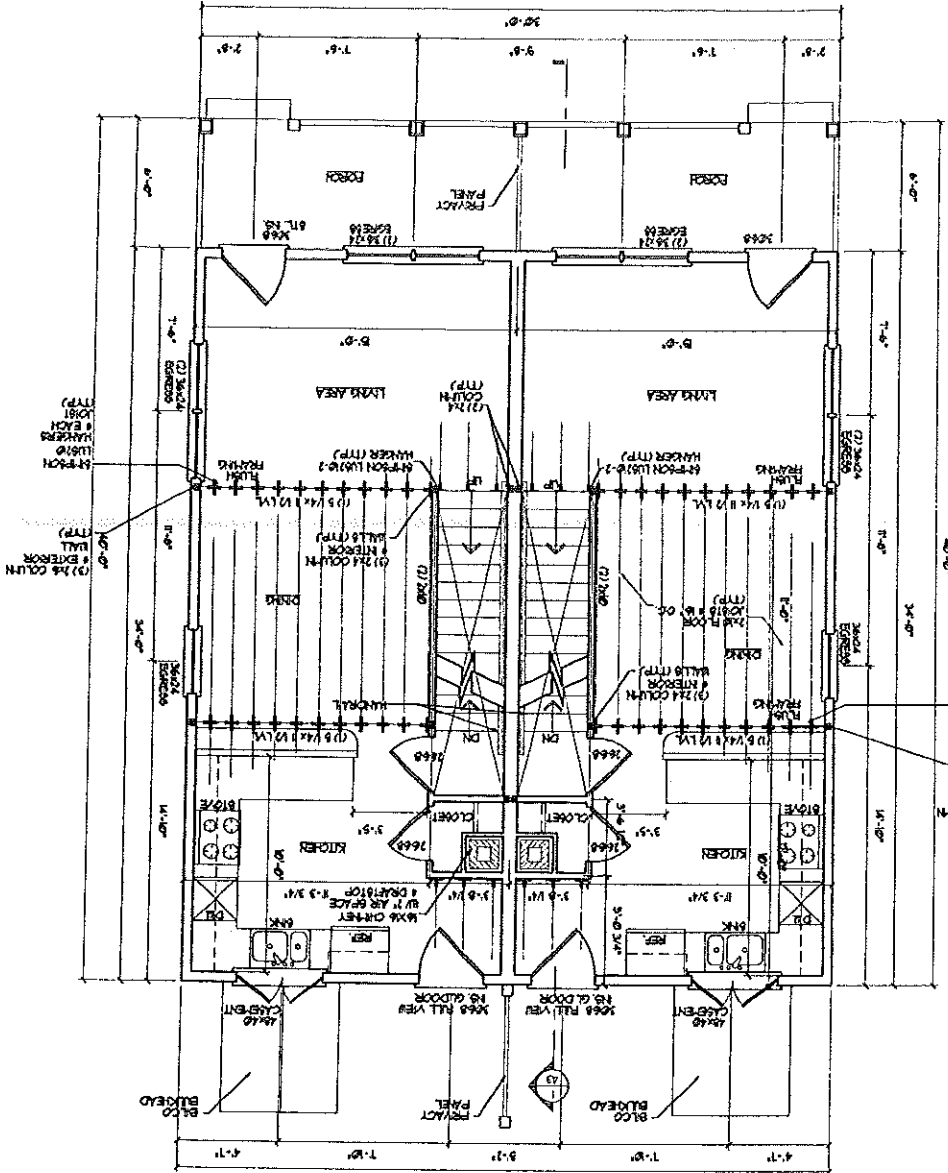
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

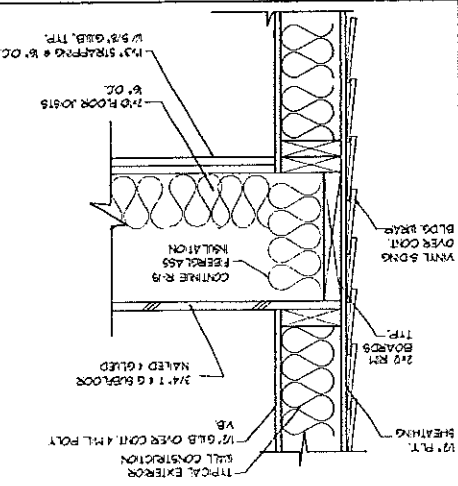
SCALE: 1/4" = 1'-0"



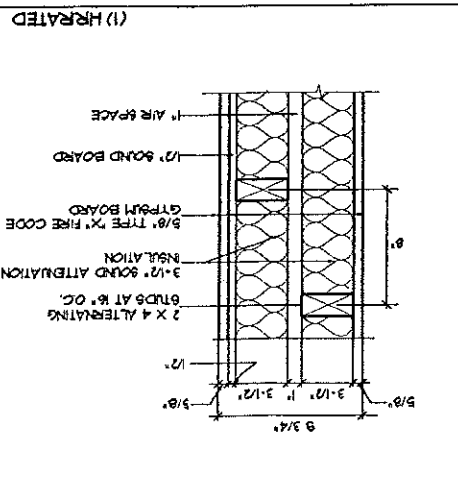
2" x 4" ALTERNATING STUDS AT R.O.C.
3-1/2" SOUND ATTENUATION INSULATION
1/2" TYPE X FIRE CODE GYPSUM BOARD
1" AIR SPACE
1/2" SOUND BOARD
5/8" TYPE X FIRE CODE GYPSUM BOARD

GENERAL NOTE FOR PARTY / SHEAR WALL:
1. PROVIDE 2x4 BLOCKS & ALL PANEL EDGES & INTERMEDIATE PROVIDE SCREWS @ 6" O.C. & PANEL EDGES & INTERMEDIATE.
2. RUN 2x4 WALL TO UNDERSIDE OF ROOF DECK (IN ATTIC SPACE) AT LEAST ONE OF THE 2x4 WALLS IN THE PARTY WALL BELOW. PROVIDE (1) LAYER 7/8" APA RATED BEAMING ONE SIDE ONLY.
3. PROVIDE 2x4 BLOCKS & ALL PANEL EDGES & INTERMEDIATE.
4. OBTAIN WATERTIGHT APPROVAL FROM AUTHORITY HAVING JURISDICTION FOR THE WALL RAINING FROM.

