

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	04-1390	Issue Date:		CBL:	341 B012001
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Location of Construction:	46 Broadway	Owner Name:	Sawelle Julie A	Owner Address:	46 Broadway	Phone:	8789003
Business Name:		Contractor Name:	Matthew McRay	Contractor Address:	1164 Bridgton Rd Westbrook	Phone:	2078566400
Lessee/Buyer's Name:		Phone:		Permit Type:	Alterations - Dwellings	Zone:	R3

Past Use:	single family home	Proposed Use:	single family home w/renovated dormer-1 new bath and 1 renovated bath	Permit Fee:	\$597.00	Cost of Work:	\$64,000.00	CEO District:	5
			<i>Legal Re permit # 94-0803</i>						
Proposed Project Description:	Renovate dormer- 1 new bath and 1 renovated bath <i>New</i>								

Permit Taken By:	dmm	Date Applied For:	09/17/2004	<b>Zoning Approval</b>	
				Signature:	<i>[Signature]</i>
				Action:	<input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
				Signature:	<i>[Signature]</i>
				Date:	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.  2. Building permits do not include plumbing, septic or electrical work.  3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>[Signature]</i> 9/28/04	Date: <i>[Signature]</i>	Date: <i>[Signature]</i>

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

Permit Number 2041390

This is to certify that Sawtelle Julie A Mathew Mc has permission to REPLACE DOWNER - 1 new bath

AT 46 Broadway

341 B012001

SEP 30 2001

provided that the person or persons, of the provisions of the Statutes of the construction, maintenance and of this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification and work in progress must be posted or closed-in. NO NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

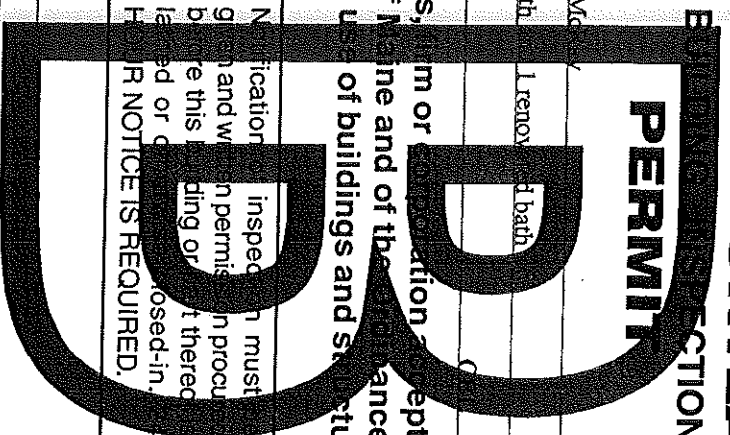
### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_

