

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

| | | |
|---|----------------------------|----------------------|
| Permit No: 06-0080 | Issue Date: JAN 18 2006 | CBL: \$41 B012001 |
| Owner Address: 46 Broadway | | |
| Contractor Address: CITY OF PORTLAND | | |
| Portland 2073108159 | | |
| Permit Type: Additions - Dwellings | | Zone: 2-3 |

| | | |
|--|-------------------------|----------------------------|
| Permit Fees: \$282.00 | Cost of Work: \$2500 | CEO District: 5 |
| FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied | | |
| INSPECTION: Use Group: 2-3 Type: SB | | |
| Signature: <i>N/A</i> | | Signature: <i>IRC 2003</i> |
| PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) | | |
| Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied | | |
| Signature: _____ | | Date: _____ |

| | |
|--|-----------------------------------|
| Location of Construction: 46 Broadway | Owner Name: Sawtelle Julie A |
| Business Name: | Contractor Name: Dan McClellan |
| Lessee/Buyer's Name: | Phone: |

Proposed Use:
single family - add sunroom on existing deck and build additional deck

Proposed Project Description:
add sunroom on existing deck and build additional deck

Permit Taken By: _____
Date Applied For: 01/18/2006

| Zoning Approval | |
|---|--|
| Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 1/18/06 | Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: 1/18/06 |
| Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 1/18/06 | |

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

| | | | |
|---|---------|------|-------|
| SIGNATURE OF APPLICANT | ADDRESS | DATE | PHONE |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE | | DATE | PHONE |

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Footing/Building Location Inspection:

Prior to pouring concrete

Sube dyoth

Re-Bar Schedule Inspection:

Prior to pouring concrete

Foundation Inspection:

Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical:

Prior to any insulating or drywalling

Final/Certificate of Occupancy:

Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

 If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature]
Signature of Applicant/Designee

Date 1/19/06

[Signature]
Signature of Inspections Official

Date

CBL: 34X-13-17

Building Permit #: 06-0080

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number
 Parcel ID
 Location
 Land Use
 Owner Address

1 of 1
 341 B012001
 46 BROADWAY
 SINGLE FAMILY

SAUTELLE JULIE A
 46 BROADWAY
 PORTLAND ME 04103

Book/Page
 Legal

11048/68
 341-B-12
 BROADWAY 46
 FOURTH ST
 6175 SF

Current Assessed Valuation For Fiscal Year 2006

Land \$45,900 Building \$92,170 Total \$138,070

Estimated Assessed Valuation For Fiscal Year 2007*

Land \$50,300 Building \$120,700 Total \$181,000

* Value subject to change based upon review of property status as of 4/1/06. The tax rate will be determined by City Council in May 2006.

Property Information

| | | | | |
|--------------------|-----------------|---------------------|------------------|----------------------|
| Year Built 1985 | Style Cape | Story Height 1.5 | Sq. Ft. 1367 | Total Acres 0.142 |
| Bedrooms 3 | Full Baths 2 | Half Baths | Total Rooms 6 | Attic None |
| | | | | Basement Full |

Outbuildings

| | | | | | |
|--------------------|---------------|--------------------|-------------|------------|----------------|
| Type SHED-FRAME | Quantity 1 | Year Built 1970 | Size 6X8 | Grade C | Condition A |
|--------------------|---------------|--------------------|-------------|------------|----------------|

Sales Information

| | | | |
|--------------------|---------------------|-------------------|------------------------|
| Date 10/25/1993 | Type LAND + BLDG | Price \$65,000 | Book/Page 11048-068 |
|--------------------|---------------------|-------------------|------------------------|

Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, if Any,
Attached

BUILDING INSPECTION PERMIT

Permit Number: 060080

This is to certify that Sawtelle Julie A/Dan McClellan

has permission to add sunroom on existing deck

AT 46 Broadway

341 B012001

provided that the person or persons who are the permittees of this permit shall comply with all of the provisions of the Statutes of the City of Portland relating to the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given to the permittee prior to the start of work. If the work is to be done in a public place, a notice of proposed work must be posted in the public place. A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____

JAN 18 2006

Department of Planning

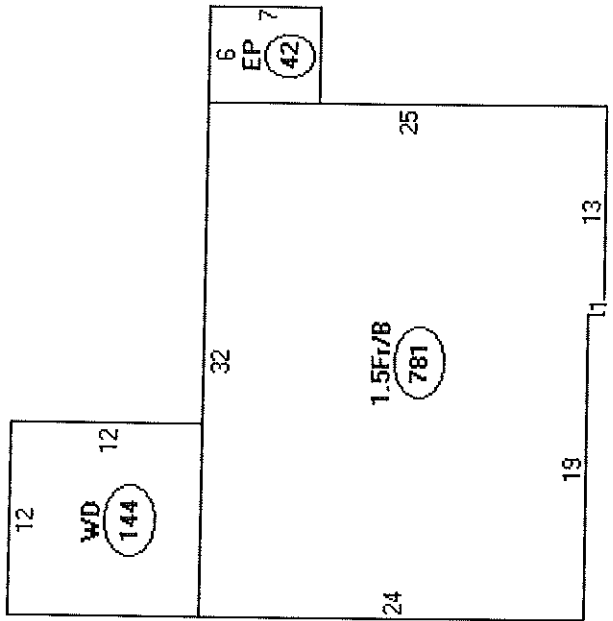
CITY OF PORTLAND

Director - Building & Inspection Services

[Handwritten Signature]
1/13/06

Descriptor/Area

- A: 1.5Fr/B
781 sqft
- B: WD
144 sqft
- C: EP
42 sqft



R-3 + R-4000
Front
15' 9"
Side 35' 0"
Lot cov. OK



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or other charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

| | | | |
|--|--------------------|--|---|
| Location/Address of Construction: <u>46 Broadway Portland Me 04103</u> | | Square Footage of Lot | |
| Total Square Footage of Proposed Structure | | <u>65'x100' 6500</u> | |
| Tax Assessor's Chart, Block & Lot | | Owner: | |
| Chart# <u>341</u> | Block# <u>B</u> | <u>Julie Sawtelle</u> | |
| Lot# <u>12</u> | | Telephone: <u>(207) 878-9003</u> | |
| Lessee/Buyer's Name (If Applicable) | | Applicant name, address & telephone: | Cost Of |
| | | <u>Dan McLellan</u> <u>19 Scotland Rd 04062</u> <u>(207) 892-4990</u> <u>(207) 310-8159</u> | Work: \$ <u>20,545.00</u> Fee: \$ <u>210</u> C of O Fee: \$ _____ |
| Current Specific use: <u>Single family home</u> | | | |
| If vacant, what was the previous use: _____ | | | |
| Proposed Specific use: <u>Single family home</u> | | | |
| Project description: <u>Add a 4 season roon on existing deck.</u> | | | |
| Contractor's name, address & telephone: <u>DAN McLellan 19 Scotland Rd Winham ME 04062</u> <u>(207) 892-4990-</u> | | | |
| Who should we contact when the permit is ready: <u>DAN McLellan</u> | | | |
| Mailing address: <u>19 Scotland</u> <u>Rd Winham Me</u> <u>04062</u> | | | |
| Phone: <u>(207) 892-4990</u> <u>207 310-8159</u> | | | |
| <u>True Coast Carpentry</u> | | | |

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

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Signature of applicant: Dan J McLellan Date: _____

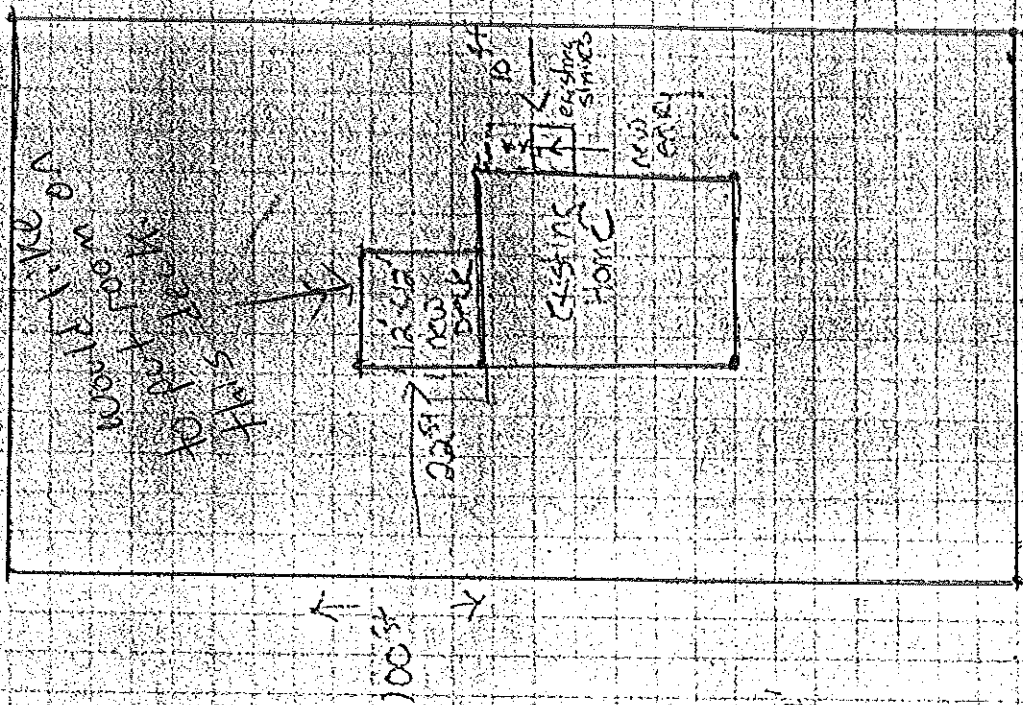
This is not a permit; you may not commence ANY work until the permit is issued.

Permit # 94-0203

1/2 Mile Swathle
466 Broadwood
Portland, ME 04103
877-8-9003

Construction of
Backyard Deck and
Expanding

Lot size 65' x 100'



SCALE

1 square = 4'

← 65' →

General Building Permit Application

Property owner owes real estate or personal property taxes or user charges on any City, payment arrangements must be made before permits of any kind are accepted.