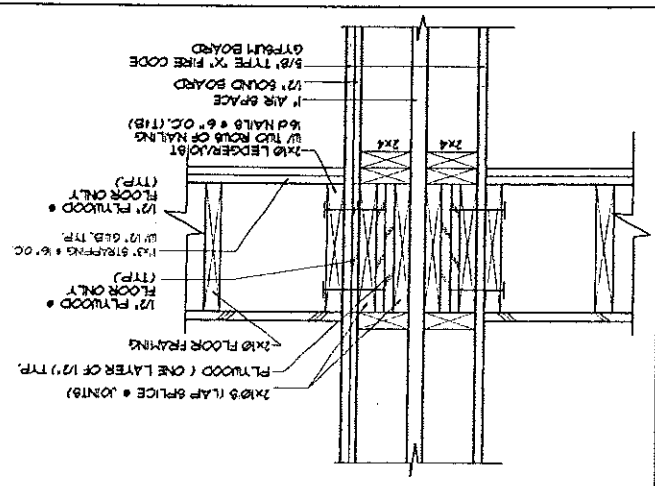
1 FLOOR FRAMING DETAIL 1/2" = 1'-0"



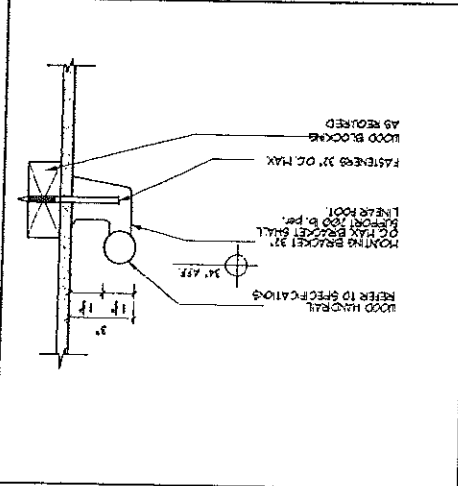
2 PARTY WALL DETAIL 1/2" = 1'-0"



3 SECTION - PARTY WALL DETAIL 1/2" = 1'-0"



4 HANDRAIL DETAIL 1/2" = 1'-0"



A2

DATE

FLOOR PLANS
DETAILS

30 x 40 UNIT
(FILL BASEMENT)
SCHEME 'A'

