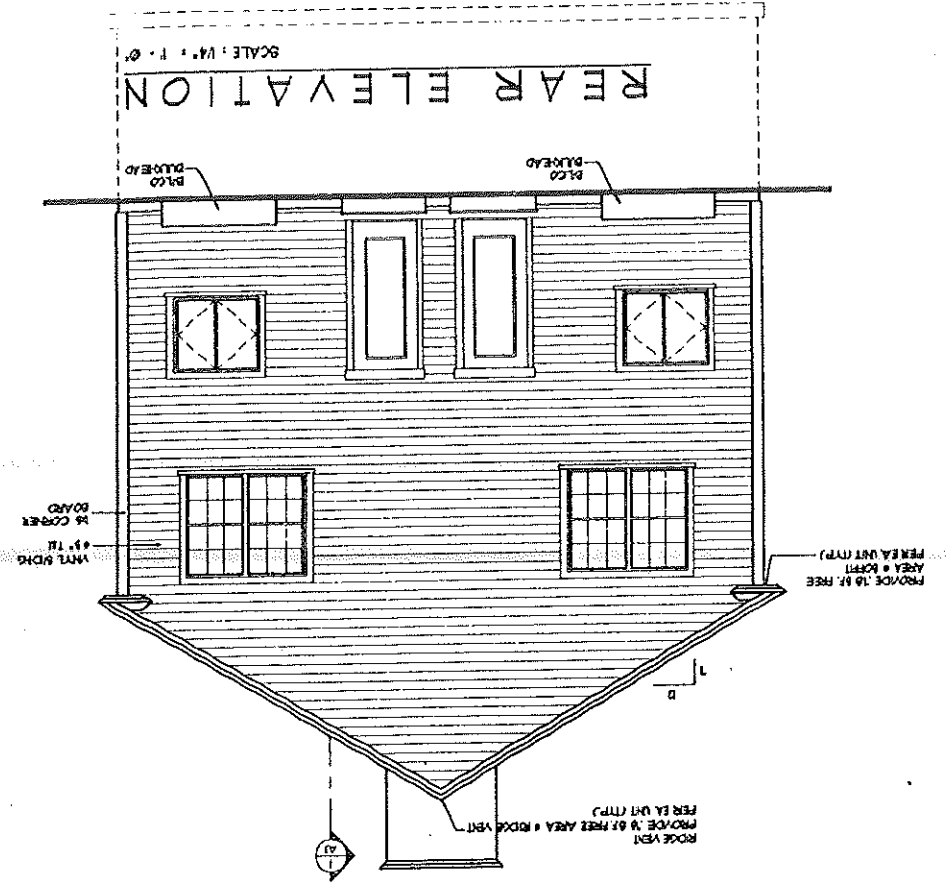
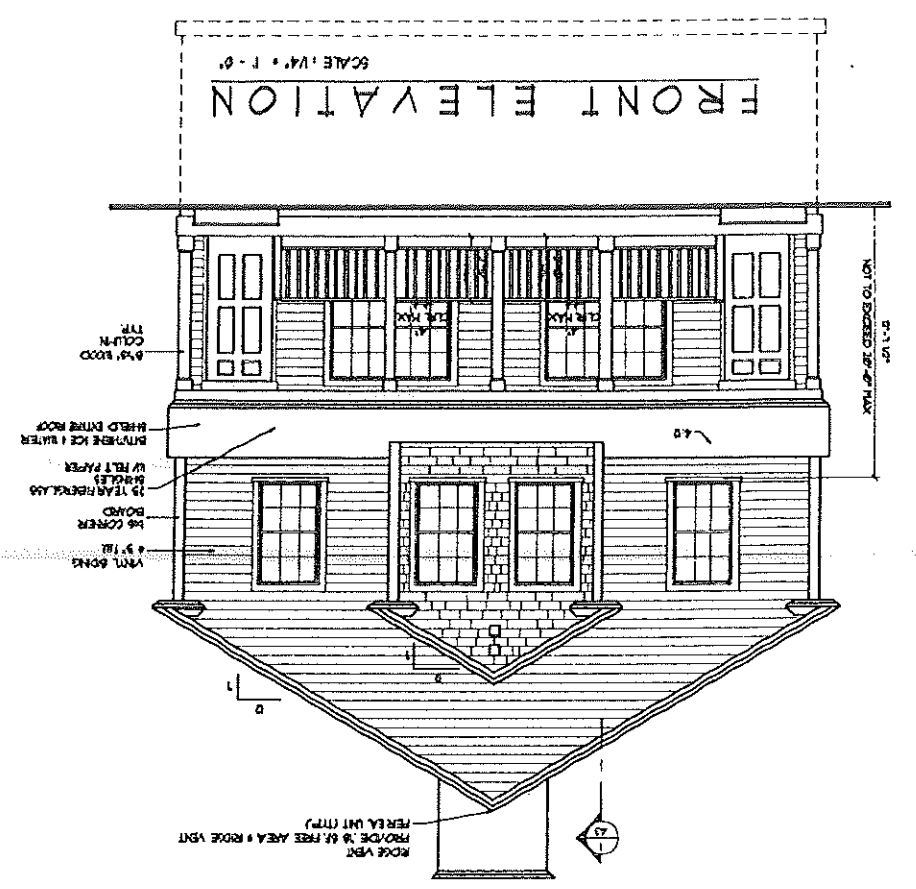


NOTE: PROVIDE THIS DRAWING AS FOLLOWS:
 24" X 36" PLUS 1/2" UP TO 1-1/2" ROUNDED CORNERS
 (1) 24" X 36" PLUS (1) 24" X 36" UP TO 1-1/2" ROUNDED CORNERS

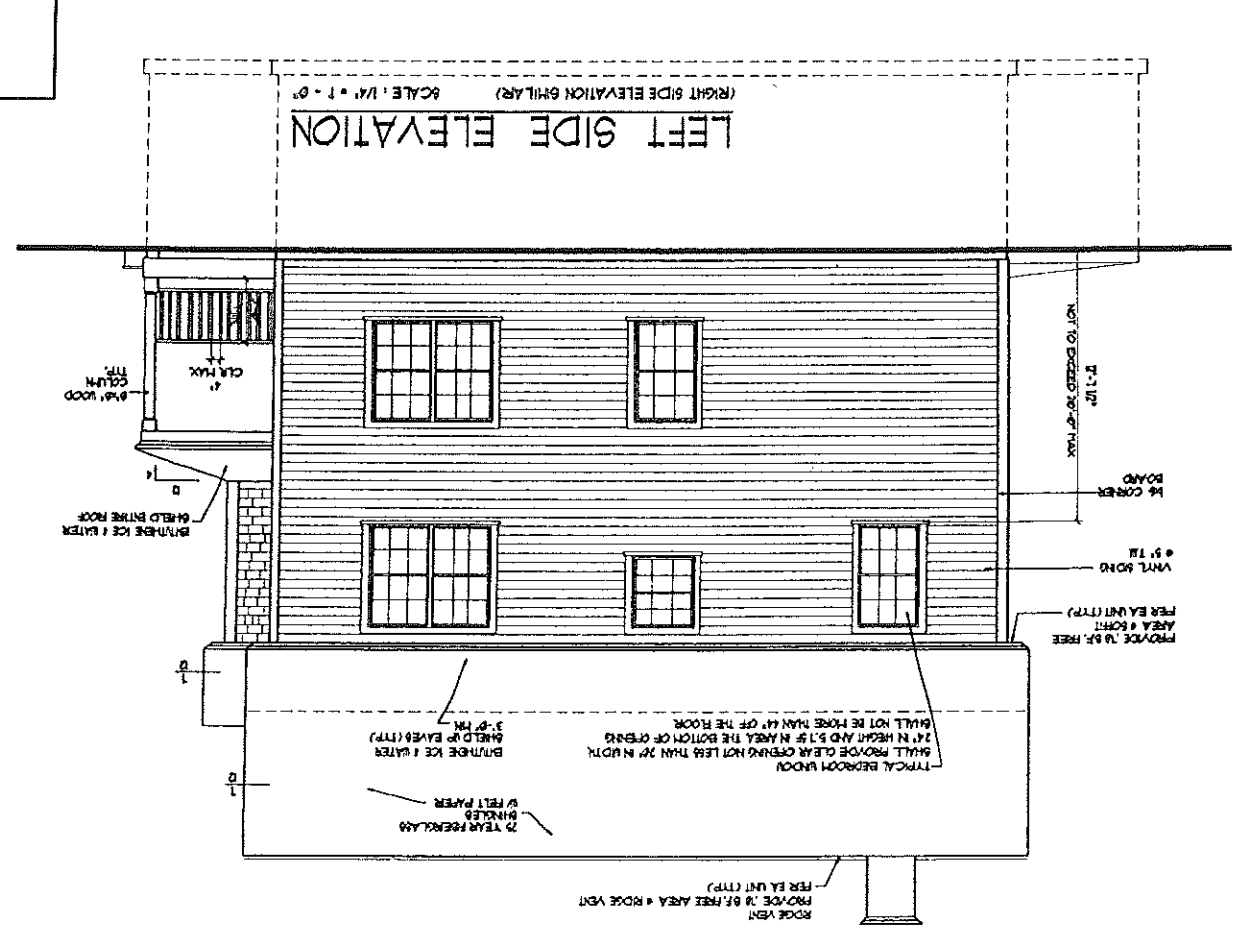
HEADER SCHEDULE	
ROOM OR AREA	HEADER SIZE
D-1-1-0	(1) 1-1/2"
D-1-1-0	(1) 1-1/2"
D-1-1-0	(1) 1-1/2"
D-1-1-0	(1) 1-1/2"
D-1-1-0	(1) 1-1/2"