2nd phase
New deck

| | | | |
|--|---|-----------------------|-------------------------|
| of Construction: <u>46 Broadway Portland Me 04103</u> | | Square Footage of Lot | |
| Total Square Footage of Proposed Structure | | <u>6500 SF</u> | |
| Tax Assessor's Chart, Block & Lot | Owner: | Telephone: | |
| Chart# <u>341 B</u> Block# <u>12</u> Lot# <u>12</u> | <u>Julie Sawtelle</u> | <u>478-9003</u> | |
| Lessee/Buyer's Name (If Applicable) | Applicant name, address & telephone: | | Cost Of |
| | <u>Daniel McLellan</u> <u>14 Scotland Rd</u> <u>Windham Me 04062</u> <u>(207) 892-4940</u> | | Work: \$ <u>2000.00</u> |
| Current Specific use: <u>Single Family</u> | | | Fee: \$ _____ |
| If vacant, what was the previous use? _____ | | | C of O Fee: \$ _____ |
| Proposed Specific use: _____ | | | |
| Project description: <u>Add new deck and attach to new sunroom.</u> | | | |
| Contractor's name, address & telephone: <u>DAN McLellan (207) 892-4990</u> | | | |
| Who should we contact when the permit is ready: <u>DAN McLellan</u> | | | |
| Mailing address: Phone: <u>(207) 892-4990</u> <u>(207) 310-8159</u> | | | |

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

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Signature of applicant: Daniel J McLellan Date: _____

This is not a permit; you may not commence ANY work until the permit is issued.

CITY OF PORTLAND
ASSESSOR'S PLAN
SCALE 1" = 50'

MAPS

SHEET 343-0

SHEET 342-B

SHEET 342-A

SHEET 342-A

SHEET 342-A

SHEET 344-B

AVENUE

10,074
15

14,004
12

10,040
TOTAL WITH
245-A-240

10,074
11

EXEMPT - LOCATION

PORTLAND TERMINAL CO

BROADWAY

THIRD STREET

FOURTH STREET

FIFTH STREET

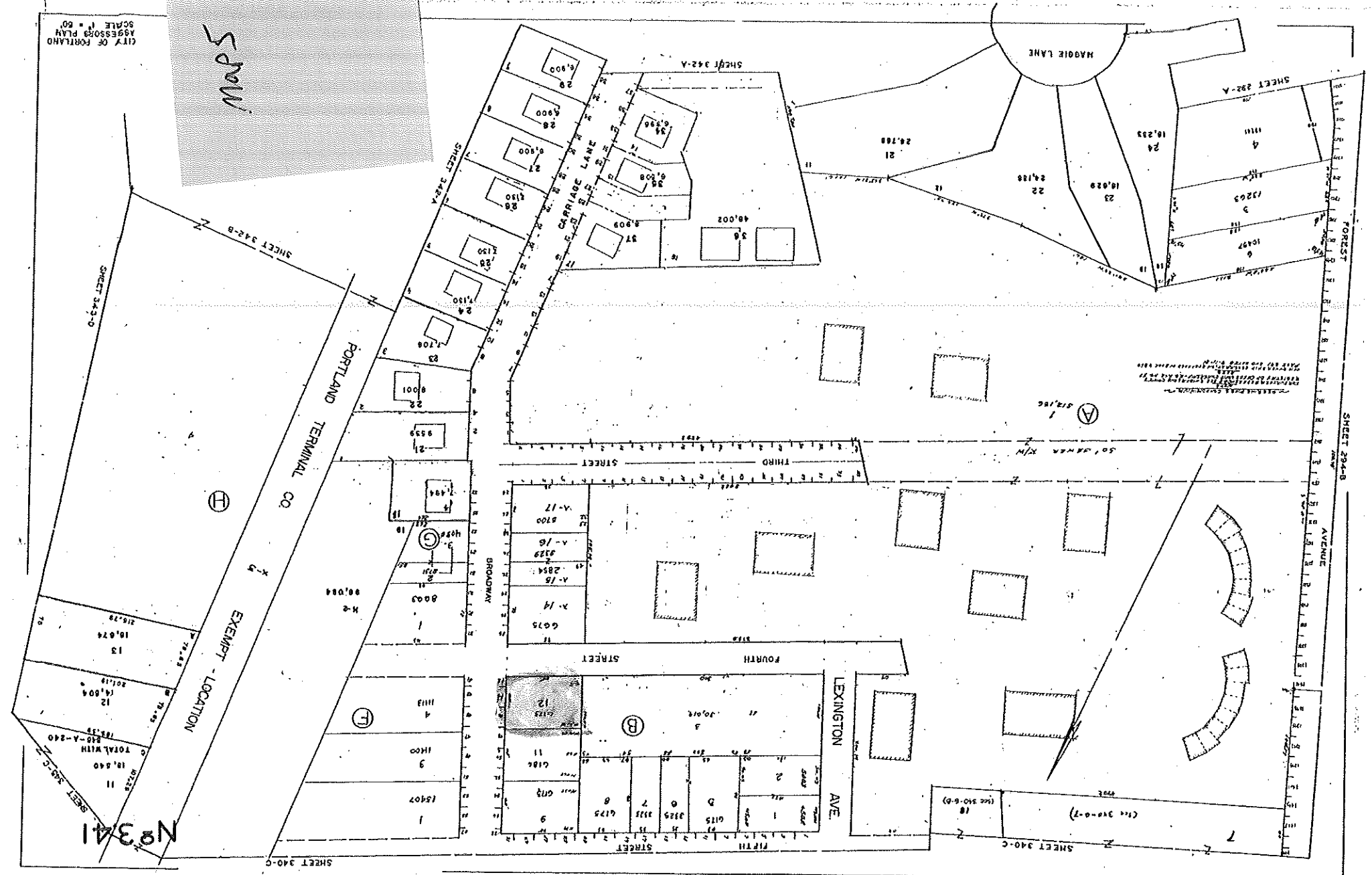
LEXINGTON AVE

SHEET 340-C

(See 340-0-7)

(See 340-6-D)

PORTLAND POLICE COMMISSION
EXEMPT FROM TAXATION UNDER SECTION 2.40 OF THE PORTLAND CITY CHARTER
AS APPLIED BY THE PORTLAND ASSESSOR'S OFFICE



№341

Permit # 94-1303

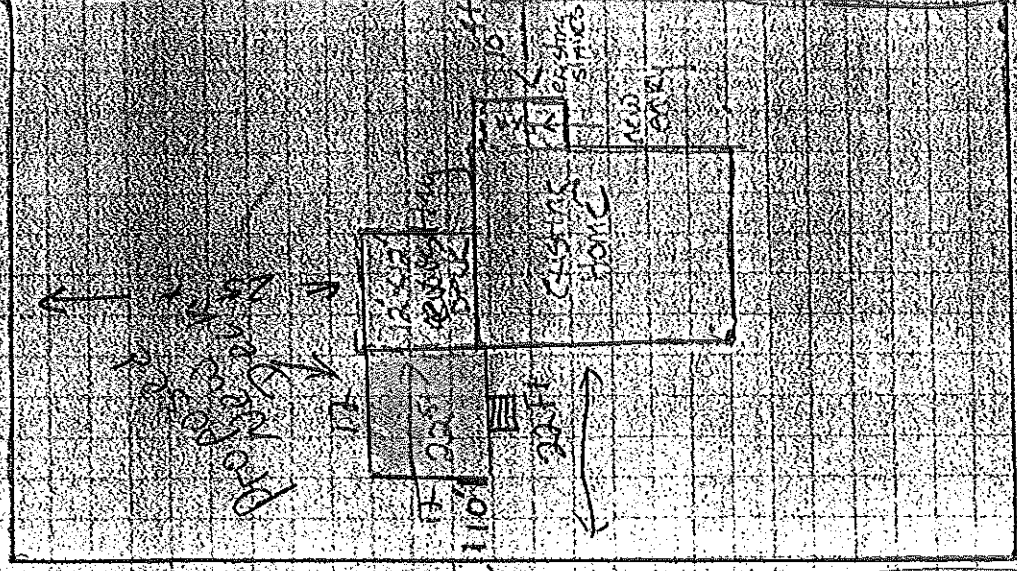
Scale Square

44' 8200' 100'
20210100 11000103
812-7003

Construction of
Backward Gate and
Entranceway

Lot size 68' x 100'

OLD WELLS?
WATER TOWER
50' 100'



10' from property

SCALE

1 square = 4'

← 68' →

1-888-8-002/408 3-471

1-888-8-002/408 3-471

EXISTING HOUSE
Left Elevation

12'

9'34" 44"

Proposed -
New Deck
New Deck
New Deck

6-0
5-0
DOOR

22" Knee wall
w/ siding matching house

6" step up existing Deck

Broadway
→ street

Railing Height = 36" + graspable handrail w/ returns.
Baluster Spacing 3 3/4"
Stairs Rise 6 1/2" w/ 10' TRED
w/ 3/4" to 1 1/4" nosing

TRUE CRAFT Carpentry Services
Dan McLellan
19 Scotland Rd
Windham, ME 04062
Phone # (207) 310-8159

Side elevation.