DRAWINGS THIS SHEET

A

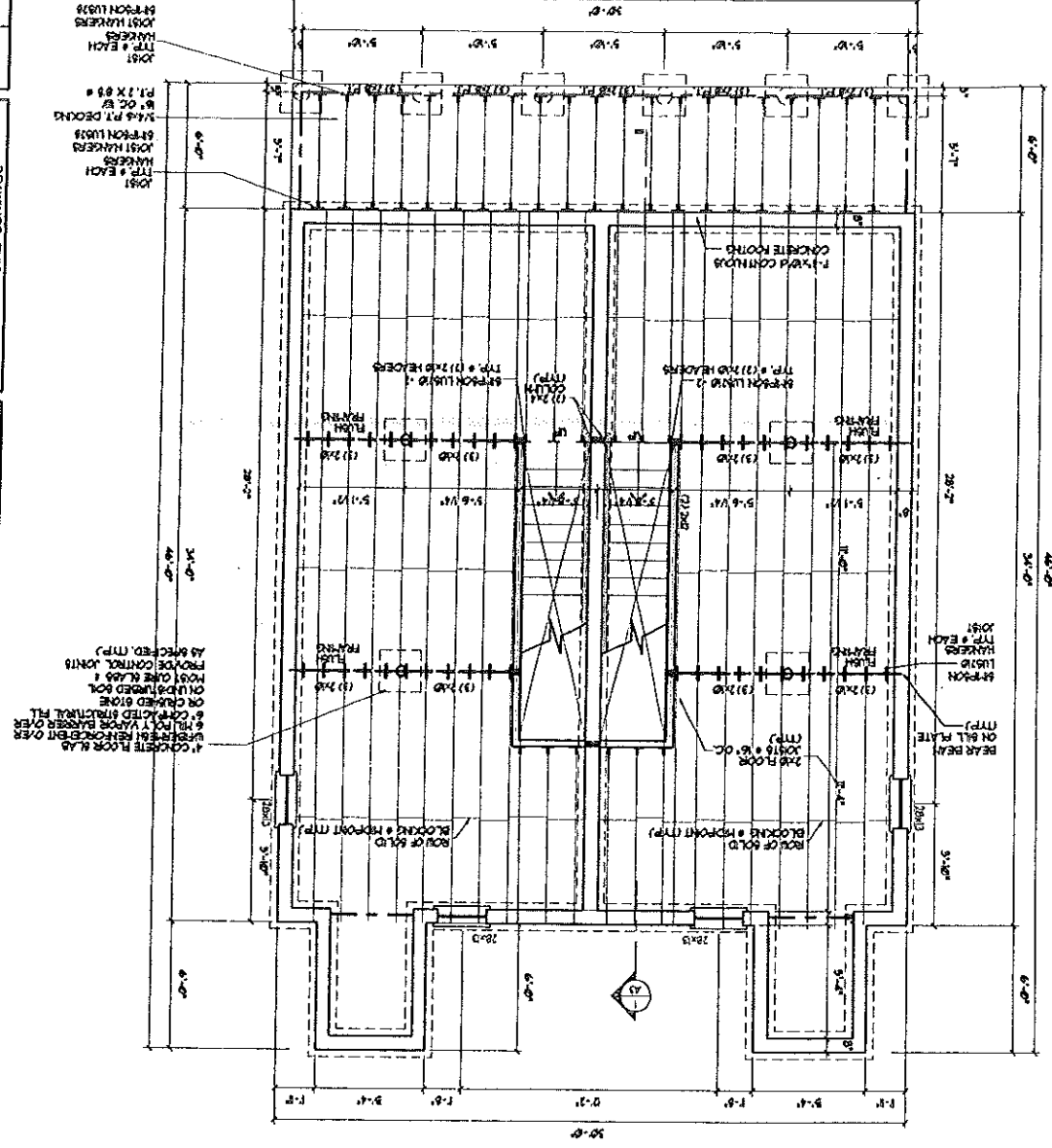
FOUNDATION PLAN
ROOF PLAN
DETAILS

30 X 40 UNIT
(FULL BASEMENT)

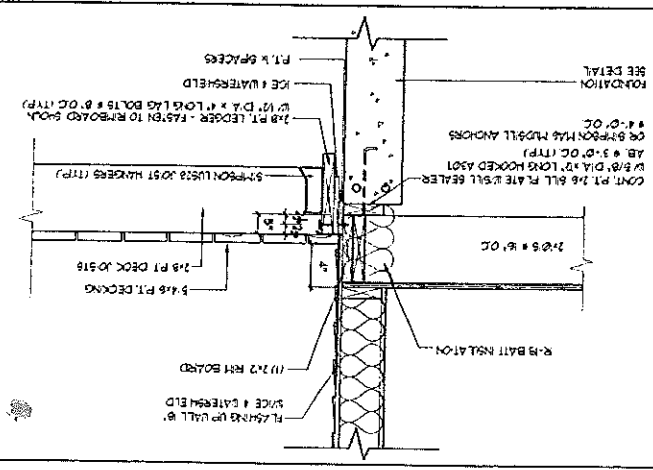
SCALE: 1/4" = 1'-0"

FOUNDATION / FIRST FLOOR FRAMING PLAN

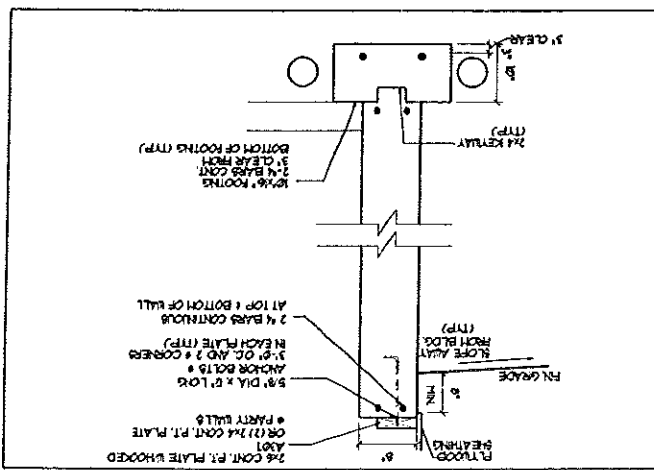
SCALE: 1/4" = 1'-0"