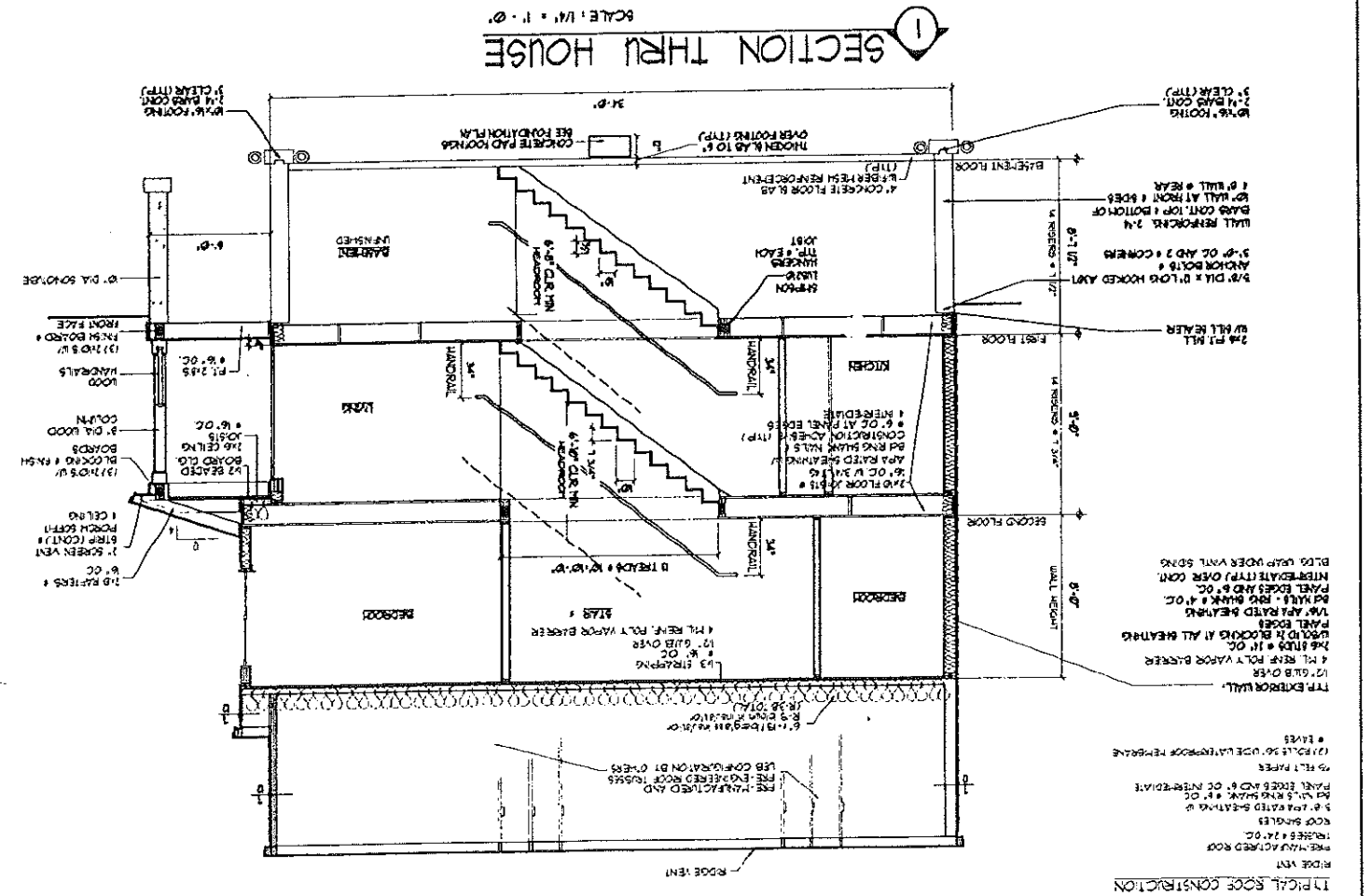
REAR ELEVATION
 SCALE: 1/4" = 1'-0"



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
 (RIGHT SIDE ELEVATION GILHILARY)
 SCALE: 1/4" = 1'-0"

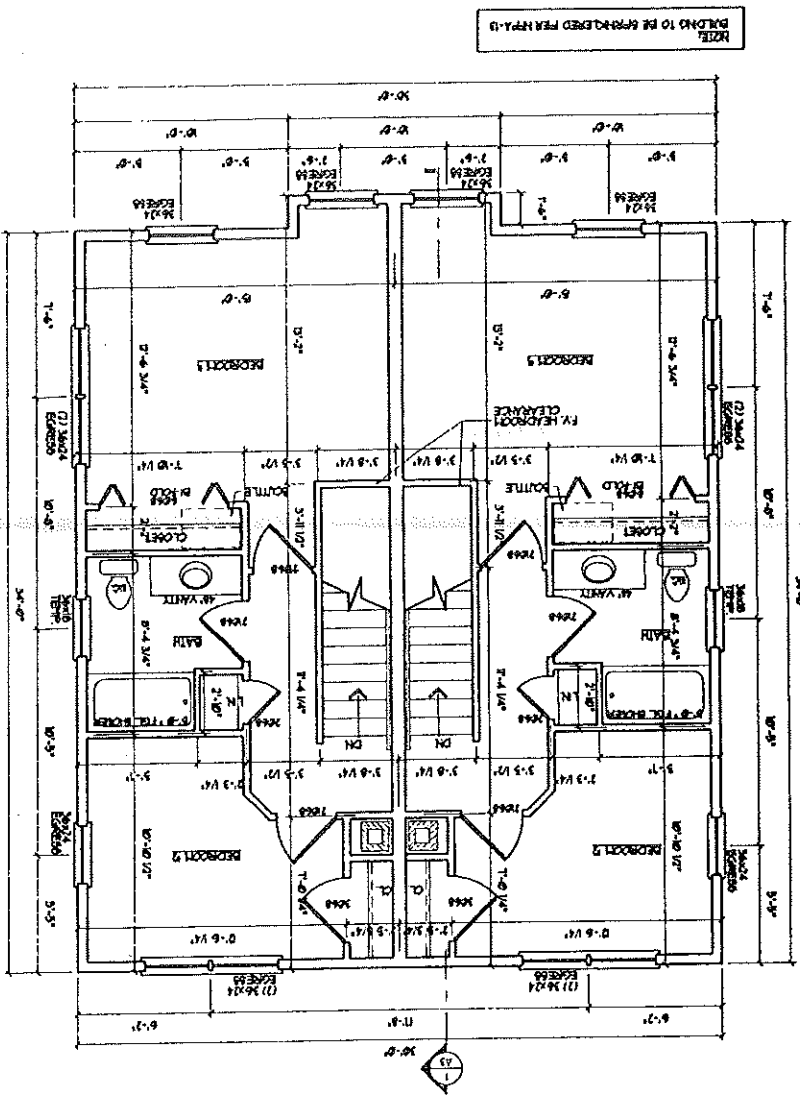


SECTION THRU HOUSE
 SCALE: 1/4" = 1'-0"