4' below grade
Tubes w/ footing

Sons
Tubes w/ footing

4' below grade
Tubes w/ footing

Sons
Tubes

Footings
Det

Joist Hangers
& every 50#

Joist
Hanger

gusset

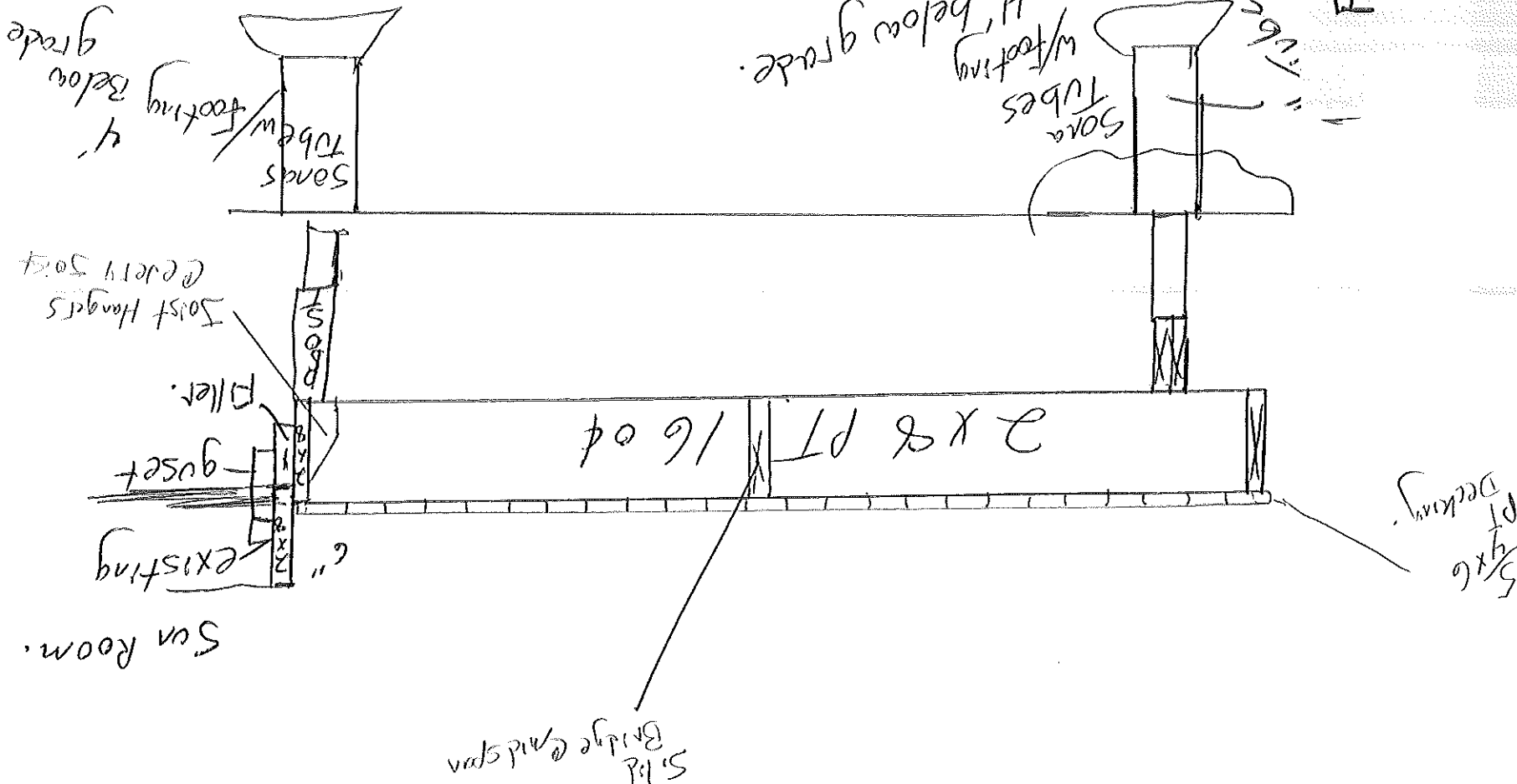
6" existing

Sun Room.