2 DECK JOIST CONNECTION DETAIL SCALE: 1/4" = 1'-0"

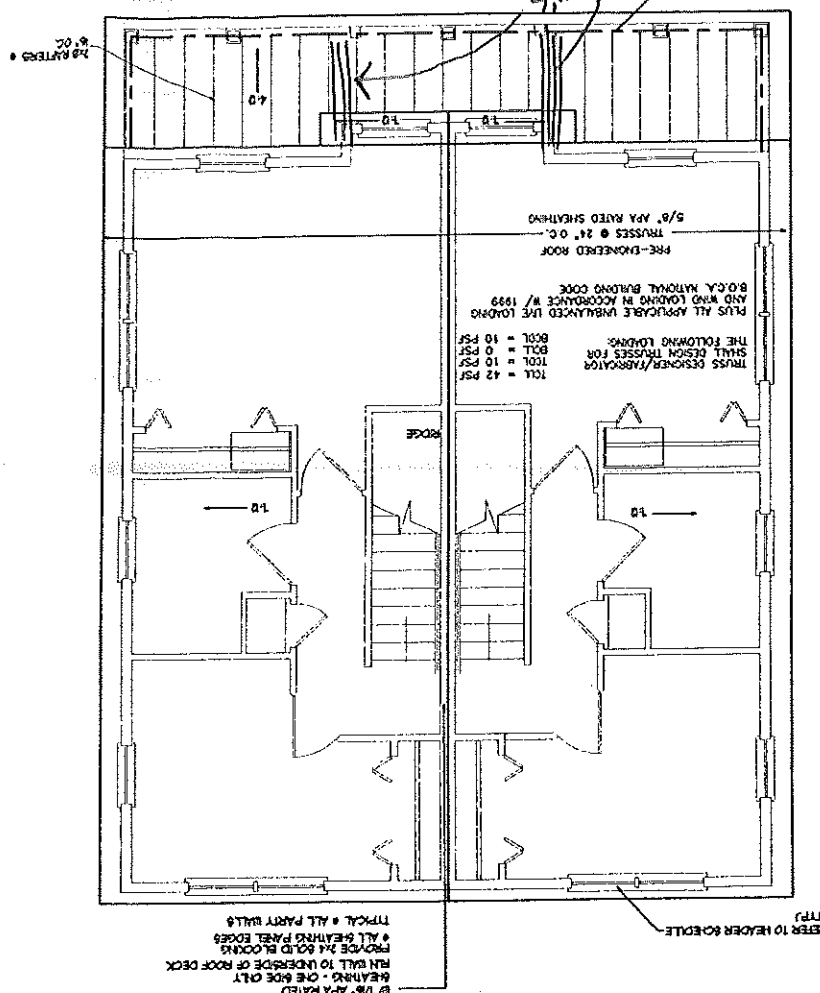


1 TYPICAL FOUNDATION WALL SCALE: 1/4" = 1'-0"



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



FOUNDATION NOTES:
1. PROVIDE ALL BEAMER ON TOP OF ALL FOUNDATION WALLS.
2. FOUNDATION WALLS SHALL BE PACKAGED INDEPENDENTLY.
3. ALL STEEL MEMBERS IN ROOFS TO BE A MINIMUM 2" CLEAR FROM BOTTOM OF ROOFING.
4. ALL STEEL MEMBERS IN ROOFING SHALL BE 1" CLEAR FROM FACE OF WALL.
5. ALL STEEL MEMBERS IN ROOFING SHALL BE 1" CLEAR FROM FACE OF WALL.
6. ALL ROOF MEMBERS SHALL BE 1" CLEAR FROM FACE OF WALL.
7. PREPRESSURE PRECASTING RELATED TO RAFTER MEMBERS PER A.P.A.
8. ALL CONCRETE SURFACES SHALL HAVE A STEEL TRAP (1" DIA) BROOK FINISH.
9. GET BOTTOM OF FOOTING MIN 4'-0" BELOW GRADE.
10. GET ALL ROOFING ON IMPROVED SOIL OR COMPACTED STRUCTURAL FILL.
11. RAFTER HEAT IN GLASS.
12. FIRST FLOOR SLAB SHALL BE 4" THICK CONCRETE SLAB ON GRADE WITH REINFORCEMENT; PROVIDE CONTROL JOINTS @ 8'-0" SPACING MINIMUM.
13. ALL CONCRETE SHALL BE 3000 PSI (FCU) STRENGTH AT 28 DAYS.
14. ALL CONCRETE SHALL BE AIR ENTRAINED 4-6%.
15. ALL OTHER APPROXIMATES SHALL BE PRE-APPROVED.
NOTE:
BUILDING TO BE APPROVED PER NFA-10

FRAMING NOTES:
1. ALL EXTERIOR WALLS TO BE 2x6 WOOD STUD WALLS @ 16" O.C. WITH GYPSUM BOARD INSULATION @ 2" THICK AND 1/2" GAP AT JOINTS.
2. ALL INTERIOR WALLS TO BE 2x4 WOOD STUD WALLS @ 16" O.C. WITH GYPSUM BOARD INSULATION @ 2" THICK AND 1/2" GAP AT JOINTS.
3. INITIAL BLOCKING BEHIND ALL SURFACE MOUNTED FINISHES, TRIM AND BLINDS.
4. THE LOCATION OF ALL DOOR RAISED SHALL BE 4 1/2" UNLESS NOTED OTHERWISE FROM ADJACENT WALLS.
FOUNDATION NOTES:
1. PROVIDE ALL BEAMER ON TOP OF ALL FOUNDATION WALLS.
2. FOUNDATION WALLS SHALL BE PACKAGED INDEPENDENTLY.
3. ALL STEEL MEMBERS IN ROOFS TO BE A MINIMUM 2" CLEAR FROM BOTTOM OF ROOFING.
4. ALL STEEL MEMBERS IN ROOFING SHALL BE 1" CLEAR FROM FACE OF WALL.
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11. RAFTER HEAT IN GLASS.
12. FIRST FLOOR SLAB SHALL BE 4" THICK CONCRETE SLAB ON GRADE WITH REINFORCEMENT; PROVIDE CONTROL JOINTS @ 8'-0" SPACING MINIMUM.
13. ALL CONCRETE SHALL BE 3000 PSI (FCU) STRENGTH AT 28 DAYS.
14. ALL CONCRETE SHALL BE AIR ENTRAINED 4-6%.
15. ALL OTHER APPROXIMATES SHALL BE PRE-APPROVED.
NOTE:
BUILDING TO BE APPROVED PER NFA-10

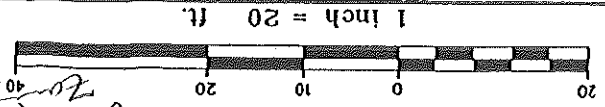
GENERAL NOTES:
1. ALL WORK SHALL BE IN ACCORDANCE WITH BOCA BUILDING CODE, NFA-10 NATIONAL FIRE PROTECTION ASSOCIATION (NFA), INTERNATIONAL BUILDING CODES (IBC), AND ALL LOCAL, STATE AND FEDERAL REQUIREMENTS.
2. ALL APPLICABLE FEDERAL, STATE AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.
3. ALL REQUIRED CITY AND STATE PERMITS MUST BE OBTAINED BEFORE ANY CONSTRUCTION BEGINS.
4. THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES THE ADDITION OF NECESSARY BEARING CAPACITY OF THE FOUNDATION. THE CONTRACTOR SHALL MAINTAIN ALL PERMITS IN FULL FORCE AND EFFECT THROUGHOUT THE PROJECT.
5. STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DESIGN BY OTHERS SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL STANDARDS.
6. ALL THE MATERIALS INDICATED SHALL BE CONTINUED TO UNDERLIE OF THE RAISED CEILING OR UNDERLIE OF ROOF DECK. BUT ALL OPENINGS IN MECHANICAL PENETRATIONS WITH APPROVED RAFTER OR TRUSS.
7. BUILDING SHALL BE PROVIDED IN ACCORDANCE WITH NFA-10. CONTRACTOR SHALL SUBMIT PLANS FOR STATE FIRE MARSHAL APPROVAL.
8. BUILDING SHALL HAVE APPROVED MECHANICAL DETAILERS IN ACCORDANCE WITH NFA-10. THE STRING CODES SHALL BE PROVIDED TO THE CONTRACTOR IN ACCORDANCE WITH NFA-10. THE STRING CODES SHALL BE PROVIDED TO THE CONTRACTOR IN ACCORDANCE WITH NFA-10. THE STRING CODES SHALL BE PROVIDED TO THE CONTRACTOR IN ACCORDANCE WITH NFA-10.
9. PROVIDE THE EXTERIOR FINISHES SHALL BE PROVIDED IN ACCORDANCE WITH NFA-10. LOCAL AUTHORITY SHALL BE NOTIFIED OF ALL FINISHES TO BE PROVIDED IN ACCORDANCE WITH NFA-10. LOCAL AUTHORITY SHALL BE NOTIFIED OF ALL FINISHES TO BE PROVIDED IN ACCORDANCE WITH NFA-10. LOCAL AUTHORITY SHALL BE NOTIFIED OF ALL FINISHES TO BE PROVIDED IN ACCORDANCE WITH NFA-10.
10. LOCATIONS MUST MAINTAIN A 4' CLEARANCE HEIGHT AND SHALL BE KEPT CLEAR OF ICE AND SNOW AT ALL TIMES TO MAINTAIN THE SECOND FLOOR OF EGRESS.
11. HVAC VENTILATION TO BE IN ACCORDANCE WITH ASHRAE, NFA-10, OR NFA-10B AND ALL FEDERAL, LOCAL AND STATE CODES. VENTILATION OF HEAT EQUIPMENT SHALL BE IN ACCORDANCE WITH NFA-10, NFA-10B, NFA-10C, NFA-10D, NFA-10E AND NFA-10F AS APPLICABLE.
FRAMING NOTES:
1. ALL EXTERIOR WALLS TO BE 2x6 WOOD STUD WALLS @ 16" O.C. WITH GYPSUM BOARD INSULATION @ 2" THICK AND 1/2" GAP AT JOINTS.
2. ALL INTERIOR WALLS TO BE 2x4 WOOD STUD WALLS @ 16" O.C. WITH GYPSUM BOARD INSULATION @ 2" THICK AND 1/2" GAP AT JOINTS.
3. INITIAL BLOCKING BEHIND ALL SURFACE MOUNTED FINISHES, TRIM AND BLINDS.
4. THE LOCATION OF ALL DOOR RAISED SHALL BE 4 1/2" UNLESS NOTED OTHERWISE FROM ADJACENT WALLS.