DRAWINGS THIS SHEET

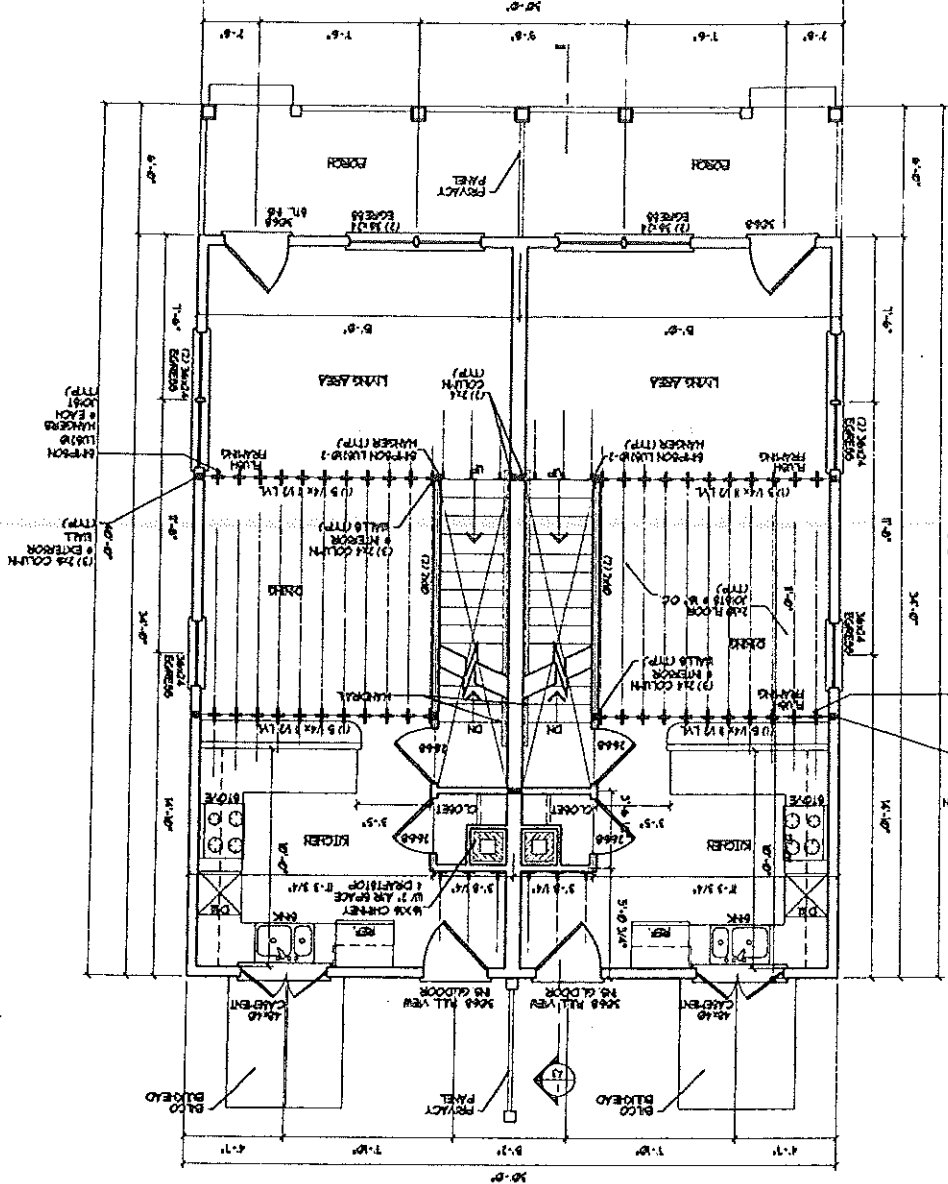
30 X 40 UNIT
 (FULL BASEMENT)
 LOT 5
 SCHEME 'A'

SECOND FLOOR PLAN



NOTE: BUILDING TO BE FINISHED PER H.P.U. 11

FIRST FLOOR PLAN



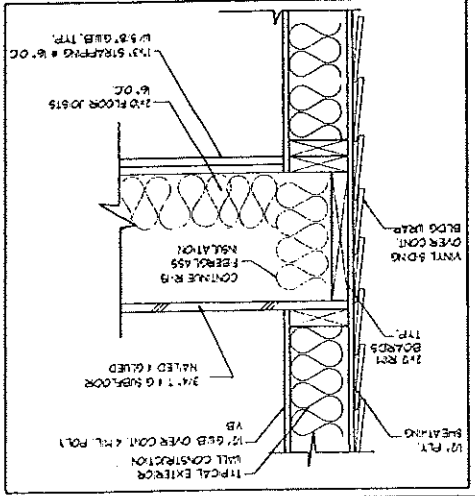
SCALE: 1/4" = 1'-0"

(1) 2x4 COLUMN
WALL
EXTERIOR (TYP)

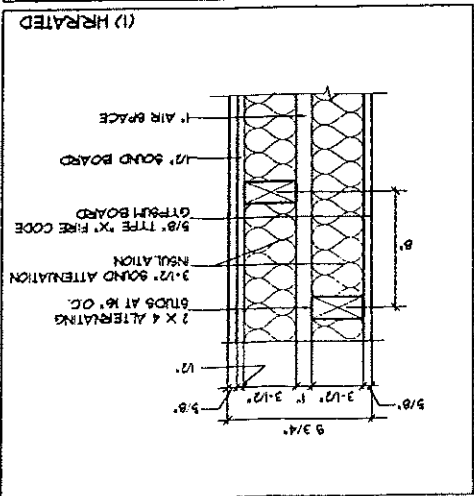
(2) 2x4 COLUMN
WALL
EXTERIOR (TYP)

(3) 2x4 COLUMN
WALL
EXTERIOR (TYP)