2 X 8 PT 1604

Side
Bridge @ mid span

5/8"
PT
Decking



11-14-2005 01:54PM FROM-

245 RIVERSIDE STREET, PORTLAND, ME 04103
(207) 761-0600

Mon Nov 14 11:52:58 2005

The materials for this project will cost \$954.44

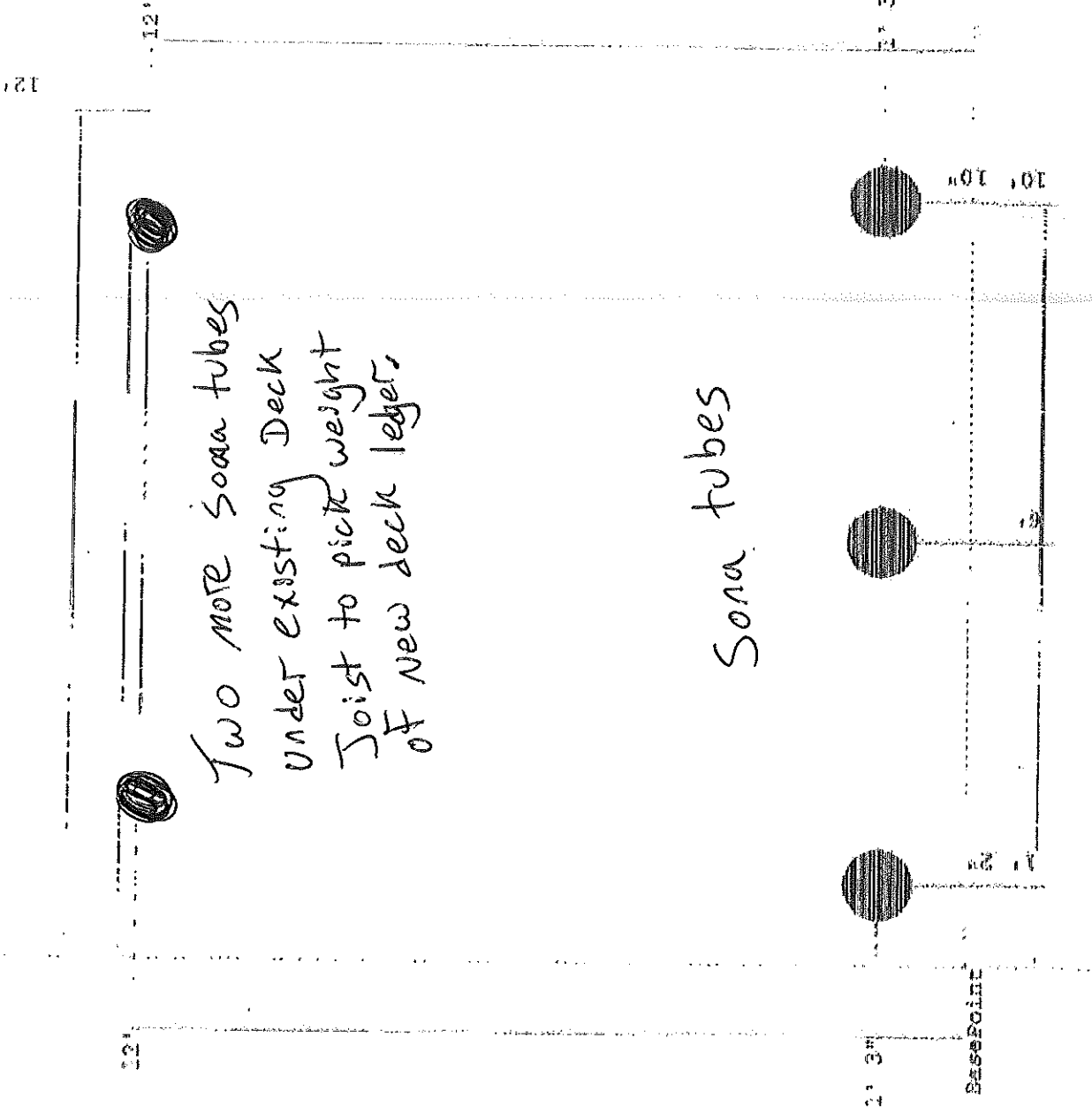
JULIE SAWTELLE

DECK

227865

Post Layout for Deck 1

T-988 P.004/008 F-171

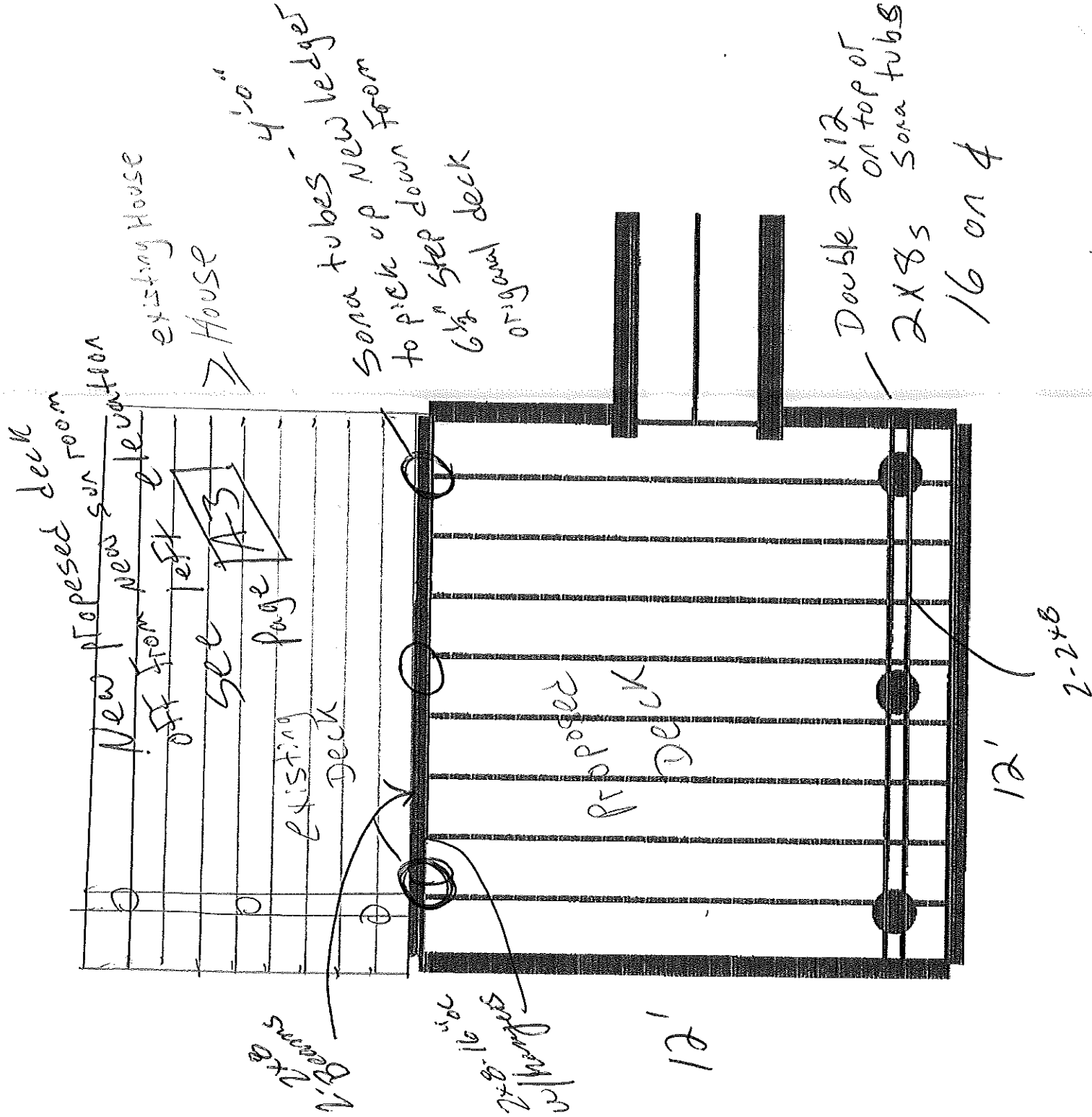


JULIE SAWTELLE

DECK

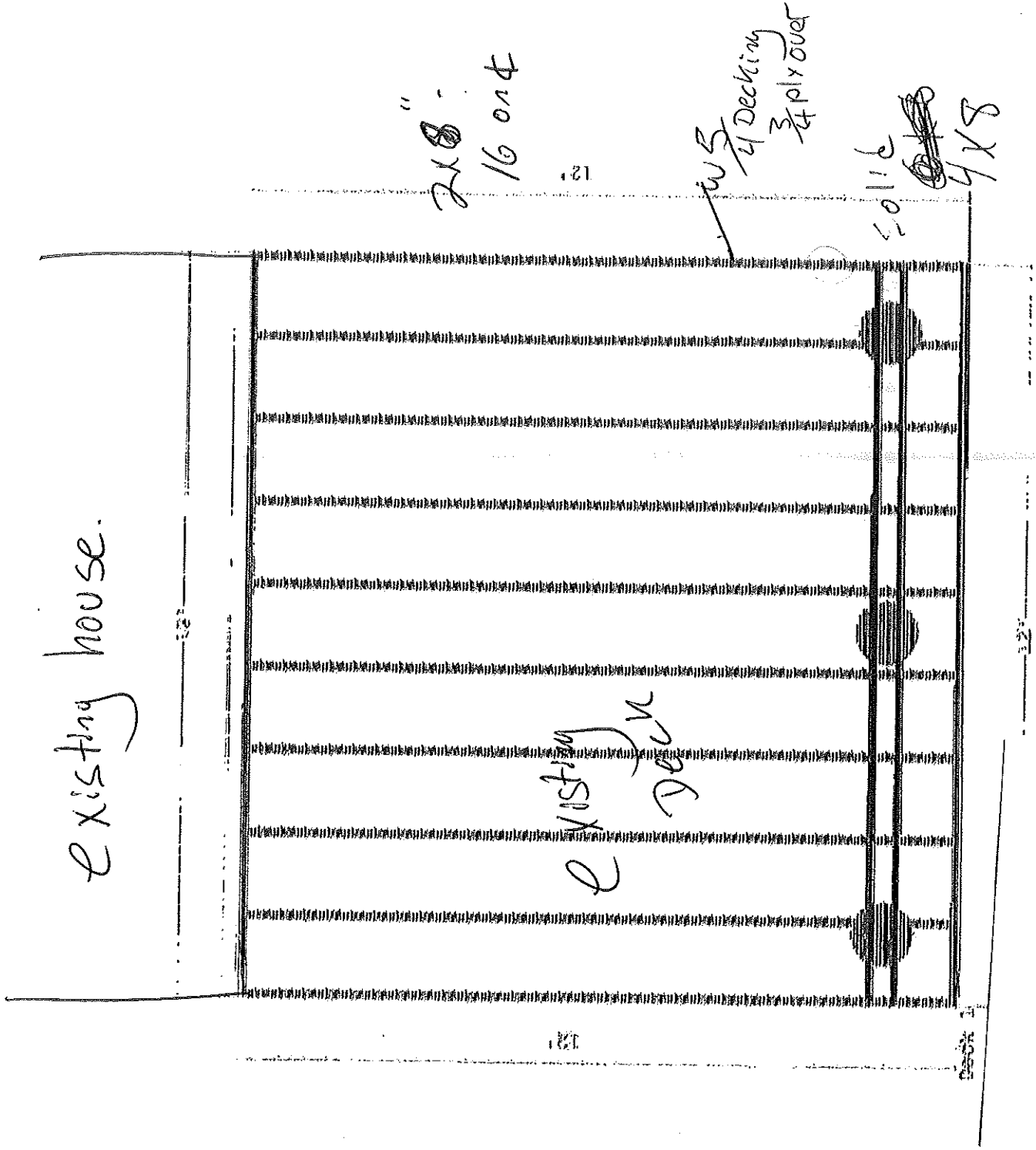
227865

Deck Layout



CROSS Sections
w/ Framing details.

Existing house.



12'

12'

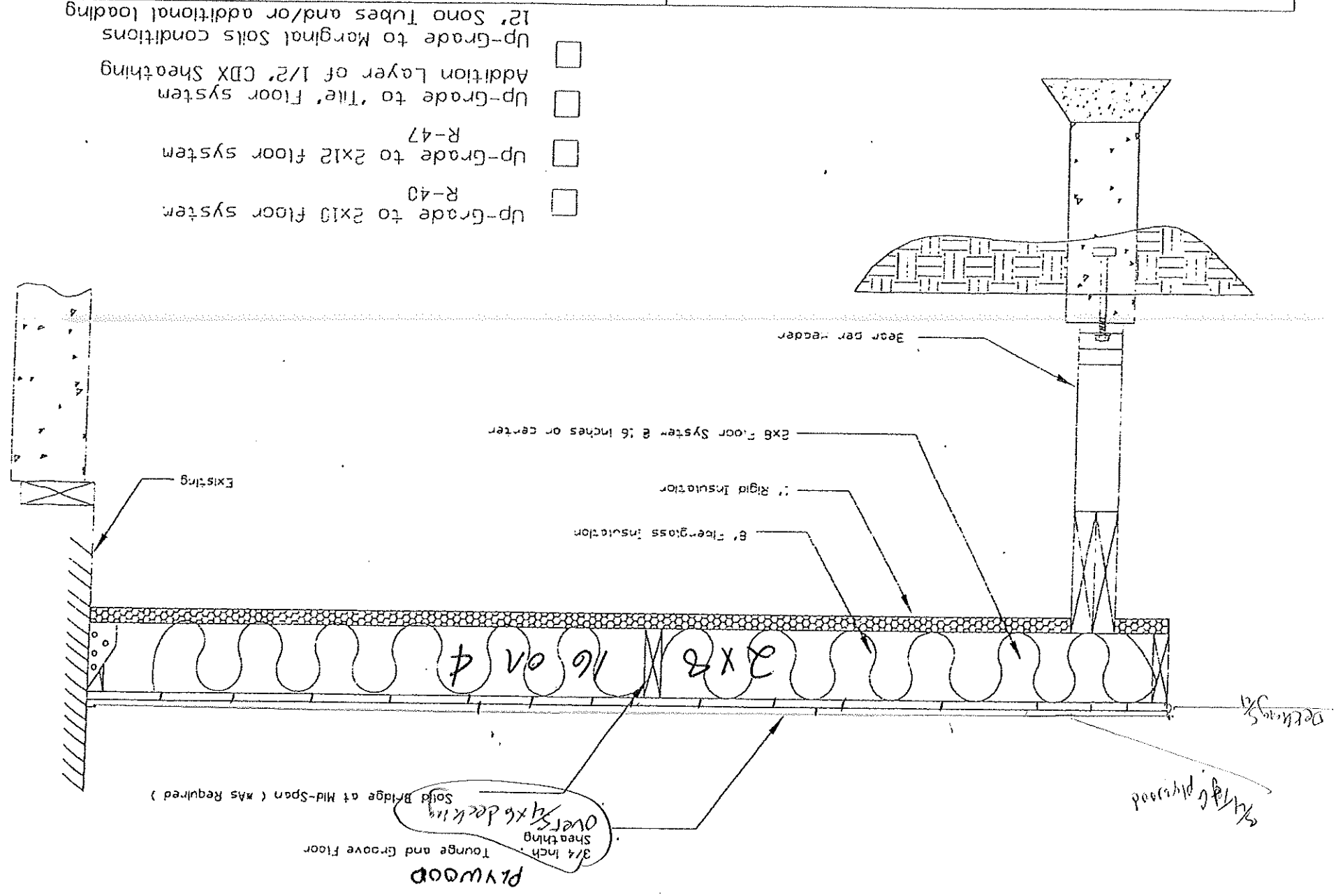
12'