Department Name

### PENALTY FOR REMOVING THIS CARD

*Janie Burke*  
Director - Building & Inspection Services

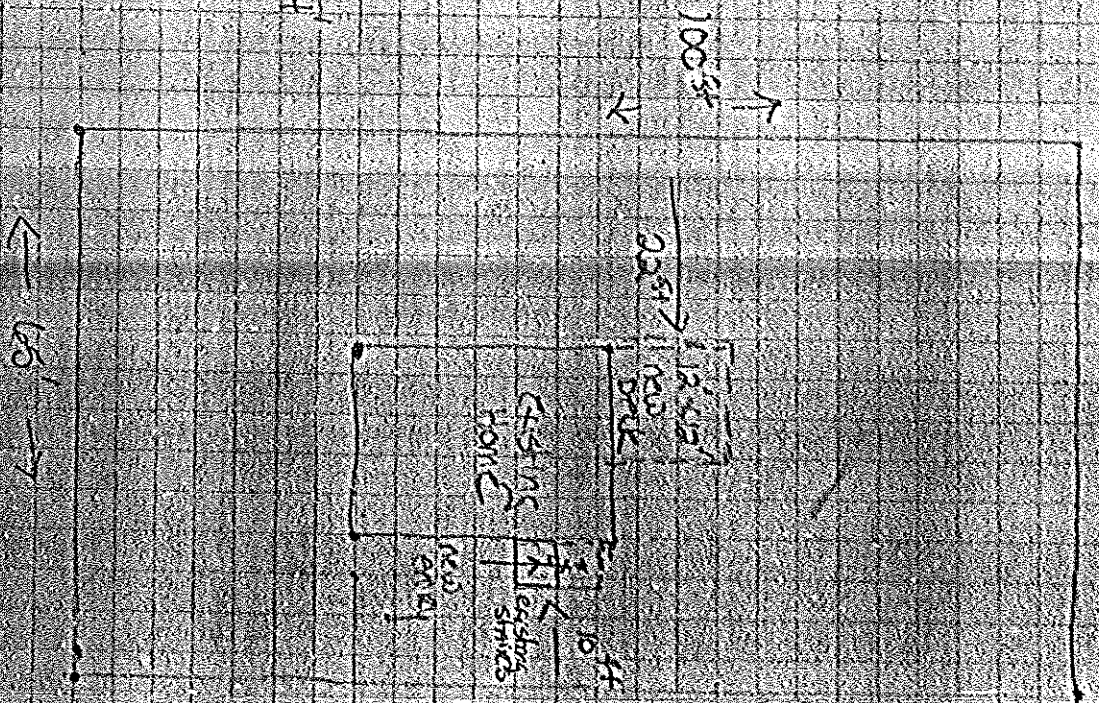


Permit # 94-0203

Tile Sample  
File Broodway  
20210911NE 04103  
878-9003

Lot size 65' x 100'

CONSTRUCTION  
Backyard deck and  
exterior



SCALE  
square = 1'

**City of Portland, Maine - Building or Use Permit**

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<b>Permit No:</b>	<b>Date Applied For:</b>	<b>CBL:</b>
04-1390	09/17/2004	341 B012001

<b>Location of Construction:</b>	<b>Owner Name:</b>	<b>Owner Address:</b>	<b>Phone:</b>
46 Broadway	Sawtelle Julie A	46 Broadway	( ) 878-9003
<b>Business Name:</b>	<b>Contractor Name:</b>	<b>Contractor Address:</b>	<b>Phone</b>
	Mathew McRay	1164 Bridgton Rd Westbrook	(207) 856-6400
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b>	
		Alterations - Dwellings	

<b>Proposed Use:</b>	<b>Proposed Project Description:</b>
single family home w/renovated dormer-1 new bath and 1 renovated bath	renovate dormer- 1 new bath and 1 renovated bath

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 09/28/2004

**Note:**      **Ok to Issue:**

- 1) Sec. 14-436 allows a 50% expansion of the existing 1st floor footprint when the property is non-conforming to land area. This expansion is 16% and future expansions may be limited to 34%.
- 2) This permit approval is for phase 1 work ONLY. An additional application for approval for the phase 2 work must be submitted to this office.
- 3) Per Mike M. The bay window is not being installed. A previous contractor replaced the existing picture window and it does not project from the building.
- 4) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

**Dept:** Building      **Status:** Approved      **Reviewer:** Jeanine Bourke      **Approval Date:** 09/28/2004

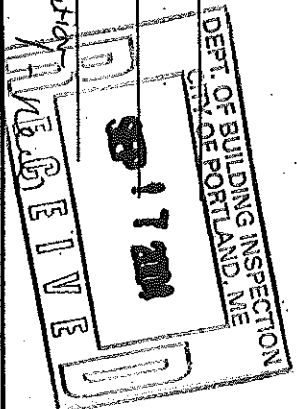
**Note:** 9/27/04 left vm w/owner & contractor to call about plot plan, scope of work and other details.      **Ok to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) Separate permits are required for any electrical, plumbing, or heating.

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>46 Broadway</u> <u>Portland ME</u>		Total Square Footage of Proposed Structure <u>N/A</u>		Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>341</u> Block# <u>B</u> Lot# <u>12</u>		Owner: <u>Sylvie Sawtelle</u>		Telephone: <u>878-9003</u>	
Lessee/Buyer's Name (if Applicable)		Applicant name, address & telephone: <u>McRay Construction</u> <u>1164 Bridgton Rd Westbrook ME</u> <u>04092</u>		Cost Of Work: \$ <u>64,000</u> Fee: \$	
Current use: <u>Single Family</u>					
If the location is currently vacant, what was prior use: _____					
Approximately how long has it been vacant: _____					
Proposed use: _____					
Project description: <u>Renovation (basement) 1 Bath</u>					
Contractor's name, address & telephone: <u>McRay Matthew McRay 1164 Bridgton Rd Westbrook ME 04092</u>					
Who should we contact when the permit is ready: <u>Matthew McRay</u>					
Mailing address: <u>same</u>					
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>207 856-6400</u>					



**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Officials authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: [Signature] Date: 9/17/04

This is NOT a permit, you may not commence ANY work until the permit is issued.  
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

Card Number	1 of 1
Parcel ID	341 B012001
Location	4B BROADWAY
Land Use	SINGLE FAMILY
Owner Address	SAUTELLE JULIE A 4B BROADWAY PORTLAND ME 04103