Design: DER	Date: 4/01
Draft: CAH	Job No.: 632
Checked: DER	Scale: 1"=20'
File Name: 632-LOTS	Revision

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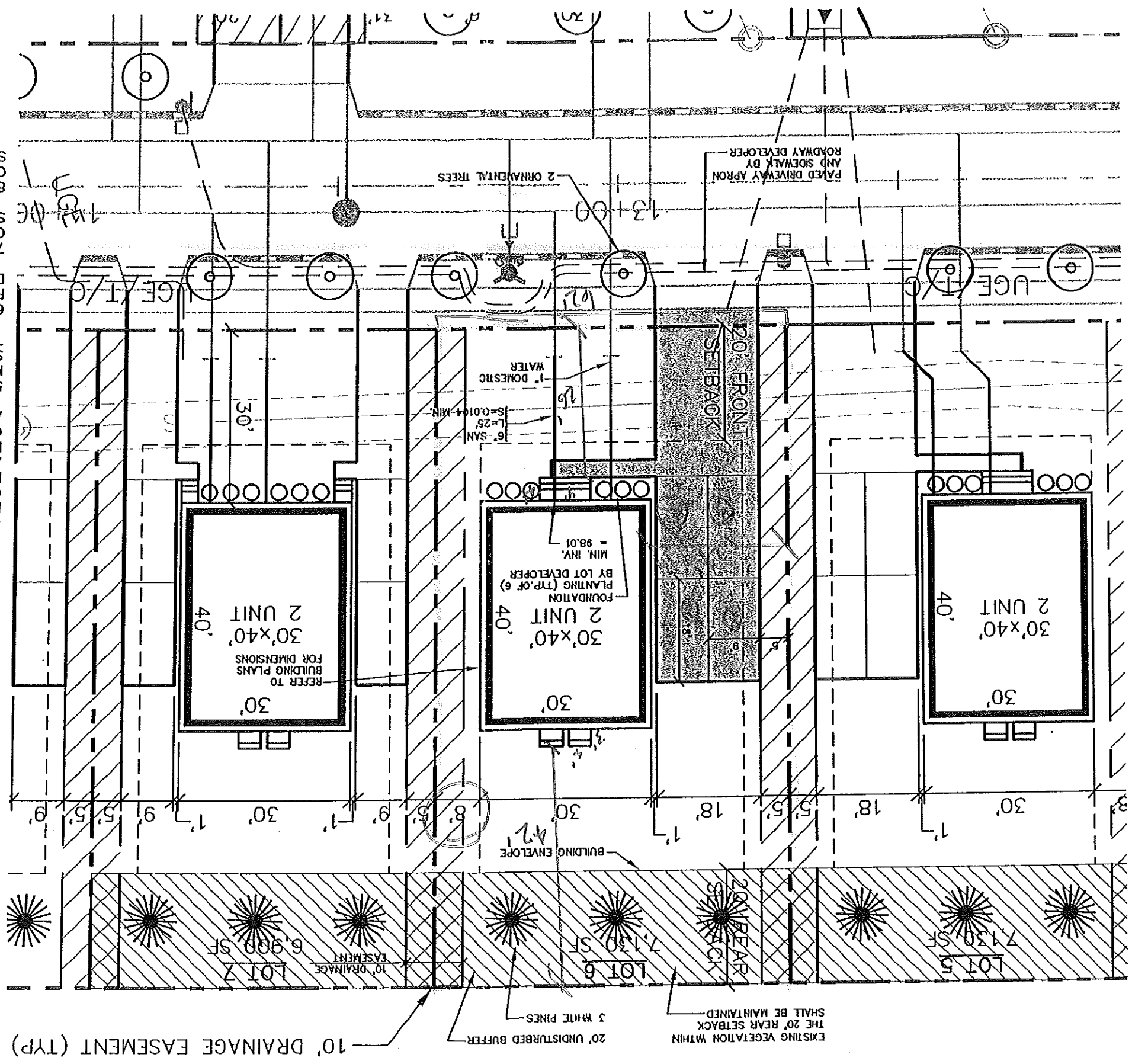
Project: **CARRIAGE LANE**
 Drawing Name: **Lot 6 Lot Layout and Utility Plan**

Figure No. **1**



used for
 Date of Approval: **6-6-04**
 Subject to Dept. Conditions
APPROVED SITE PLAN

1. LOT LAYOUT AND GRADING CONFIGURATIONS SHOWN ON THIS PLAN REPRESENT THE INTENDED FINAL DEVELOPMENT OF THE LOT FOR BUILDING PERMIT PURPOSES AS APPROVED BY THE CITY OF PORTLAND PLANNING BOARD ON FEBRUARY 24, 2004. ANY DEVIATION FROM THESE PLANS, BE IT EITHER BUILDING SIZE, PARKING CONFIGURATION, GRADING CHANGES, ETC. SHALL REQUIRE REVIEW AND APPROVAL FROM THE CITY OF PORTLAND PLANNING BOARD, AS WELL AS REVIEW BY THE SUBDIVISION DEVELOPER.
2. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2002.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH BEST MANAGEMENT PRACTICES EROSION CONTROL MEASURES. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE SUBDIVISION DEVELOPER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
5. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
6. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
8. LOT DEVELOPER SHALL BE RESPONSIBLE FOR DRIVEWAY CONSTRUCTION BEYOND **THE DRIVEWAY LAND** AND SIDEWALK.