WinterGreen Solariums

536 Riverside Street Portland, Maine 207 797-3778

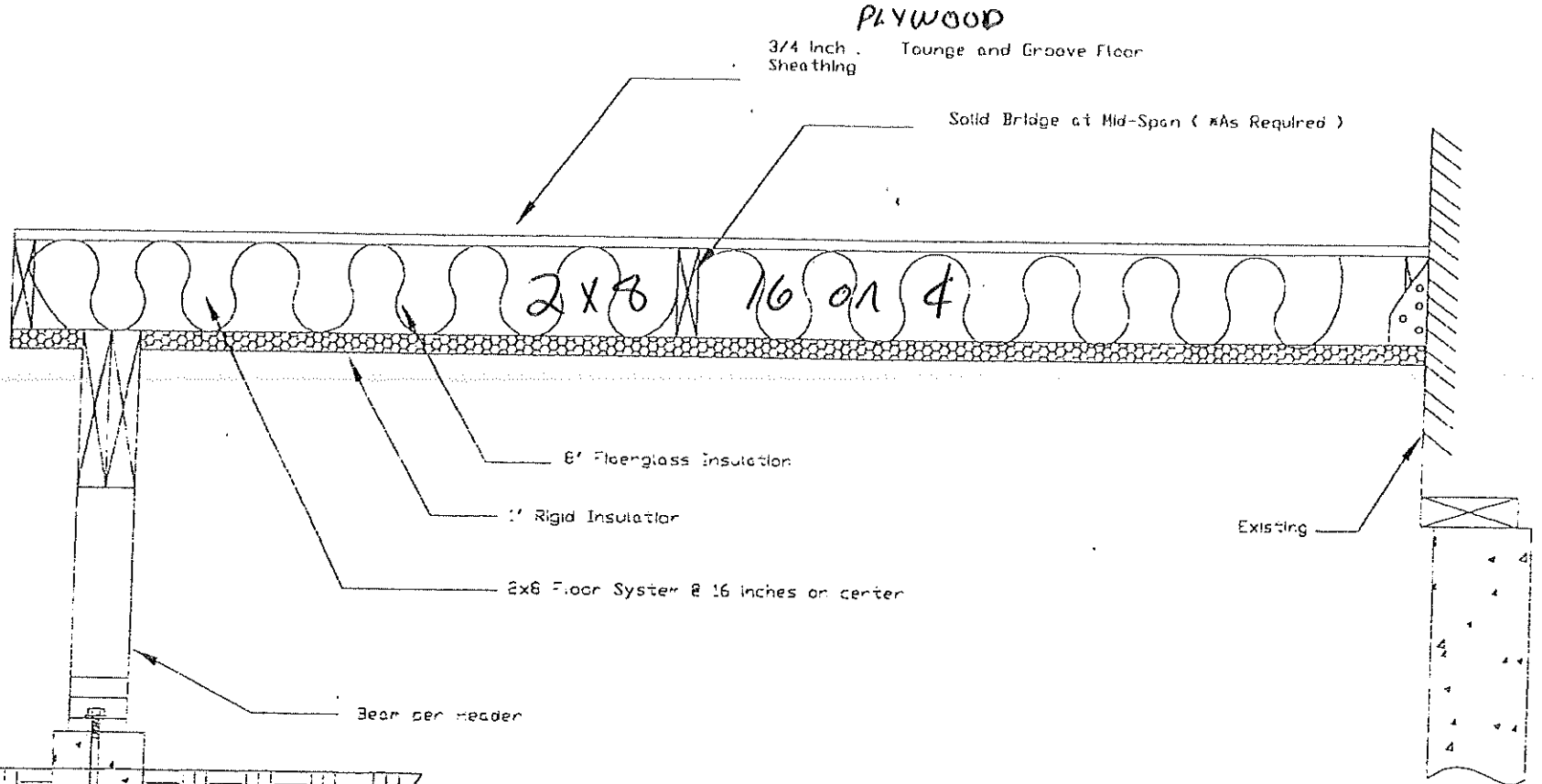
| | |
|----------|---------------------------------------|
| PROJECT | Standard Post / Deck System Schematic |
| Date / / | |

Standard Floor System R-32



- Up-Grade to 2x10 floor system R-40
- Up-Grade to 2x12 floor system R-47
- Up-Grade to 'Tile' floor system
- Addition Layer of 1/2" CDX Sheathing
- Up-Grade to Marginal Soils conditions
- 12" Sono Tubes and/or additional loading

Standard Floor System R-32



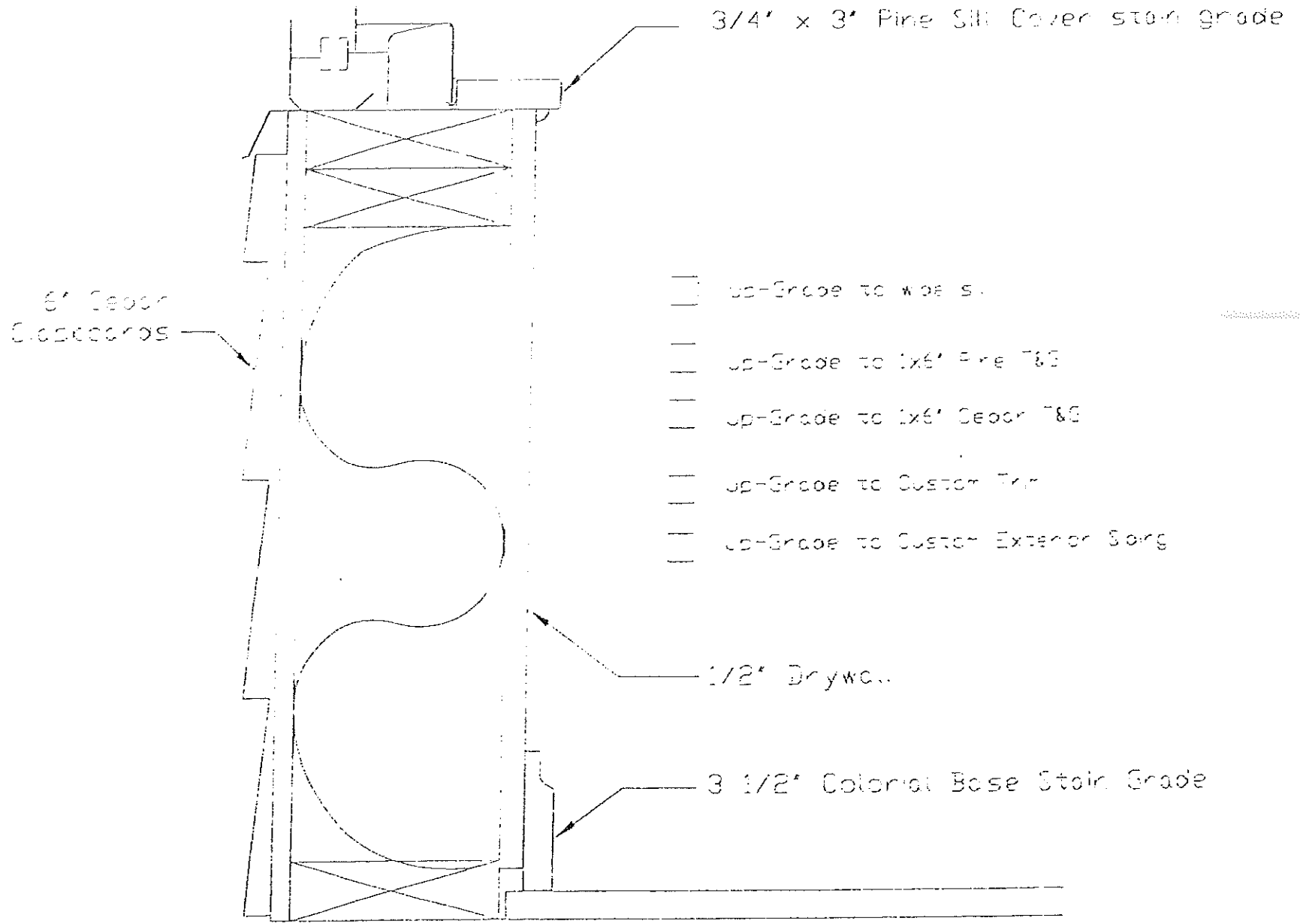
4' down
w/ Footing

- Up-Grade to 2x10 floor system R-40
- Up-Grade to 2x12 floor system R-47
- Up-Grade to 'Tile' Floor system
Addition Layer of 1/2" CDX Sheathing
- Up-Grade to Marginal Soils conditions
12" Sono Tubes and/or additional loading

| | |
|---|---------------------------------------|
| <h1>WinterGreen Solariums</h1> <p>536 Riverside Street Portland, Maine 207 797-3778</p> | PROJECT |
| | Standard Post / Deck System Schematic |