*R23*  
*PA 94-0203*

Book/Page  
Legal

11048/6A  
311-B-12  
BROADWAY 4B  
FOURTH ST  
5175 SF

*95765*

**Valuation Information**

Land	\$31,500	Building	\$57,120	Total	\$88,620
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**Property Information**

Year Built  
1965

Story Height  
1

Sq. Ft.  
1093

Total Acres  
0.142

Bedrooms  
2

Full Baths  
1

Total Rooms  
5

Attic  
Full Finish

Basement  
Full

**Outbuildings**

Type  
SHED-FRAME

Year Built  
1970

Size  
8X8

Grade  
C

Condition  
A

**Sales Information**

Date  
10/25/1993

Type  
LAND + BLDING

Price  
\$85,000

Book/Page  
11048-06A

**Picture and Sketch**

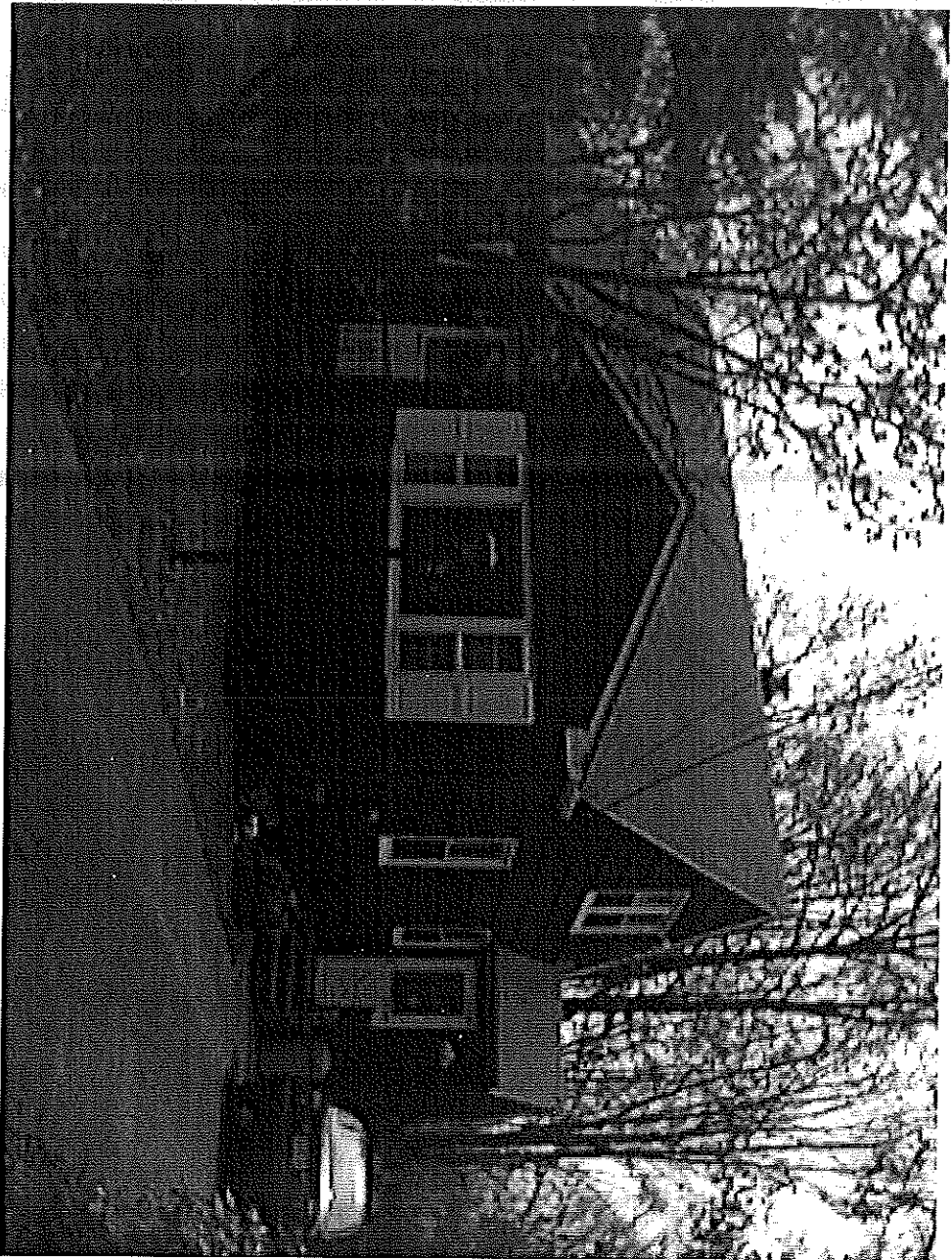
[Picture](#)

[Sketch](#)

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

**New Search!**



**PHASE ONE  
SAWTELLE RESIDENCE SPECIFICATIONS  
46 Broadway, Portland, Maine 04103**

September 15, 2004

1. Concrete

All concrete shall be 3000 psi. Reinforcing shall be #4 rebar where noted at walls, sonotubes, and footings

2. Masonry

Extend existing chimney at furnace through new second floor and roof.  
Exterior brick masonry color shall be selected by the Owner. Provide decorative chimney cap & wash.