10' DRAINAGE EASEMENT (TYP)
 20' UNDISTURBED BUFFER
 3 WHITE PINES
 EXISTING VEGETATION WITHIN THE 20' REAR SETBACK SHALL BE MAINTAINED
 20' REAR SETBACK

RECEIVED JUN 16 2004



Rev.	Date	Revision

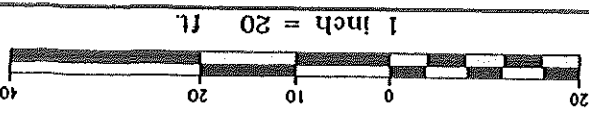
Design: EFR	Date: 4/04
Draft: CMH	Job No.: 632
Checked: EFR	Scale: 1"=20'
File Name: 632-LOTS	

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Traffic and Civil Engineering Services

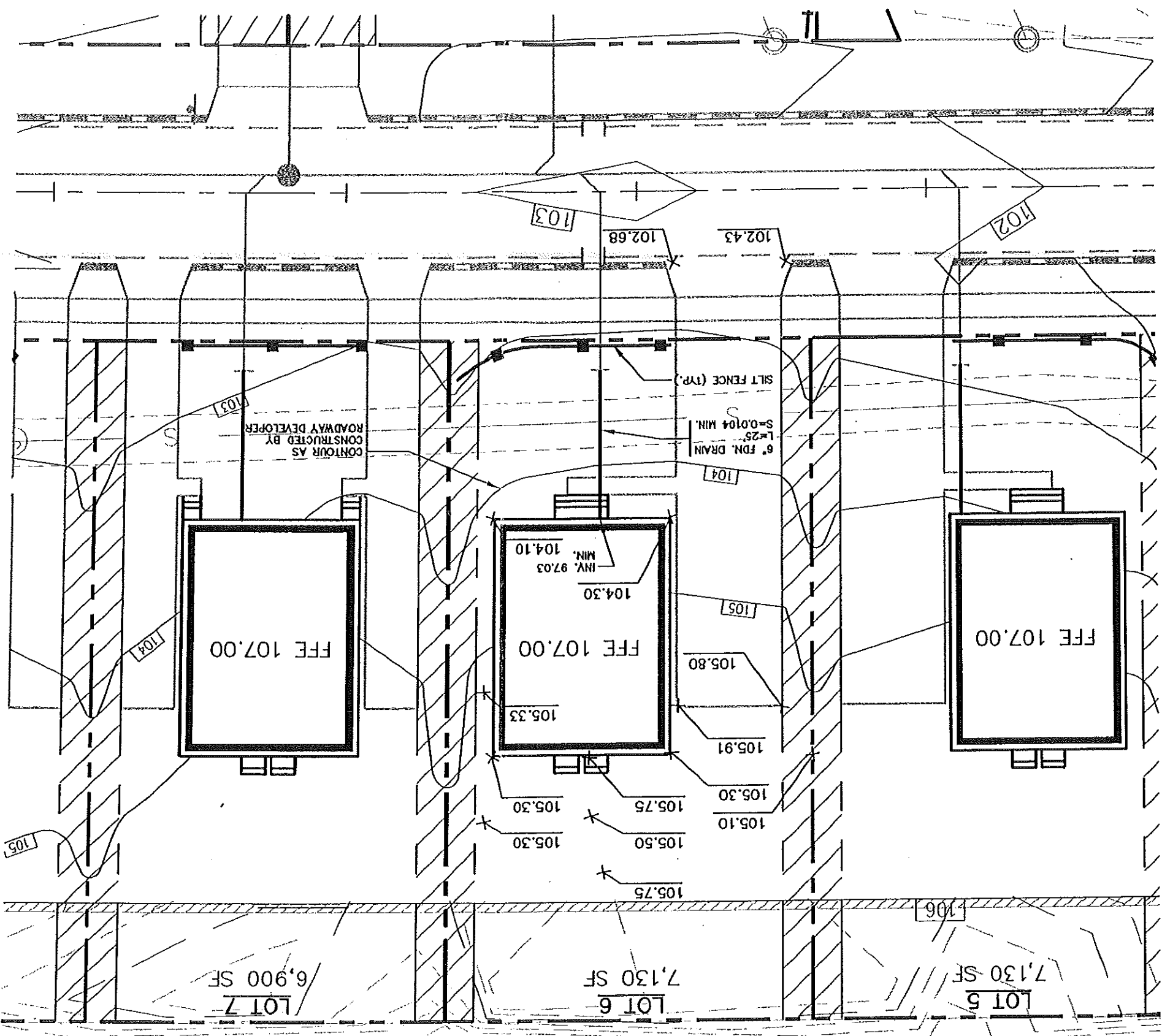
Drawing Name: Lot 6 Grading Plan
 Project: CARRIAGE LANE

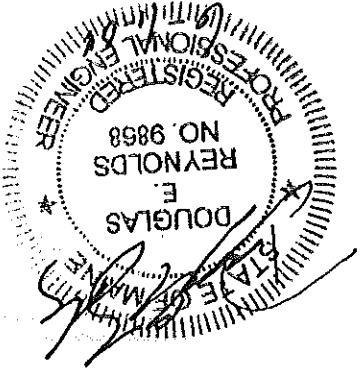
Figure No. 2



CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 6-16-04

- NOTES:**
1. ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDING SHALL RECEIVE 4" OF LOAM AND SEED.
 2. LOT LAYOUT AND GRADING CONFIGURATIONS SHOWN ON THIS PLAN REPRESENT THE INTENDED FINAL DEVELOPMENT OF THE LOT FOR BUILDING PERMIT PURPOSES. ANY DEVIATION FROM THESE PLANS, BE IT EITHER BUILDING SIZE, PARKING CONFIGURATION, GRADING CHANGES, ETC. SHALL REQUIRE REVIEW AND APPROVAL FROM THE CITY OF PORTLAND PLANNING BOARD, AS WELL AS REVIEW BY THE SUBDIVISION DEVELOPER.
 3. ADDITIONAL EROSION CONTROL MEASURES OVER AND ABOVE THOSE USED BY ROADWAY CONTRACTOR MAY BE REQUIRED TO MEET EROSION CONTROL BEST MANAGEMENT PRACTICES.
 4. LOT DEVELOPER SHALL BE RESPONSIBLE FOR RESTORING FINAL GRADES TO ELEVATIONS PROVIDED BY ROADWAY DEVELOPER. GRADES ADJACENT TO BUILDING SHALL BE ADJUSTED TO DIRECT FLOW AWAY FROM STRUCTURES.