Date / /

Standard Kneewall System R-32



WinterGreen Solariums

638 Riverside Street, Pomona, CA 91767-3519

Standard Kneewall System Schematic

PROJECT

Date / /



230 SUN & STARS ROOM: STRAIGHT EAVE (2 in 12 ROOF PITCH)

ENGINEERING & STRUCTURAL LOADING INFORMATION

5005 VETERANS MEMORIAL HWY.
HOLBROOK N.Y. 11741

EFFECTIVE DATE: 6-02 LD

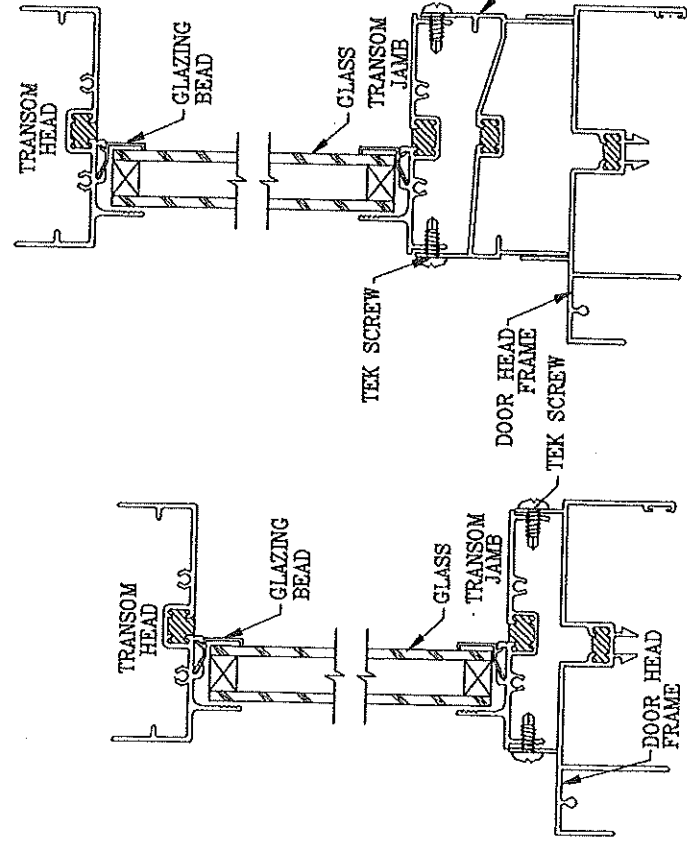
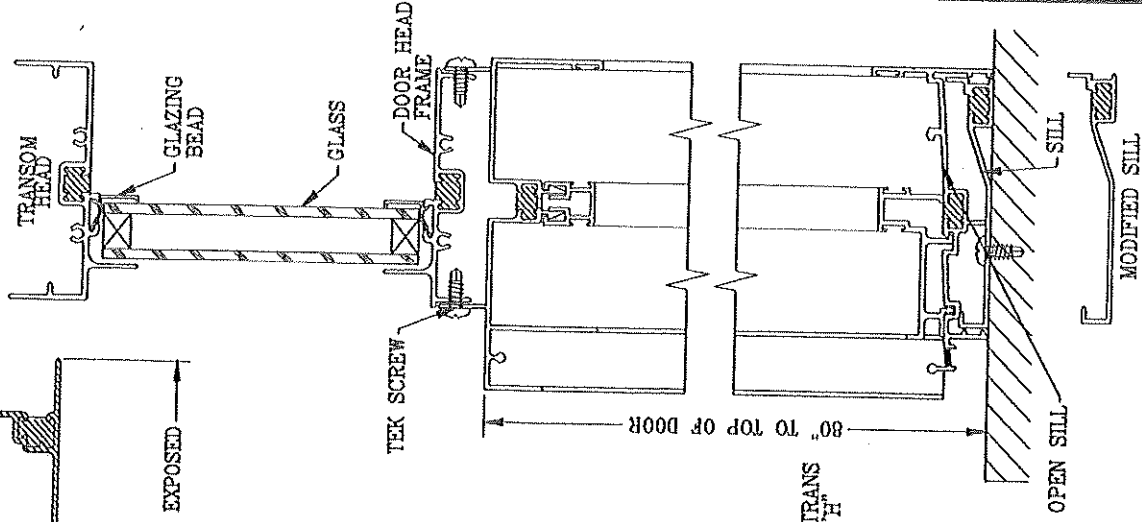
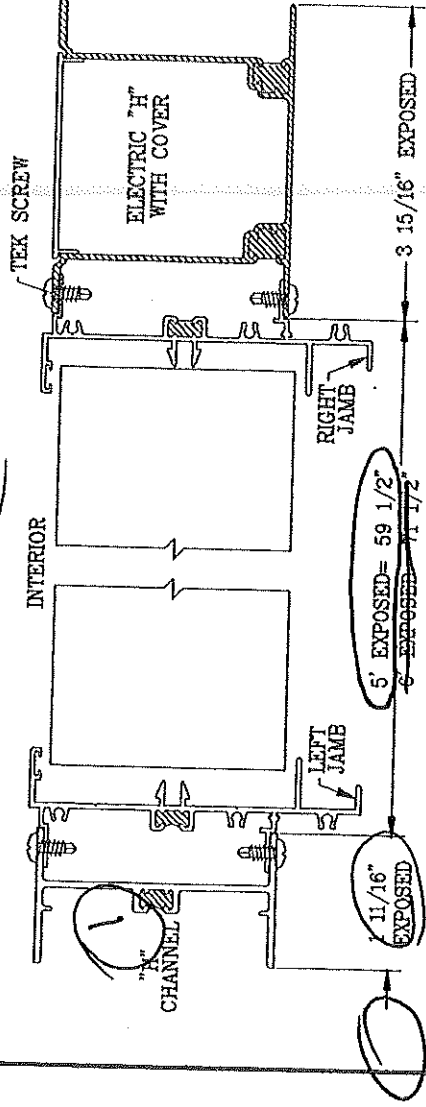
| ROOM MODEL | GLAZING BAR O.C. SPACING | RAFTER TYPE | ROOF LIVE LOAD (psf) | EXPOSURE B WIND LOAD (mph) | EXPOSURE C WIND LOAD (mph) | EXPOSURE D WIND LOAD (mph) | ROOM MODEL | GLAZING BAR O.C. SPACING | RAFTER TYPE | ROOF LIVE LOAD (psf) | EXPOSURE B WIND LOAD (mph) | EXPOSURE C WIND LOAD (mph) | EXPOSURE D WIND LOAD (mph) |
|------------|--------------------------|-------------|----------------------|----------------------------|----------------------------|----------------------------|------------|--------------------------|-------------|----------------------|----------------------------|----------------------------|----------------------------|
| S*M-8DH | 2'-6 5/8" | 5LB3 | 150 | 140 | 140 | 125 | S*M-15DH | 2'-6 5/8" | 5LB3 | 20 | 125 | 110 | 100 |
| S*M-7DH | 3'-0 5/8" | 5LB3 | 130 | 125 | 140 | 125 | | 3'-0 5/8" | 5LB3 | 15 | 125 | 110 | 100 |
| S*M-9DH | 3'-0 5/8" | 5LB3 | 105 | 140 | 125 | 115 | | 2'-6 5/8" | 5CB5 | 68 | 125 | 110 | 100 |
| S*M-10DH | 2'-6 5/8" | 5LB3 | 70 | 155 | 140 | 115 | S*M-16DH | 3'-0 5/8" | 5CB5 | 57 | 120 | 110 | 100 |
| S*M-11DH | 2'-6 5/8" | 5LB3 | 60 | 140 | 125 | 115 | | 2'-6 5/8" | 5LB3 | 15 | 120 | 105 | 95 |
| S*M-12DH | 2'-6 5/8" | 5LB3 | 55 | 155 | 140 | 115 | | 3'-0 5/8" | 5CB5 | 60 | 120 | 100 | 90 |
| S*M-13DH | 3'-0 5/8" | 5LB3 | 45 | 140 | 125 | 115 | S*M-17DH | 3'-0 5/8" | 5CB5 | 48 | 120 | 105 | 95 |
| | 3'-0 5/8" | 5LB3 | 40 | 150 | 135 | 120 | | 2'-6 5/8" | 5LB5 | 25 | 115 | 100 | 90 |
| | 2'-6 5/8" | 5LB3 | 35 | 140 | 125 | 115 | | 3'-0 5/8" | 5LB5 | 20 | 115 | 100 | 90 |
| | 3'-0 5/8" | 5HB3 | 70 | 150 | 135 | 120 | | 2'-6 5/8" | 5CB5 | 52 | 115 | 100 | 90 |
| | 2'-6 5/8" | 5HB3 | 58 | 140 | 125 | 115 | S*M-18DH | 3'-0 5/8" | 5CB5 | 43 | 115 | 100 | 90 |
| | 3'-0 5/8" | 5LB3 | 30 | 140 | 125 | 115 | | 3'-0 5/8" | 5LB5 | 20 | 110 | 100 | 90 |
| | 2'-6 5/8" | 5LB3 | 25 | 140 | 125 | 115 | | 3'-0 5/8" | 5LB5 | 15 | 110 | 100 | 90 |
| | 3'-0 5/8" | 5HB3 | 56 | 140 | 125 | 115 | | 2'-6 5/8" | 5CB5 | 46 | 110 | 100 | 90 |
| | 2'-6 5/8" | 5HB3 | 47 | 140 | 125 | 115 | S*M-19DH | 3'-0 5/8" | 5CB5 | 37 | 110 | 100 | 90 |
| | 3'-0 5/8" | 5LB3 | 25 | 130 | 115 | 105 | | 2'-6 5/8" | 5LB5 | 15 | 105 | 95 | 85 |
| | 2'-6 5/8" | 5LB3 | 20 | 130 | 115 | 105 | | 3'-0 5/8" | 5CB5 | 10 | 105 | 95 | 85 |
| | 3'-0 5/8" | 5HB3 | 48 | 130 | 115 | 105 | | 2'-6 5/8" | 5LB5 | 41 | 105 | 95 | 85 |
| | 2'-6 5/8" | 5HB3 | 40 | 130 | 115 | 105 | | 3'-0 5/8" | 5CB5 | 34 | 105 | 95 | 85 |

NOTE : EXPOSURE B - RESIDENTIAL AREAS; EXPOSURE C - OPEN TERRAIN AREAS, EXPOSURE D - AREAS WITHIN 1500' OF OCEAN

NOTES:

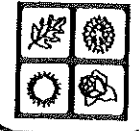
- 1) 5LB3 = 3" LITE BAR, 5LB5 = 5" LITE BAR, 5CB5 = 5" HEAVY BAR
- 2) ALUMINUM ALLOY FOR GLAZING BARS IS 6005-T5.
- 3) DEAD LOAD OF ROOF SYSTEM IS 7 PSF
- 4) ALL UNITS SHOWN ON THIS PAGE ARE ACCEPTABLE FOR CONSTRUCTION IN SEISMIC ZONE 4.
- 5) A LOCAL PROFESSIONAL ENGINEER SHOULD DETERMINE THE SITE SPECIFIC LOADING AND PERFORM ANY ADDITIONAL NECESSARY CALCULATIONS. WHICH MAY INCLUDE: MINIMUM DESIGN LOADS REQUIRED BY LOCAL MUNICIPALITIES, OR ANY DRIFTING OR UNBALANCED SNOW LOADS PRODUCED BY ADJACENT STRUCTURES.
- 6) THIS SUMMARY PERTAINS TO THE STRUCTURAL INTEGRITY OF OUR UNIT UP TO THE CONNECTIONS TO THE EXISTING STRUCTURE AND/OR ANY NEW CONSTRUCTION. THE CONNECTIONS TO THE EXISTING AND/OR ANY NEW CONSTRUCTION MUST BE ANALYZED ACCORDING TO CONDITIONS SPECIFIC TO EACH JOB, BY A LOCAL PROFESSIONAL ENGINEER.
- 7) ENGINEERS CERTIFICATION: I LAWRENCE FISCHER CERTIFY THAT THESE ENGINEERING SPECIFICATIONS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION AND THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATES SHOWN.