3. Metals

Exterior siding nails shall be stainless steel.

Exterior trim nails shall be galvanized or stainless steel; finish type, except where required to be common.

Continuous soffit vent strip shall be 2" wide stamped aluminum; color as selected by the Owner.

All eaves shall receive standard profile continuous aluminum drip edge.

4. Wood & Plastic

Framing lumber shall be light-structural grade; kiln-dried; spruce-pine-fir, in nominal sizes indicated on the drawings. Provide laminate structural lumber in sizes and locations shown on the drawings.

Exterior trim shall be primelock painted pine in sizes and profiles indicated on the drawings.

Exterior siding shall match existing.

Interior trim shall have painted finish. Match existing sizes and profiles indicated on the drawings.



base, door, and window casing.

5. Thermal & Moisture Protection

All exterior walls shall have R-19 fiberglass batt insulation.  
Install brackets and runners at perimeter floor framing.



All interior walls at second floor shall have 3-1/2" thick acoustical batt insulation.

Roof cap shall be R-38 fiberglass batt insulation. Multiple layer batts shall be installed perpendicular to alternate layer below to avoid stacking of joints. Provide R-30 fiberglass batt insulation and propavent baffle strips at all sloped roofing area to receive insulation. Run baffle strips at each joist space from soffit vent to 12" (min) above top of insulation or ridge vent. Blown Fiberglass may be substituted for bats at flat attic ceilings only.

Interior vapor barrier shall be 6 mil poly.

Exterior air barrier shall be Typar or Tyvek.

All roof areas shall be fully covered with ice & water protection layer prior to installation of finish roofing material.

Provide continuous nailable type vent at all ridges similar to core-a-vent.

Exterior roof shingles shall be 20 year 3-Tab composition shingle roofing. Color shall be selected by Owner.

#### 6. Doors & Windows

Exterior doors shall be 1-3/4" thick prehung smooth finish painted insulated fiberglass in profiles indicated on the drawings. All glass shall be insulated tempered glass. Half-lite doors shall have double panel design at lower portion of leaf.

Door hardware shall be selected by the Owner

Interior doors and frames shall have painted finish. Doors shall be solid core composite with six recessed panels, except where noted on the drawings to be French (glazed). All hardware shall be selected by the Owner.

Exterior windows shall be vinyl insulated (match existing) in profiles and sizes indicated on the drawings. Sizes indicated are similar to Andersen 400 series TW Double Hung. Provide color-match frames at all screens for operable units. The Owner shall select interior hardware style. Windows and hardware shall be white to match existing windows.

#### 7. Finishes

Patch water damage at first floor ceiling in the living room. Provide a separate estimate for this work for Owner's insurance claim.

Remove existing wallpaper in the Living Room and the Stair leading to the SECOND floor.

All interior sheetrock shall be finished smooth for paint. No textured surface finishes. Provide ½" thick sheetrock at all walls and ceilings.  
Flooring shall be as follows:

First Floor

Mudroom:	Existing
Living:	Existing Red Oak Hardwood – refinish
Sitting:	Existing
Music:	Existing
Kitchen:	Existing
Hall:	Existing Red Oak Hardwood – refinish
Bath:	New Ceramic Tile (remove existing tile)
Stair:	New Red Oak Hardwood Treads with Painted Risers (field finished)

Second Floor

Stair:	New Red Oak Hardwood Treads with Painted Risers (field finished)
Bath:	New Ceramic Tile
Bedroom 1:	New and Refinished Red Oak Hardwood.
Bedroom 2:	New and Refinished Red Oak Hardwood
Hall:	New Red Oak Hardwood – field finished

Exterior paint shall be oil-based semi-gloss finish at all trim and doors. Finish shall be primer plus 2 coats. All trim shall be back-primed. Color shall be selected by the Owner.

Interior sheetrock shall receive 1 coat primer plus 2 coats satin finish acrylic latex paint. Color shall be selected by the Owner

Interior painted woods shall receive 1 coat primer plus 2 coats semi-gloss acrylic latex-based paint. Color shall be selected by the Owner.