1 FLOOR FRAMING DETAIL

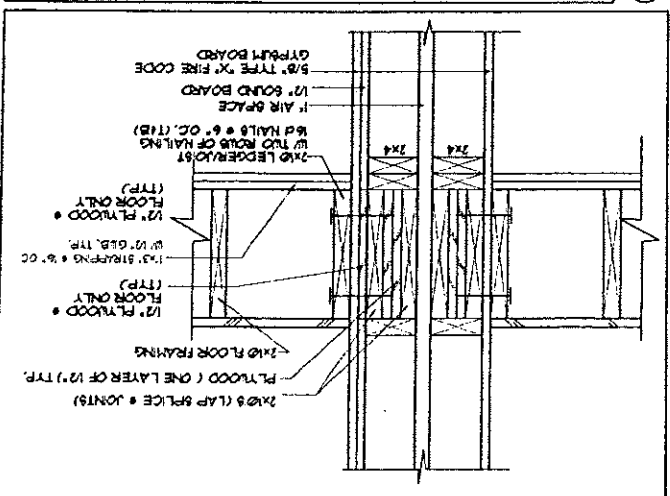


2 PARTY WALL DETAIL

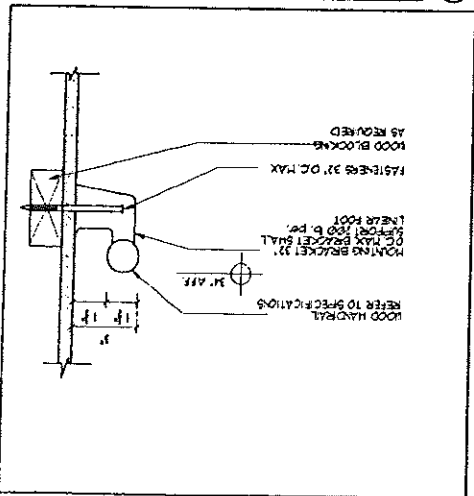


GENERAL NOTE FOR PARTY / SHEAR WALL:
 1. PROVIDE 2x4 BLOCKING & INTERMEDIATE PROVIDE SCREWS @ 6" O.C. & PANEL EDGES & INTERMEDIATE.
 2. RUN 2x4 WALL TO UNDERLAP OF ROOF DECK (IN ATTIC SPACE).
 3. PROVIDE 1/2" LAYER OF 15# REINFORCED CONCRETE ON THE PARTY WALL BELOW. PROVIDE 1/2" LAYER OF 15# REINFORCED CONCRETE ON THE SIDE ONLY.
 4. PROVIDE 2x4 BLOCKING & ALL PANEL EDGES & INTERMEDIATE.
 5. PROVIDE 5/8" TYPE X FIRE CODE GYPSUM BOARD FOR FIRE WALL RATING BELOW.
 6. OBTAIN WRITTEN APPROVAL FROM AUTHORITY HAVING JURISDICTION.

3 SECTION - PARTY WALL DETAIL



4 HANDRAIL DETAIL



A2

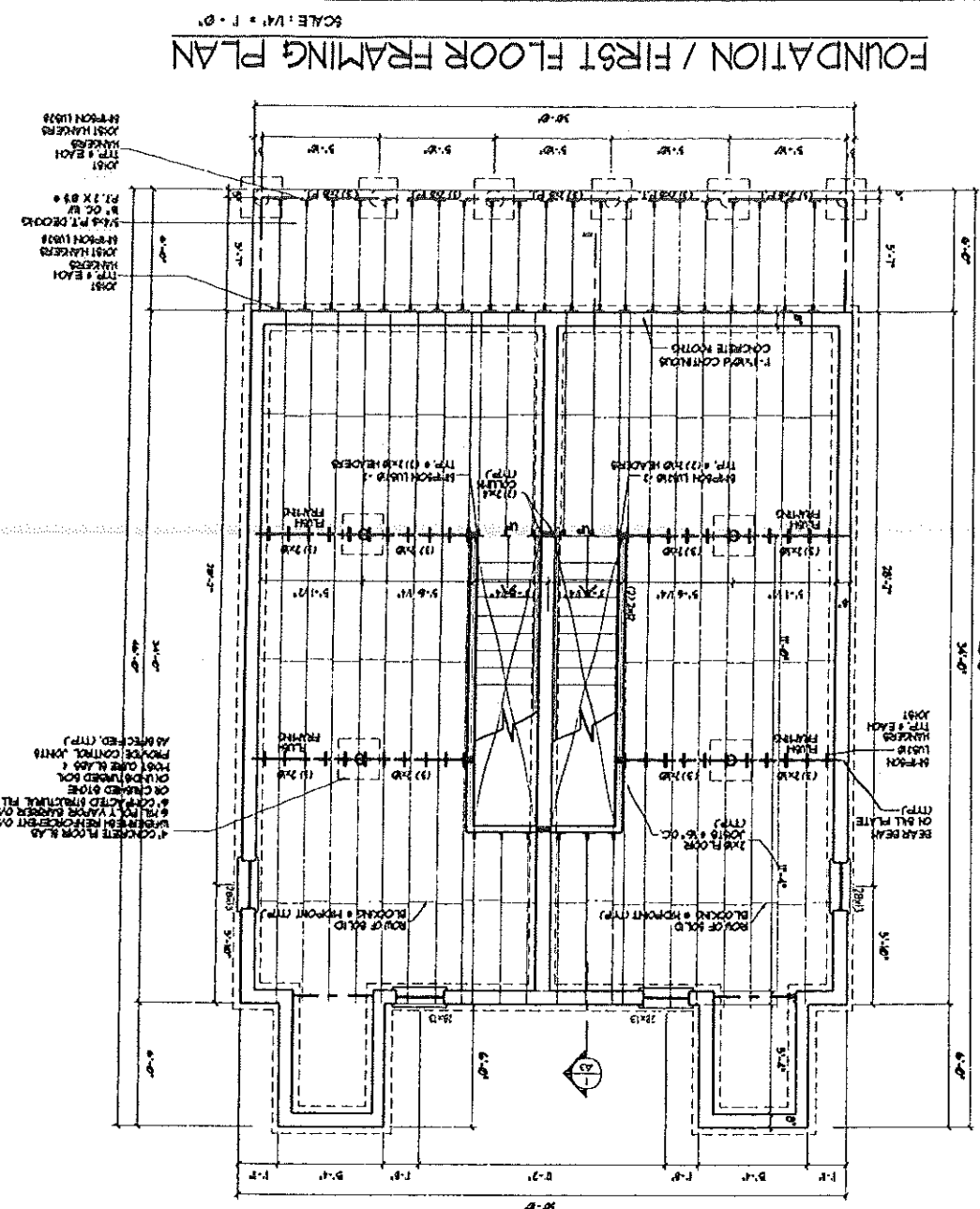
FLOORPLANS
 DETAILS

30 X 40 UNIT
 (FULL BASEMENT)
 SCHEME 'A'

DRAWINGS THIS SHEET

DATE

SCALE



SCALE: 1/4" = 1'-0"