Rev.	Date	Revision

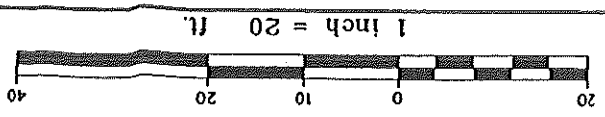
Design: DER	Date: 4/01
Draft: CAH	Job No: 632
Checked: DER	Scale: 1"=20'
File Name: 632-1015	

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 FAX: 207-657-6912
 E-Mail: mhop@gorrillpalmer.com

Traffic and Civil Engineering Services

Project: Lot 6 Lot Layout and Utility Plan
 Drawing Name: CARRIAGE LANE

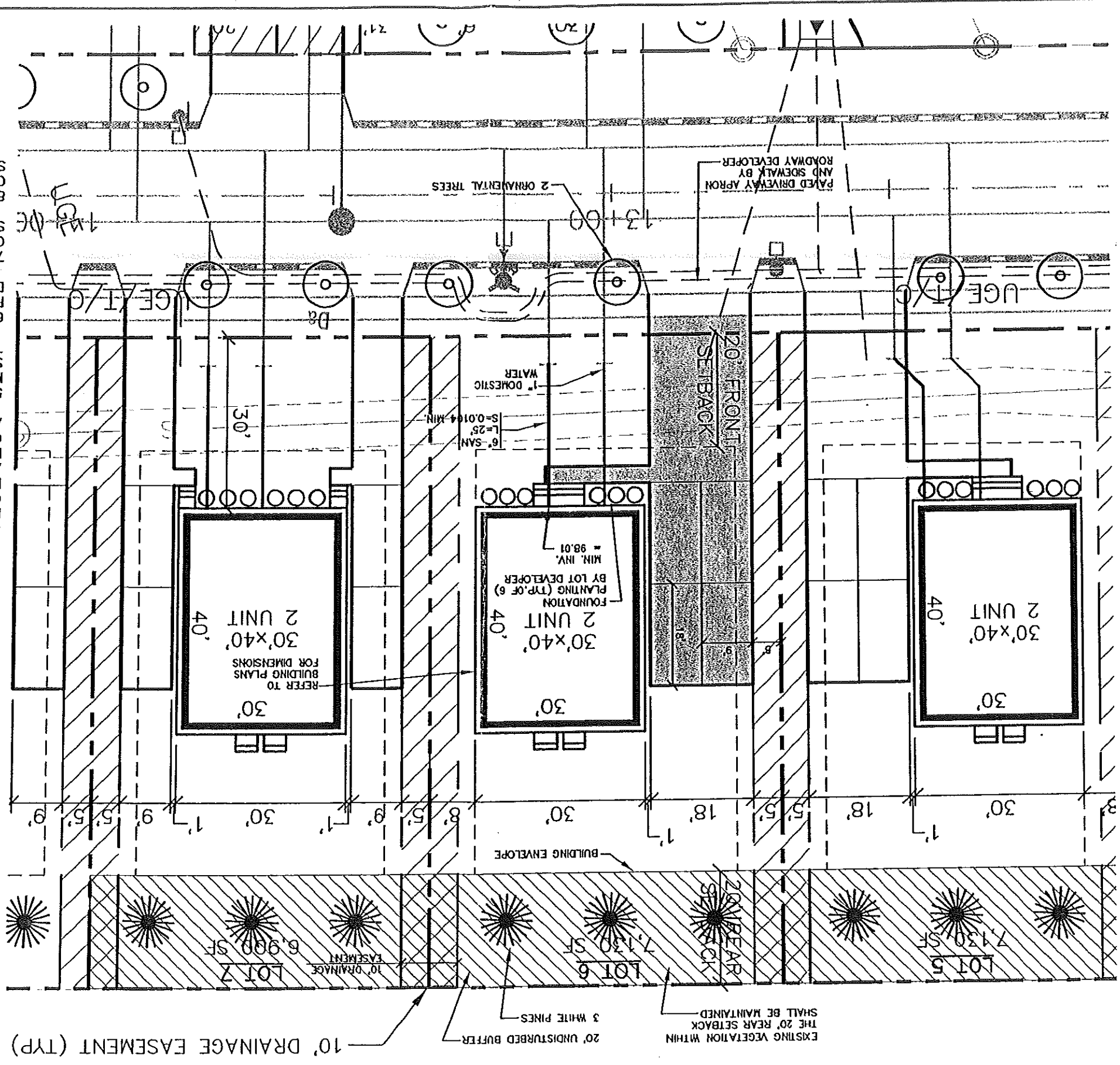
Figure No. 1



NOTES:

1. LOT LAYOUT AND GRADING CONFIGURATIONS SHOWN ON THIS PLAN REPRESENT THE INTENDED FINAL DEVELOPMENT OF THE LOT FOR BUILDING PERMIT PURPOSES AS APPROVED BY THE CITY OF PORTLAND PLANNING BOARD ON FEBRUARY 24, 2004. ANY DEVIATION FROM THESE PLANS, BE IT EITHER BUILDING SIZE, PARKING CONFIGURATION, GRADING CHANGES, ETC. SHALL REQUIRE REVIEW AND APPROVAL FROM THE CITY OF PORTLAND PLANNING BOARD, AS WELL AS REVIEW BY THE SUBDIVISION DEVELOPER.
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7. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
8. LOT DEVELOPER SHALL BE RESPONSIBLE FOR DRIVEWAY CONSTRUCTION BEYOND THE DRIVEWAY APRON AND SIDEWALK.