SLIDING DOOR DETAILS



DRAWN BY: JW
 CHECKED BY: CM
 DATE: 05-03-02

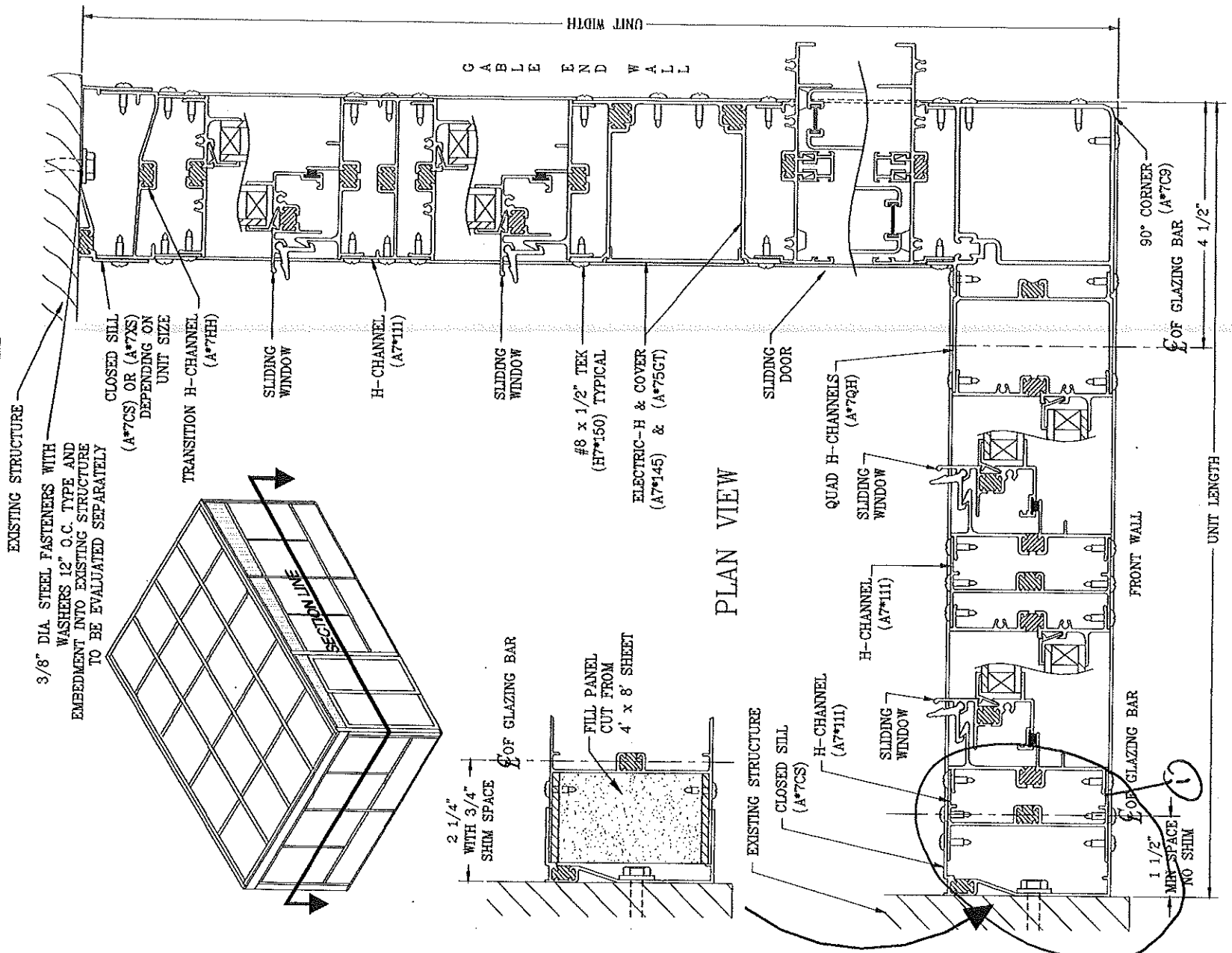
SCALE: NTS
 DWG. #: _____
 PAGE: _____ OF _____



FOUR SEASONS SOLAR PRODUCTS, LLC.
 5005 VETERANS MEMORIAL HIGHWAY
 HOLBROOK, NEW YORK 11741
 DESIGNERS AND MANUFACTURERS OF FOUR SEASONS SUNROOMS

| REVISION | BY |
|----------|----|
| | |
| | |
| | |

TYPICAL WALL LAYOUT



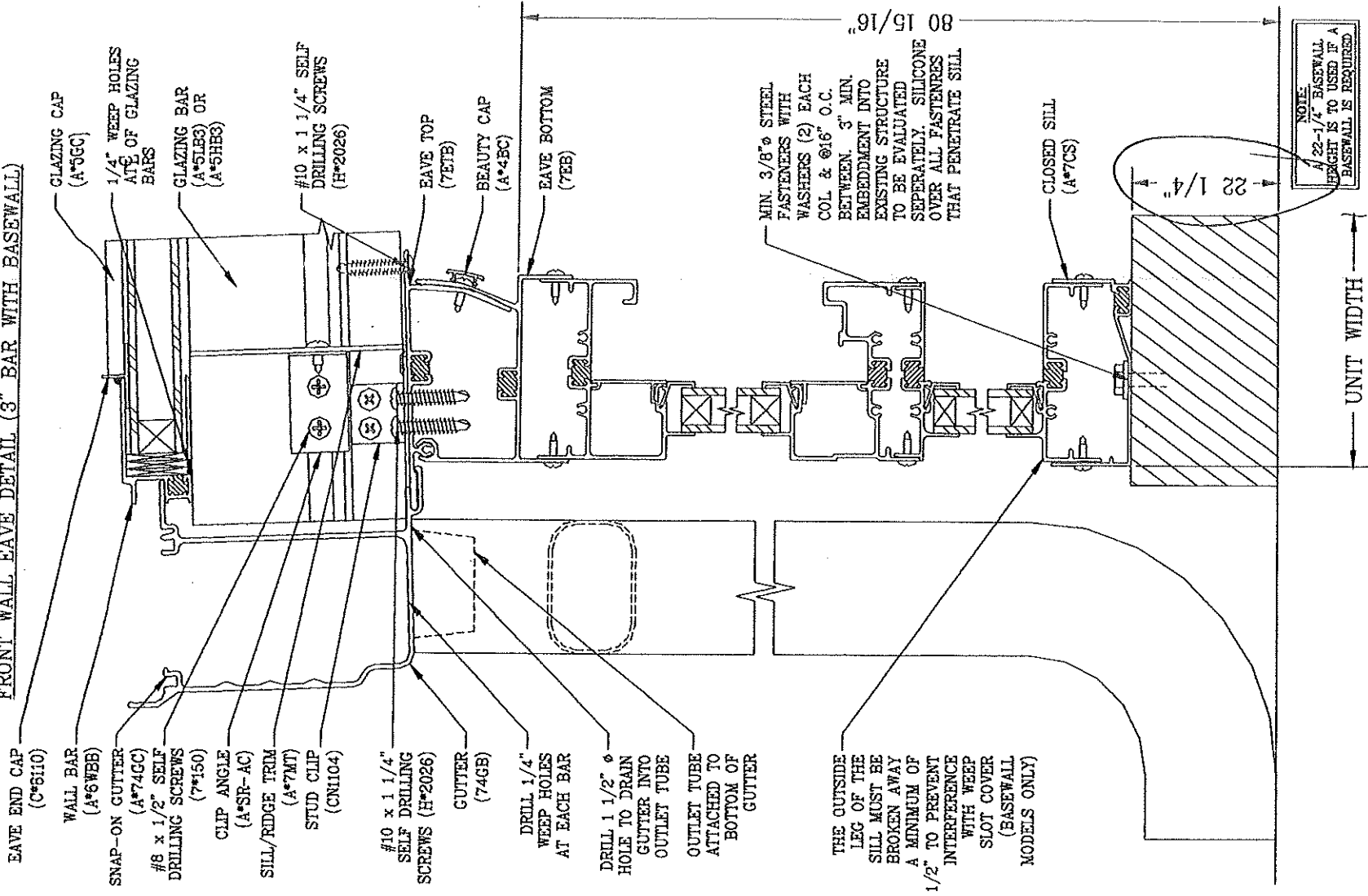
PLAN VIEW

| | | |
|----------------|---------------|----------|
| DRAWN BY: TW | SCALE: NTS | BY |
| CHECKED BY: CM | DWG. #: 4M-16 | REVISION |
| DATE: 05-03-02 | PAGE OF | 5-14-02 |
| | | 6-17-02 |

| | |
|--|--|
| | FOUR SEASONS SOLAR PRODUCTS, LLC. 5005 VETERANS MEMORIAL HIGHWAY HOLBROOK, NEW YORK 11741 DESIGNERS AND MANUFACTURERS OF FOUR SEASONS SUNROOMS |
|--|--|

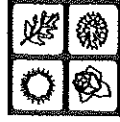
| | |
|--|--|
| | FOUR SEASONS SOLAR PRODUCTS, LLC. 5005 VETERANS MEMORIAL HIGHWAY HOLBROOK, NEW YORK 11741 DESIGNERS AND MANUFACTURERS OF FOUR SEASONS SUNROOMS |
|--|--|

FRONT WALL EAVE DETAIL (3" BAR WITH BASEWALL)



DRAWN BY: TW
 CHECKED BY: CM
 DATE: 05-08-02

SCALE: NTS
 DWG. #: 4M-20
 PAGE: OF



FOUR SEASONS SOLAR PRODUCTS, LLC.
 5005 VETERANS MEMORIAL HIGHWAY
 HOLBROOK, NEW YORK 11741
 DESIGNERS AND MANUFACTURERS OF FOUR SEASONS SUNROOMS

| REVISION | BY |
|----------|----|
| 08-17-02 | TW |

FROM : DPWBILL

See 4th SF

FAX NO. : 2078748852

Jan. 11 2006 03:23PM P1

BK 13326 PG 019

055566

NOTICE

On September 3, 1997, the Portland City Council passed Order # 84, entitled Order

Excepting Streets From Deemed Vacation. This Order contains a listing of paper streets

subject to 23 M.R.S.A. §3032, and sets forth the City's action on each street in a subdivision that is covered by that statute. The list indicates whether the City elected to continue its public rights in a street, to allow the street to be vacated and terminate the public rights, or to do some combination of the two.