NOTE: BUILDING TO BE PROVIDED PER HPA-10

1. ALL EXTERIOR WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>

2. FOUNDATION WALLS SHALL BE DISCRETELY SPALL/TREATED ON BOTH SIDES.

3. ALL EXTERIOR FINISHES TO BE A MINIMUM 1/2\"/>

4. ALL INTERIOR WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>

5. ALL INTERIOR FINISHES TO BE 5/8\"/>

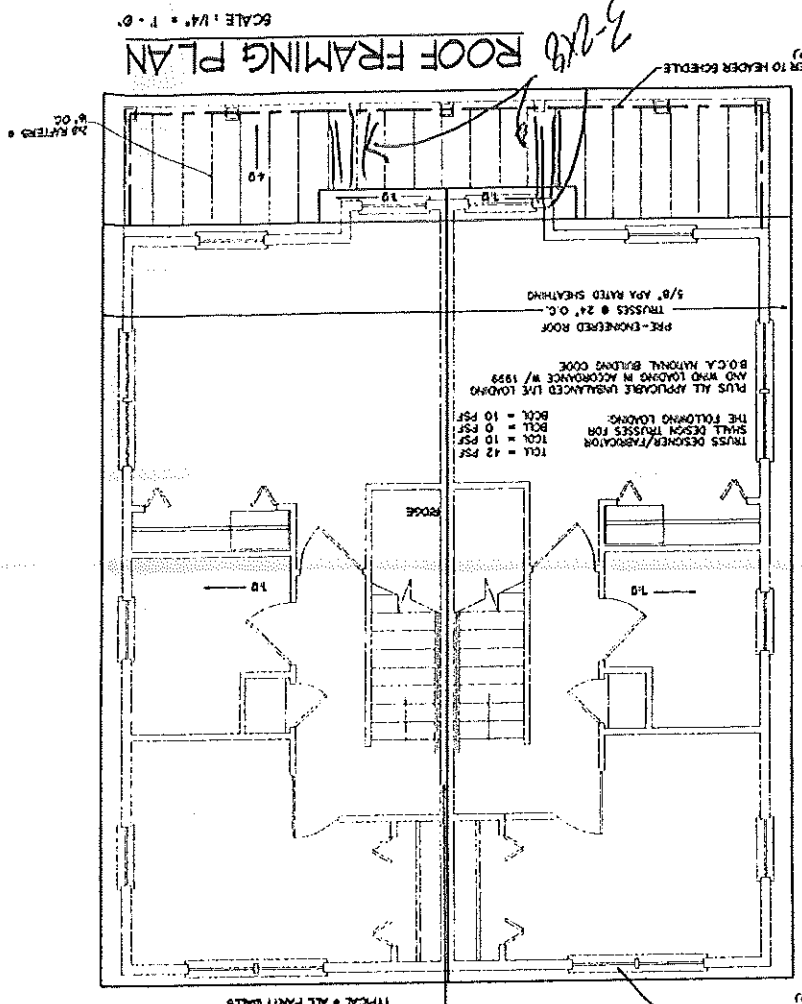
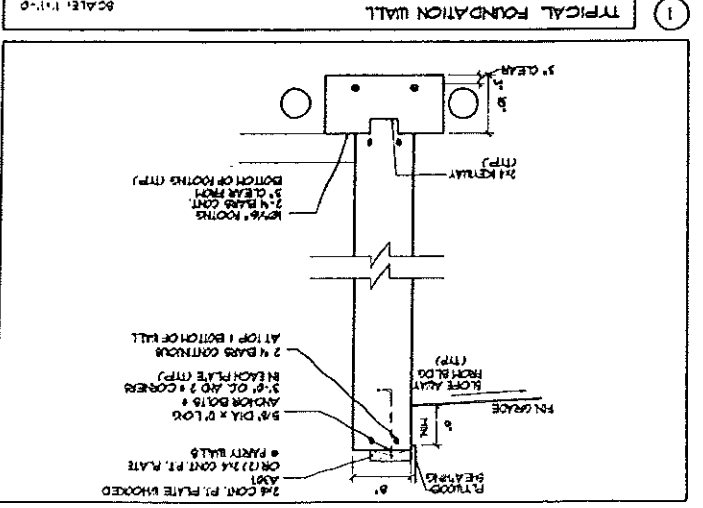
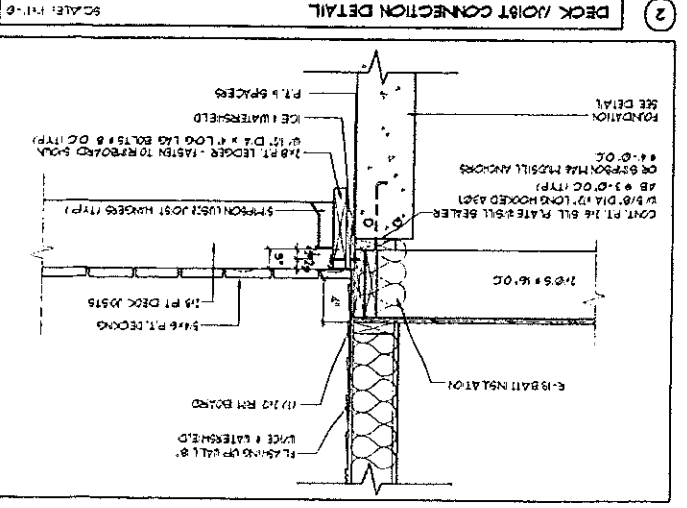
6. ALL EXTERIOR DOORS TO BE 1 1/2\"/>

7. ALL EXTERIOR WINDOWS TO BE 1 1/2\"/>

8. ALL EXTERIOR WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>

9. ALL EXTERIOR WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>

10. ALL EXTERIOR WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>



SCALE: 1/4" = 1'-0"

NOTE: BUILDING TO BE PROVIDED PER HPA-10

1. ALL EXTERIOR WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>

2. FOUNDATION WALLS SHALL BE DISCRETELY SPALL/TREATED ON BOTH SIDES.

3. ALL EXTERIOR FINISHES TO BE A MINIMUM 1/2\"/>

4. ALL INTERIOR WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>

5. ALL INTERIOR FINISHES TO BE 5/8\"/>

6. ALL EXTERIOR DOORS TO BE 1 1/2\"/>

7. ALL EXTERIOR WINDOWS TO BE 1 1/2\"/>

8. ALL EXTERIOR WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>

9. ALL EXTERIOR WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>

10. ALL EXTERIOR WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>

GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH BOCA BASIC BUILDING CODE (NBC), 2010 NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL, STATE AND FEDERAL REQUIREMENTS.

2. ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS SHALL BE COMPLIED WITH INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.

3. ALL REQUIRED CITY AND STATE PERMITS MUST BE OBTAINED BEFORE ANY CONSTRUCTION BEGINS.

4. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN THE SECTION PROCEDURES AND REQUIREMENTS FOR THE ADDITION OF THE AIRING OF THE BUILDING AND ITS COMPONENTS DURING ERUPTION. THIS INCLUDES THE ADDITION OF THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.

5. STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DESIGN AND TREATMENT BY OTHERS WILL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.

6. ALL MATERIALS INDICATED SHALL BE SUBJECT TO UNDERGO THE RELEVANT TESTING AND UNDERGO APPROVAL PRIOR TO CONSTRUCTION IN ACCORDANCE TO STATE LAWS.

7. BUILDING SHALL BE CONSTRUCTION IN ACCORDANCE WITH HPA-10 CONVECTIVE WALL WITH SPARE PARTS FOR STATE FIRE DEPARTMENT.

8. BUILDING SHALL HAVE APPROVED MECHANICAL DETECTORS IN ACCORDANCE WITH HPA-10 LIFE SAFETY CODE TRUCK DETECTORS WILL PROVIDE FIRE ALARM WITH 1/2\"/>

9. PROVIDE THE DETECTORS THAT BE PROVIDED IN ALL HAZARDOUS AREAS IN ACCORDANCE TO HPA-10 LOCAL AIRWAYS HAVING JURISDICTION NEEDS TO PROVIDE WITH REQUIREMENTS.

10. BUILDING SHALL MAINTAIN A 4\"/>

11. HPA-10 DETECTION TO BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS.

FRAMING NOTES:

1. ALL EXTERIOR WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>

2. FOUNDATION WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>

3. ALL EXTERIOR FINISHES TO BE 5/8\"/>

4. ALL INTERIOR WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>

5. ALL INTERIOR FINISHES TO BE 5/8\"/>

6. ALL EXTERIOR DOORS TO BE 1 1/2\"/>

7. ALL EXTERIOR WINDOWS TO BE 1 1/2\"/>

8. ALL EXTERIOR WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>

9. ALL EXTERIOR WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>

10. ALL EXTERIOR WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>

FOUNDATION NOTES:

1. PROVIDE ALL BEAMS ON TOP OF ALL FOUNDATION WALLS ON BOTH SIDES.

2. FOUNDATION WALLS SHALL BE DISCRETELY SPALL/TREATED ON BOTH SIDES.

3. ALL EXTERIOR FINISHES TO BE A MINIMUM 1/2\"/>

4. ALL INTERIOR WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>

5. ALL INTERIOR FINISHES TO BE 5/8\"/>

6. ALL EXTERIOR DOORS TO BE 1 1/2\"/>

7. ALL EXTERIOR WINDOWS TO BE 1 1/2\"/>

8. ALL EXTERIOR WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>

9. ALL EXTERIOR WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>

10. ALL EXTERIOR WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>

FRAMING NOTES:

1. ALL EXTERIOR WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>

2. FOUNDATION WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>

3. ALL EXTERIOR FINISHES TO BE 5/8\"/>

4. ALL INTERIOR WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>

5. ALL INTERIOR FINISHES TO BE 5/8\"/>

6. ALL EXTERIOR DOORS TO BE 1 1/2\"/>

7. ALL EXTERIOR WINDOWS TO BE 1 1/2\"/>

8. ALL EXTERIOR WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>

9. ALL EXTERIOR WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>

10. ALL EXTERIOR WALLS TO BE 2X4 WOOD STUD WALLS WITH 1/2\"/>

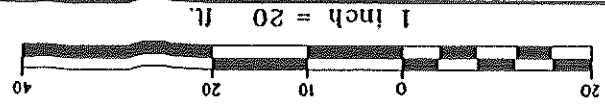
Rev.	Date	Revision

Design:	DER	Date:	4/04
Checked:	DER	Scale:	1"=20'
Draft:	CAJ	Job No.:	632
File Name:	632-1015		

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 FAX: 207-657-6912
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Project: **Lot 5 Lot Layout and Utility Plan**
 Drawing Name: **CARRIAGE LANE**

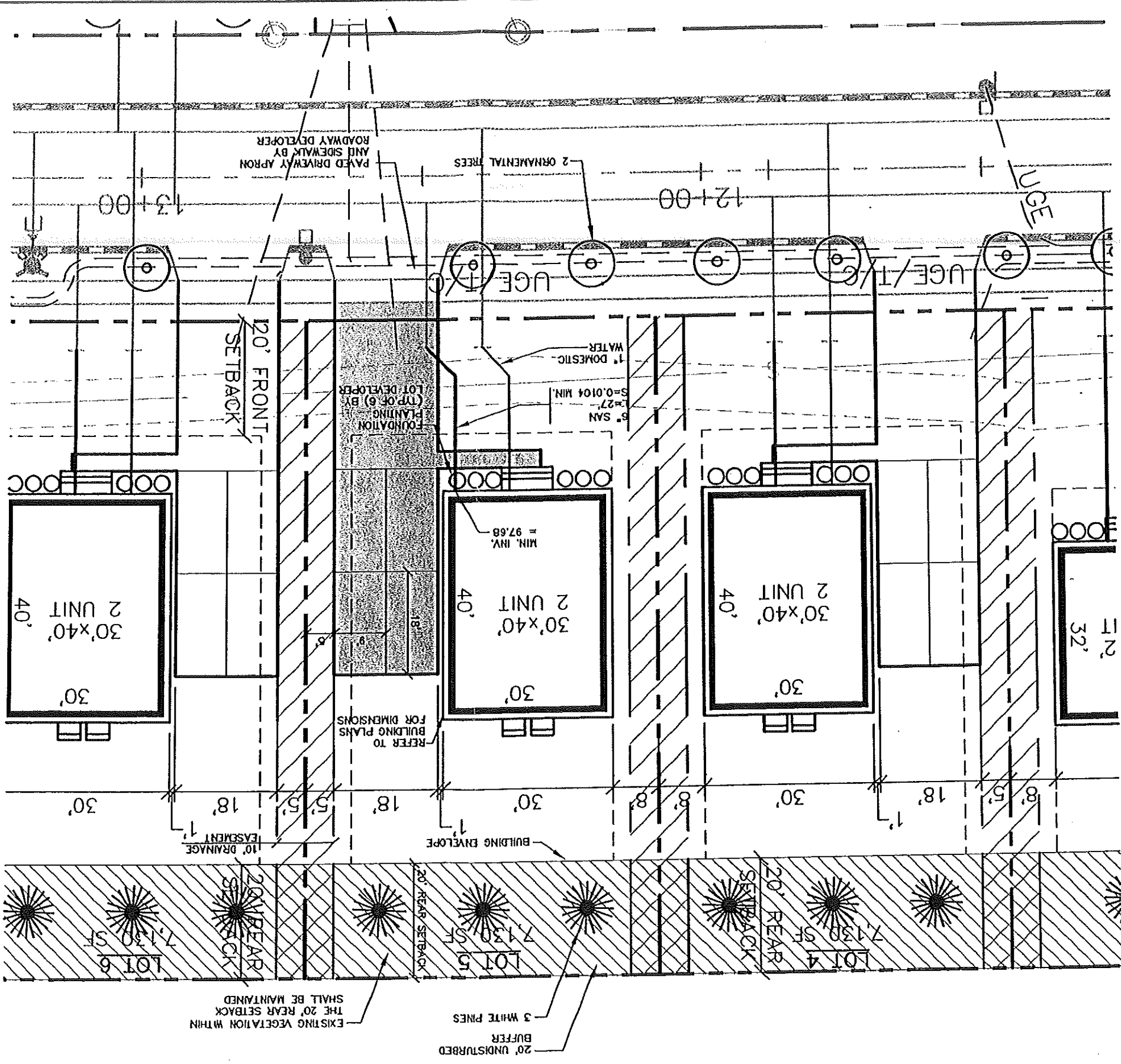
Figure No. **1**



NOTES:

1. LOT LAYOUT AND GRADING CONFIGURATIONS SHOWN ON THIS PLAN REPRESENT THE INTENDED DEVELOPMENT OF THE LOT FOR BUILDING PERMIT PURPOSES AS APPROVED BY THE CITY OF PORTLAND PLANNING BOARD ON FEBRUARY 24, 2004. ANY DEVIATION FROM THESE PLANS, BE IT EITHER BUILDING SIZE, PARKING CONFIGURATION, GRADING CHANGES, ETC. SHALL REQUIRE REVIEW AND APPROVAL FROM THE CITY OF PORTLAND PLANNING BOARD, AS WELL AS REVIEW BY THE SUBDIVISION DEVELOPER.
2. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2002.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH BEST MANAGEMENT PRACTICES EROSION CONTROL MEASURES. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE SUBDIVISION DEVELOPER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
5. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
6. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
8. LOT DEVELOPER SHALL BE RESPONSIBLE FOR DRIVEWAY CONSTRUCTION BEYOND THE DRIVEWAY APRON AND SIDEWALK.

Date of Approval: **6-16-04**
 Subject to Dept. Conditions
APPROVED SITE PLAN



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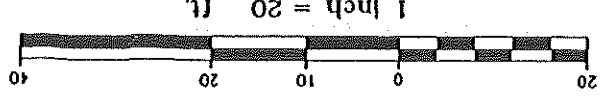
Rev.	Date	Revision
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Design: DER	Date: 4/04
Draft: CMH	Job No: 632
Checked: DER	Scale: 1"=20'
File Name: 632-LOTS	

GP Gorill-Palmer Consulting Engineers, Inc.
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 P.O. Box 1237
 207-657-6910
 FAX: 207-657-6912
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Traffic and Civil Engineering Services