8. Casework

Closet shelving system shall be vinyl-coated wire grid type system. Owner shall select rod/shelf configurations in each closet.

New Bathroom vanities shall have painted finish raised profile doors and drawers in sizes indicated on the drawings. Countertops shall be granite. Colors and hardware shall be selected by the Owner.

Provide cabinetry allowance as a separate line item.

9.

Appliances

Relocate existing washer & dryer to first floor Bath 1. Provide new washer overflow tray and integral floor drain.

10. Mechanical

Existing Furnace to remain. Replace existing thermostats with 7 day programmable thermostats.

11. Plumbing

All plumbing fixtures and faucets shall be new as selected by the Owner.

Install Fan/Lights at all Baths. Duct exhausts to the exterior. Provide separate switches for fans and lights. Install heat lamp fixture adjacent to Tub/Shower and Shower Units in both Baths. Provide separate switch for heat lamps.

Provide washer & dryer hook up at location indicated in the drawings.

Provide interior finish plumbing fixture & faucet allowance as a separate line item.

12. Electrical

Utilize existing 200-amp main distribution panel with circuit breakers. Provide duplex outlets per Owner layout specific to power requirements for appliances, computer, and media equipment. Provide general duplex outlets per code at all other areas, but no less than one outlet per 10' wall.

Provide duplex outlets under each gable end pair of windows in Bedrooms 1 & 2 for air conditioning units.

Re-energize the existing exterior outlets at the driveway side of the house and the driveway remote light pole.

Provide GFI outlets at Baths above countertops.

Provide a ceiling light/fan in each new second floor bedroom. Locations of switches shall be determined by the Owner.

Provide a light fixture allowance as a separate line item.

Extend existing telephone wiring system. Provide one dual-port telephone jack at each room at location determined by the Owner.

- Bedroom 1
- Bedroom 2

Provide CATV wiring wall jacks each room listed below. The Owner shall determine locations.

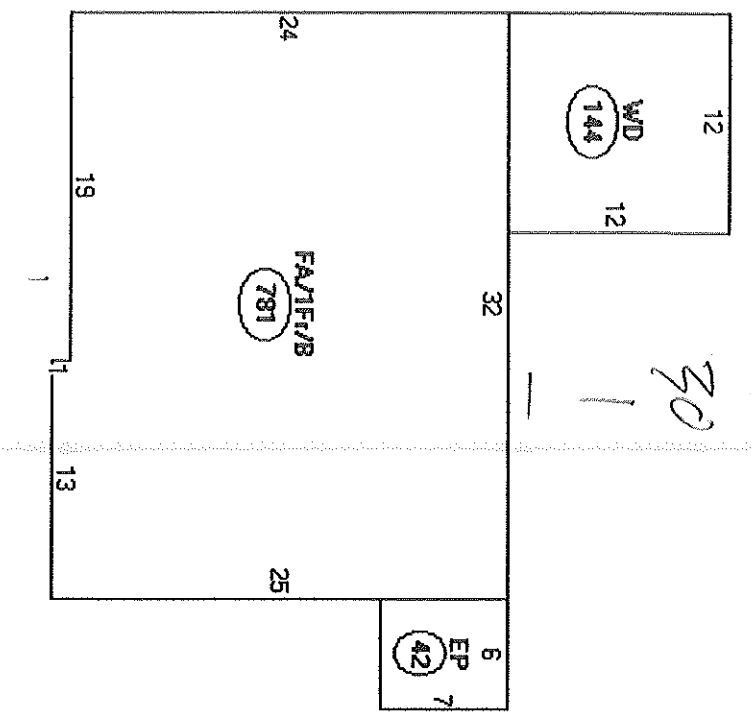
CATV:

- Living
- Bedroom 1
- Bedroom 2

**Note:** This specification is not intended to address all conditions. The contractor shall be responsible for all coordination of the work with the Owner and each building trade. Sitework, landscaping, accessories and appurtenances shall be reviewed and coordinated with the Owner prior to commencing the work.

**End of Specification**

-22-



Solve Spurtelle  
 4/6 from Norway  
 B.H. and me

Descriptor/Area	
A: FA/FI/B	781 sqft
B: W/D	144 sqft
C: EP	42 sqft

967  
 X 50%  
 483.5 sqft

Minimum lot size = 6500  
 $95' \times 65' = 6,175 \text{ SF}$   
 50% expansion  
 $4,175' \times 92' = 152 \text{ SF}$   
 16%