Date of Approval: 6-16-04
 Subject to Dept. Conditions
 APPROVED SITE PLAN



RECEIVED JUN 16 2004



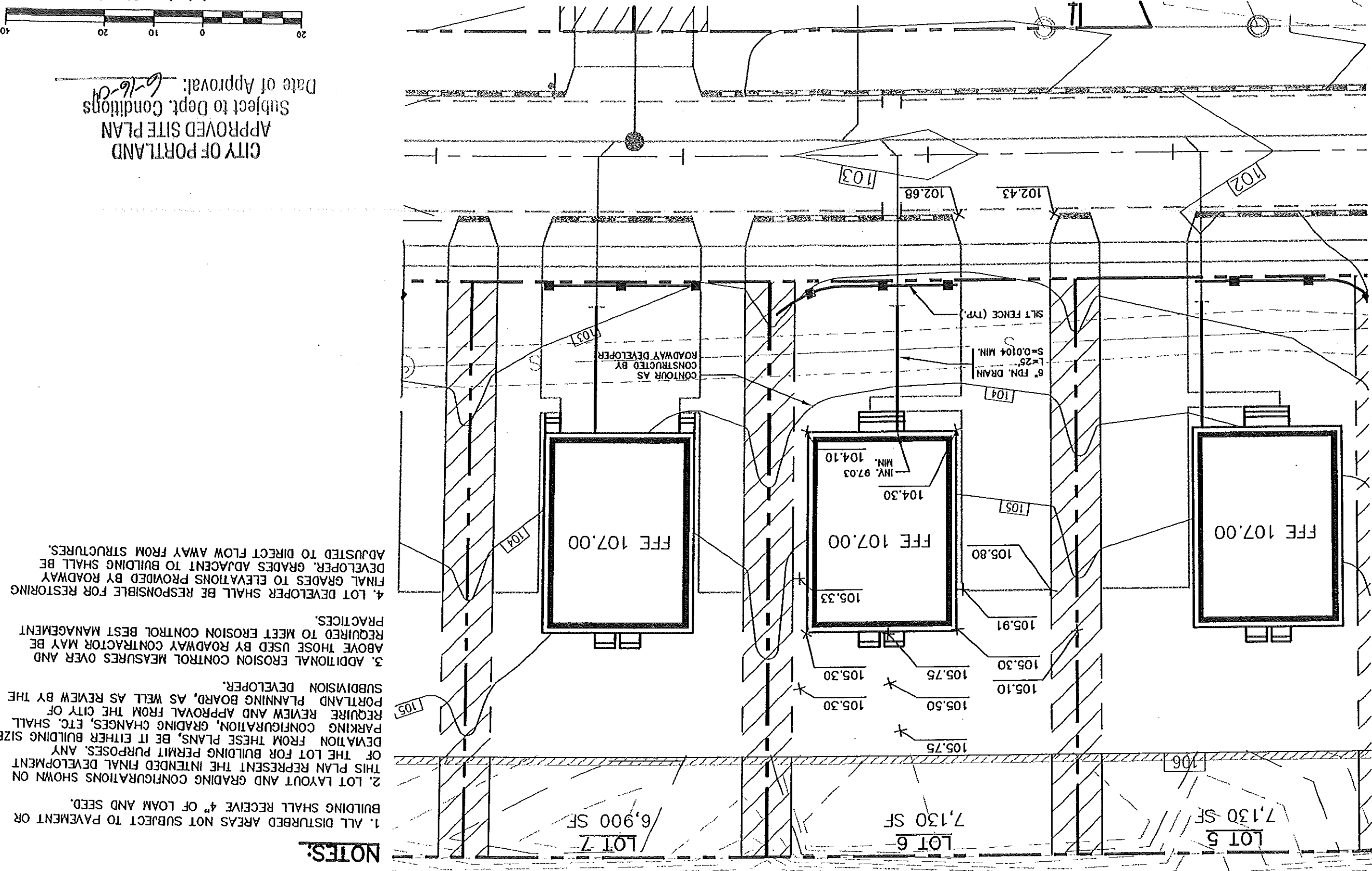
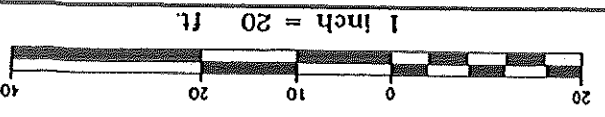
Rev.	Date	Revision

Design: DFR	Date: 4/04
Draft: CAH	Job No: 632
Checked: DFR	Scale: 1"=20'
File Name: 632-L015	

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Project: **Lot 6 Grading Plan**
 Drawing Name: **CARRIAGE LANE**

Figure No. **2**



CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 6-16-04

- NOTES:**
1. ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDING SHALL RECEIVE 4" OF LOAM AND SEED.
 2. LOT LAYOUT AND GRADING CONFIGURATIONS SHOWN ON THIS PLAN REPRESENT THE INTENDED FINAL DEVELOPMENT OF THE LOT FOR BUILDING PERMIT PURPOSES. ANY DEVIATION FROM THESE PLANS, BE IT EITHER BUILDING SIZE, PARKING CONFIGURATION, GRADING CHANGES, ETC. SHALL REQUIRE REVIEW AND APPROVAL FROM THE CITY OF PORTLAND PLANNING BOARD, AS WELL AS REVIEW BY THE SUBDIVISION DEVELOPER.
 3. ADDITIONAL EROSION CONTROL MEASURES OVER AND ABOVE THOSE USED BY ROADWAY CONTRACTOR MAY BE REQUIRED TO MEET EROSION CONTROL BEST MANAGEMENT PRACTICES.
 4. LOT DEVELOPER SHALL BE RESPONSIBLE FOR RESTORING FINAL GRADES TO ELEVATIONS PROVIDED BY ROADWAY DEVELOPER. GRADES ADJACENT TO BUILDING SHALL BE ADJUSTED TO DIRECT FLOW AWAY FROM STRUCTURES.

RECEIVED JUN 16 2004