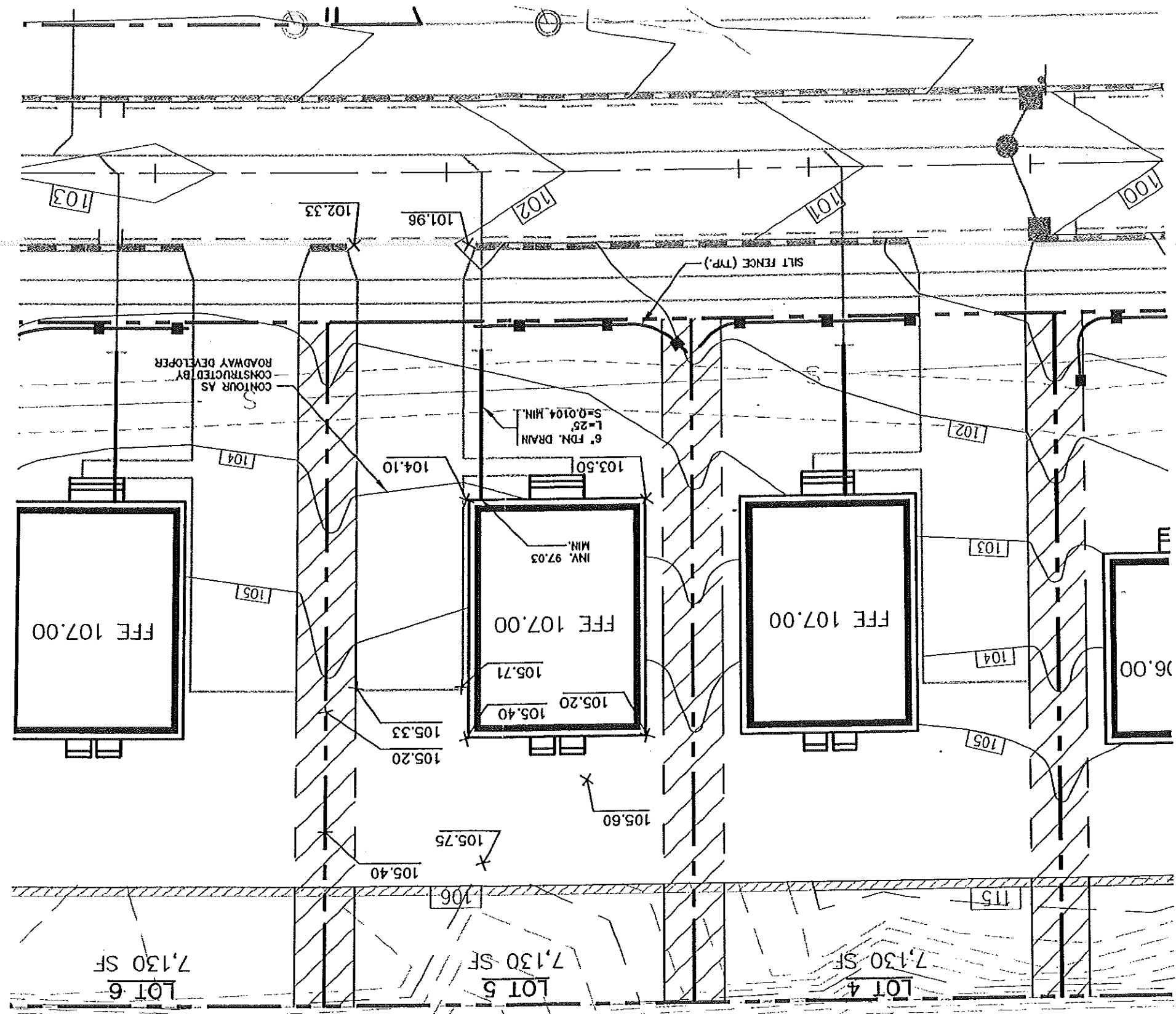
Drawing Name: **Lot 5 Grading Plan**
 Project: **CARRIAGE LANE**

Figure No. **2**



CITY OF PORTLAND
APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 6-16-04

- NOTES:**
1. ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDING SHALL RECEIVE 4" OF LOAM AND SEED.
 2. LOT LAYOUT AND GRADING CONFIGURATIONS SHOWN ON THIS PLAN REPRESENT THE INTENDED FINAL DEVELOPMENT OF THE LOT FOR BUILDING PERMIT PURPOSES. ANY DEVIATION FROM THESE PLANS, BE IT EITHER BUILDING SIZE, PARKING CONFIGURATION, GRADING CHANGES, ETC. SHALL REQUIRE REVIEW AND APPROVAL FROM THE CITY OF PORTLAND PLANNING BOARD, AS WELL AS REVIEW BY THE SUBDIVISION DEVELOPER.
 3. ADDITIONAL EROSION CONTROL MEASURES OVER AND ABOVE THOSE USED BY ROADWAY CONTRACTOR MAY BE REQUIRED TO MEET EROSION CONTROL BEST MANAGEMENT PRACTICES.
 4. LOT DEVELOPER SHALL BE RESPONSIBLE FOR RESTORING FINAL GRADES TO ELEVATIONS PROVIDED BY ROADWAY DEVELOPER. GRADES ADJACENT TO BUILDING SHALL BE ADJUSTED TO DIRECT FLOW AWAY FROM STRUCTURES.



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Lot 5 Lot Layout and Utility Plan

CARRIAGE LANE

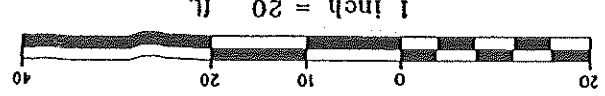
Project:

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E-Mail: mdp@gorvillpalmer.com

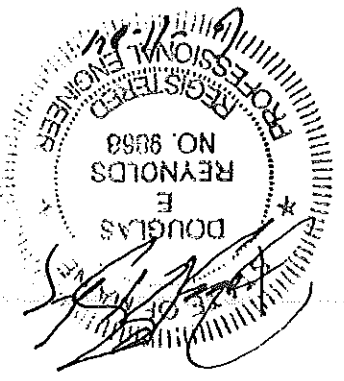
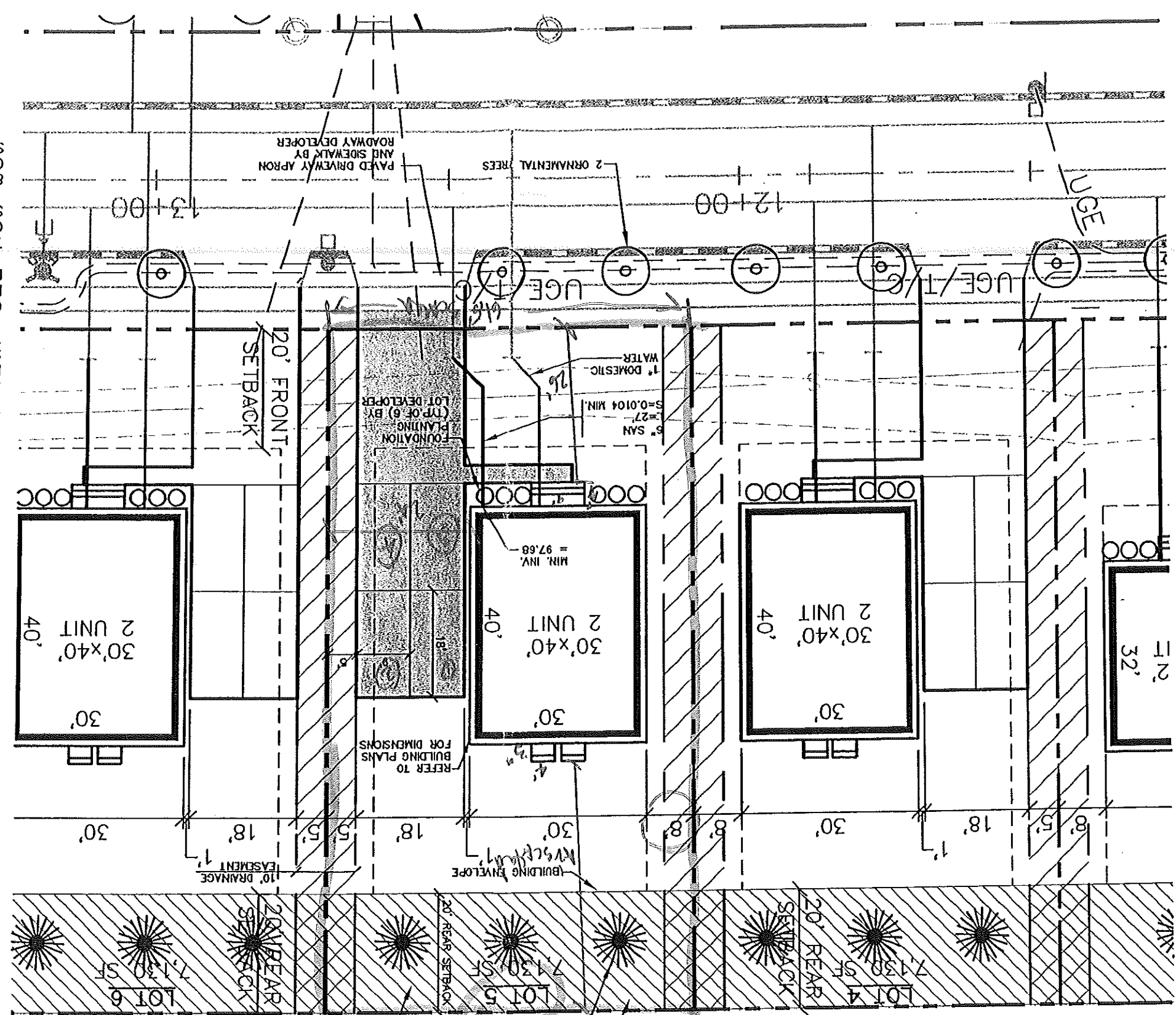
Traffic and Civil Engineering Services

Design: DER	Date: 4/04
Drawn: CAH	Job No: 632
Checked: DER	Scale: 1"=20'
File Name: 632-1015	

Rev.	Date	Revision



- NOTES:**
1. LOT LAYOUT AND GRADING CONFIGURATIONS SHOWN ON THIS PLAN REPRESENT THE INTENDED FINAL DEVELOPMENT OF THE LOT FOR BUILDING PERMIT PURPOSES AS APPROVED BY THE CITY OF PORTLAND PLANNING BOARD ON FEBRUARY 24, 2004. ANY DEVIATION FROM THESE PLANS, BE IT EITHER BUILDING SIZE, PARKING CONFIGURATION, GRADING CHANGES, ETC. SHALL REQUIRE REVIEW AND APPROVAL FROM THE CITY OF PORTLAND PLANNING BOARD, AS WELL AS REVIEW BY THE SUBDIVISION DEVELOPER.
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 3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 4. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH BEST MANAGEMENT PRACTICES EROSION CONTROL MEASURES. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE SUBDIVISION DEVELOPER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
 5. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
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 7. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
 8. LOT DEVELOPER SHALL BE RESPONSIBLE FOR DRIVEWAY CONSTRUCTION BEYOND THE DRIVEWAY APRON AND SIDEWALK.
- Date of Approval: 6-16-04
Subject to Dept. Conditions
APPROVED SITE PLAN



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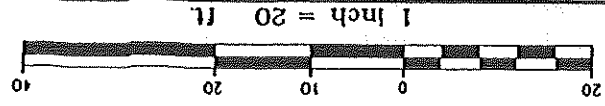
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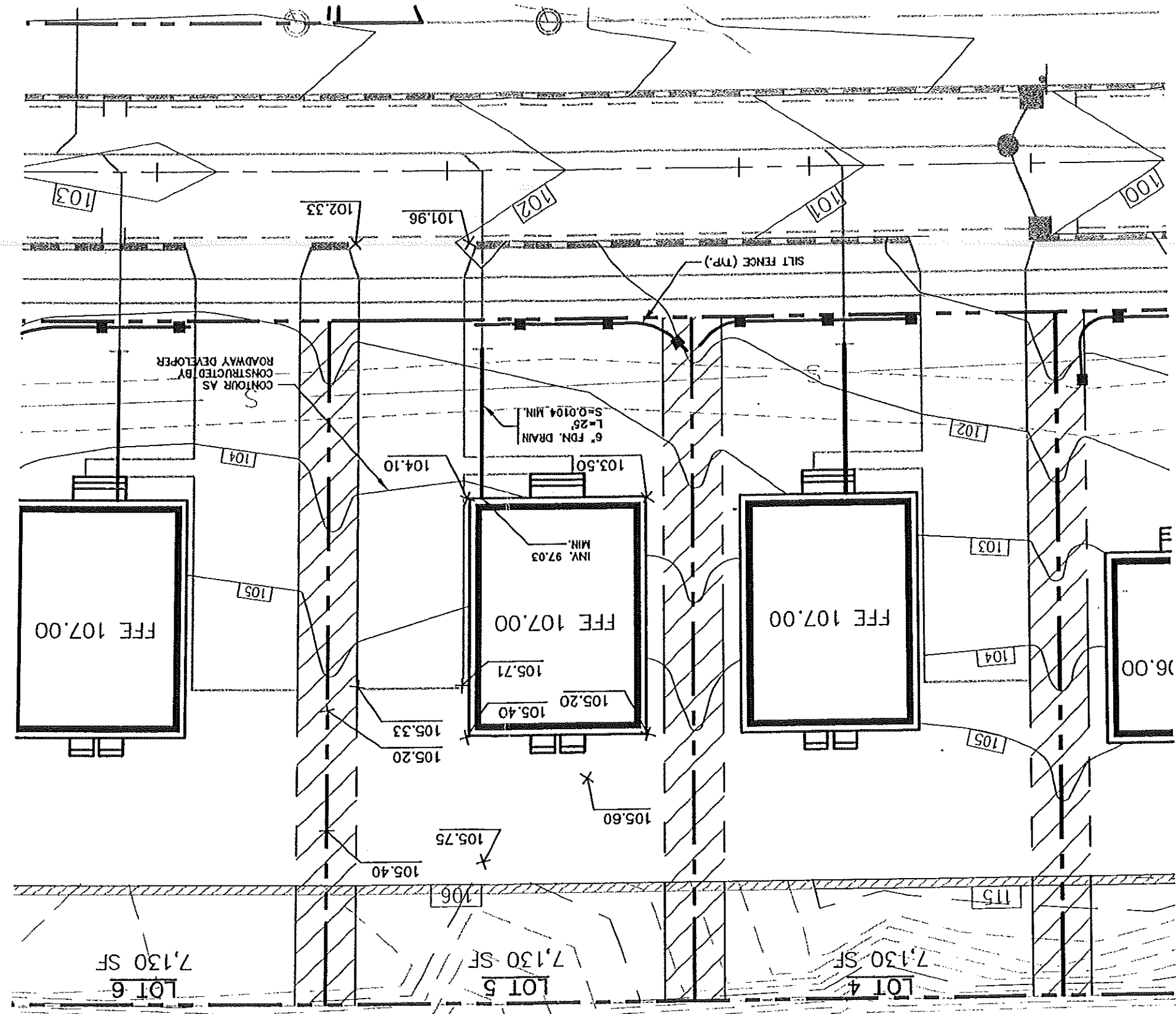
Drawing Name: Lot 5 Grading Plan
 Project: CARRIAGE LANE

Figure No. 2



CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 5-16-04

- NOTES:**
1. ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDING SHALL RECEIVE 4" OF LOAM AND SEED.
 2. LOT LAYOUT AND GRADING CONFIGURATIONS SHOWN ON THIS PLAN REPRESENT THE INTENDED FINAL DEVELOPMENT OF THE LOT FOR BUILDING PERMIT PURPOSES. ANY DEVIATION FROM THESE PLANS, BE IT EITHER BUILDING SIZE, PARKING CONFIGURATION, GRADING CHANGES, ETC. SHALL REQUIRE REVIEW AND APPROVAL FROM THE CITY OF PORTLAND PLANNING BOARD, AS WELL AS REVIEW BY THE SUBDIVISION DEVELOPER.
 3. ADDITIONAL EROSION CONTROL MEASURES OVER AND ABOVE THOSE USED BY ROADWAY CONTRACTOR MAY BE REQUIRED TO MEET EROSION CONTROL BEST MANAGEMENT PRACTICES.
 4. LOT DEVELOPER SHALL BE RESPONSIBLE FOR RESTORING FINAL GRADES TO ELEVATIONS PROVIDED BY ROADWAY DEVELOPER. GRADES ADJACENT TO BUILDING SHALL BE ADJUSTED TO DIRECT FLOW AWAY FROM STRUCTURES.



RECEIVED JUN 16 2004