A certified copy of Portland City Council Order #84 is recorded in the Cumberland County Registry of Deeds in Book _____, Page _____, City of Portland

Dated: September 16, 1997

Nadeen M. Daniels
Nadeen M. Daniels, City Clerk

| | | | | | |
|-------------------|-----------|---------|------------|------------|---|
| Post-it® Fax Note | 7671 | Date | 1-11-06 | # of Pages | 5 |
| To | MARGIE S. | From | BILL SCOTT | | |
| Co./Dept | CODES | Co. | DPW | | |
| Phone # | | Phone # | 874-8803 | | |
| Fax # | 874-8716 | Fax # | | | |

ULTR

No. 1 row

DEAL

**84
ORDER**

**ORDER EXCEPTING STREETS FROM DEMED
VACATION - SPONSORED BY ROBERT B. GANLEY,
CITY MANAGER.**

IN THE CITY COUNCIL

September 3, 19 97

Attest: Nadeen M. Daniels
Nadeen M. Daniels
Yens
Nays

Councilor Harlow motioned to suspend the rules seconded
by Councilor Mavodones. Passed 9-0

Councilor Harlow motioned to take Order 84 out of order;
seconded by Councilor McDonough. Passed 9-0.

Councilor Harlow motioned to Amend Order 84, to change
Dudley Street to read continued/vacate continue 340 feet
from intersection of Lee Street; vacate remainder to Elmore
Street; Fern Street to read Continue, not Vacate, Rosedale

A TRUE COPY. ATTEST
NADEEN M. DANIELS
CITY CLERK, PORTLAND, ME
Nadeen M. Daniels

FILED

FROM : DPWBJ:11

FAX NO. : 2078748852

Jan. 11 2006 03:24PM P3

BK 13326PG021

Street to read Continue/Vacate, not Vacate; Second Street,
Peaks Island to read Continue, not Vacate;
seconded by Councilor McDonough. Passed 9-0.

Motion to Pass Order 84 as amended made by Councilor
Kane; seconded by Councilor Dawson. Passed 9-0.

A TRUE COPY, ATTEST
NADFEEM M. DANIELS
CITY CLERK, PORTLAND, ME
Nadfeem M. Daniels

SEAL

BK 13326PG022

*Order 84
Tab 15 9-3-97*

City of Portland, Maine

BY THE CITY COUNCIL

ORDER EXCEPTING STREETS FROM DEEMED VACATION

ORDERED, pursuant to 23 M.R.S.A. §3032(2), the streets indicated on Attachment A are hereby excepted from the operation of 23 M.R.S.A. §3032(1) for a period of twenty (20) years.

SEAL

A TRUE COPY. ATTEST
NADEEN M. DANIELS
CITY CLERK, PORTLAND, ME

Nadeen M. Daniels

STREETEXCEPT.ORD-001
06.15.97

September 3, 1997

Street Vacation Project

JAN 11 06 (THU) 16:01

COMMUNICATION No: 33

PAGE 5

| Street | Subdivision Name | Book | Page | Staff Recommendation | Comments |
|-------------------------------------|-------------------------------|------|---------|----------------------|--|
| East Klidder Street | Adams Farm | 12 | 33 | Continue/Accept | Accept that portion from Berkshire to Grafton |
| Grafton Street (Also South Grafton) | Adams Farm | 12 | 33 | Continue | |
| Penobscot Street | Arthur F. Maxfield | 10 | 51 | Vacate | |
| Shore Road, Cushings Island | Arthur & Anne S. Row | 166 | 25 | Continue | |
| King Street | Avalon Highlands | 12 | 11 | Continue | Partial |
| Tyler Street | Avalon Highlands | 12 | 11 | Continue | |
| Buttrickwood Lane | Blackburnian Pines | 142 | 88 | Continue/Accept | Accept when improvements are completed. |
| Levia Street | Brighton Avenue Terrace | 11 | 13 | Continue | |
| Terrace Avenue | Brighton Avenue Terrace | 11 | 13 | Continue | |
| Lorenzo Street | Brighton Avenue Terrace | 11 | 13 | Continue | |
| Mito Street | Brighton Avenue Terrace Annex | 11 | 61 | Continue | |
| Schammel Street | Brighton Avenue Terrace Annex | 11 | 61 | Vacate | |
| Merline Avenue | Brighton Avenue Terrace Annex | 11 | 61 | Continue | |
| Philbrick Avenue | Brighton Avenue Terrace Annex | 11 | 61 | Continue | |
| Almon Avenue | Brighton Avenue Terrace Annex | 11 | 61 | Continue | |
| Hillcrest Avenue | Brighton Avenue Terrace Annex | 11 | 61 | Continue/Vacate | Vacate portion from the beginning of Dorothy B. Nevers property south to the Railroad. |
| Greenlawn Avenue | Brighton Avenue Terrace Annex | 11 | 61 | Continue | |
| Macy Street | Brighton Park | 17 | 30 | Continue | |
| Brookline Drive | Brighton Park | 17 | 30 | Continue/Vacate | Continue that portion that is not a park street; vacate remainder. |
| Bary Street | Brighton Park | 17 | 30 | Continue | |
| Sargent Road, Peaks Island | Carrie Jensen | 33 | 37 | Continue/Vacate | Continue between Tolman and Pleasant; vacate between Pleasant and Island |
| Unnamed 1, Peaks Island | Carrie Jensen | 33 | 37 | Continue | Runs parallel to Tolman Road |
| Third Street | Central Park | 9 | 125-129 | Continue/Vacate | Continue that portion which lies south of Broadway; vacate remainder. |
| Second Street | Central Park | 9 | 125-129 | Vacate | |
| Broadway | Central Park | 9 | 125-129 | Continue | |
| Fourth Street | Central Park | 9 | 125-129 | Vacate | |
| Lexington Avenue | Central Park | 9 | 125-129 | Continue | |
| Fifth Street | Central Park | 9 | 125-129 | Continue | |
| Wall Street | Central Park | 9 | 125-129 | Continue | |
| First Street | Central Park | 9 | 125-129 | Vacate | |
| Luke Street | Central Park | 9 | 125-129 | Continue | |
| Goodridge Avenue | Charles L. Goodridge Estate | 33 | 50 | Continue | AKA Goodrich according to tax maps. |
| Eleanor Street | Charles L. Goodridge Estate | 33 | 50 | Continue | |
| Frederick Street, Peaks Island | Charlotte R. Shaw | 13 | 81 | Continue | |
| Ottawa Avenue, Cushings Island | Chas. E. Howe | 4 | 59 | Continue | |
| Shore Road, Cushings Island | Chas. E. Howe | 4 | 59 | Continue | |
| Alnsworth Street | Congress Terrace | 14 | 61 | Vacate | |
| Osgood Street | Congress Terrace | 14 | 61 | Continue/Accept | |
| Caribou Street | Congress Terrace | 14 | 61 | Continue | |
| Phillips Street | Congress Terrace | 14 | 61 | Continue | |
| Chandler Street | Congress Terrace | 14 | 61 | Continue | |
| Ferway Street | Congress Terrace | 14 | 61 | Continue | |
| Hobart Street | Congress Terrace | 14 | 61 | Continue | |
| Westland Avenue | Congress Terrace | 14 | 61 | Continue | |
| Pamela Street | Crest View Acres-Section 5 | 59 | 22 | Continue | |
| Crest View Drive | Crest View Acres-Section 5 | 59 | 22 | Continue | |
| Corliss Road | C.B. Walton & Company | 10 | 91 | Continue/Vacate | Continue between Presump School and Sherwood Street; Vacate remainder |
| E Street | C.B. Walton & Company | 10 | 91 | Continue/Vacate | Continue between Presump School and Sherwood Street; Vacate remainder |
| Dalton Street | C.B. Walton & Company | 10 | 91 | Continue/Vacate | Continue up to F Street; Vacate from F Street to Presump School |
| F Street | C.B. Walton & Company | 10 | 91 | Continue | |
| Lunt Street | C.B. Walton & Company | 10 | 91 | Vacate | |
| Proposed Street | C.L. Goodridge & J.A. Bueluo | 8 | 99 | Vacate | |
| Barlett Street | Deering Center | 9 | 23 | Accept/Vacate | Accept from Hamblet to Fuller; Vacate from Fuller to Athletic Fields |
| Hale Street | Deering Center | 9 | 23 | Accept/Continue | |
| Belden Street | Deering Terrace | 12 | 6 | Continue | |
| Epping Street | Deering Terrace | 12 | 6 | Continue | |
| Brandon Street | Deering Terrace | 12 | 6 | Continue | |
| Tifton Street | Deering Villa | 11 | 71 | Continue | |
| Roslyn Street | Deering Villa | 11 | 71 | Vacate | |

FROM : DPUB111

FAX NO. : 2078748852

BK 13326PG023

Jan. 11 2006 03:25PM PS

ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland Electrical Ordinance, National Electrical Code and the following specifications:

Date 5/1/06
 Permit # 06-4373
 CBL# 341 B 012

LOCATION: 46 Broadway st

METER MAKE & #

CMP ACCOUNT #

OWNER Julie Sawtelle

TENANT

PHONE #

| OUTLETS | 4 | Receptacles | / | Switches | Smoke Detector | TOTAL EACH FEE |
|-------------------|---|------------------------|-------|---------------|-----------------|----------------|
| FIXTURES | | Incandescent | | Fluorescent | Strips | .20 |
| SERVICES | | Overhead | | Underground | TTL AMPS <800 | 15.00 |
| | | Overhead | | Underground | >800 | 25.00 |
| Temporary Service | | Overhead | | Underground | TTL AMPS | 25.00 |
| METERS | | (number of) | | | | 1.00 |
| MOTORS | | (number of) | | | | 2.00 |
| RESID/COM | | Electric units | | | | 1.00 |
| HEATING | | oil/gas units | | Interior | Exterior | 5.00 |
| APPLIANCES | | Ranges | | Cook Tops | Wall Ovens | 2.00 |
| | | Insta-Hot | | Water heaters | Fans | 2.00 |
| | | Dryers | | Disposals | Dishwasher | 2.00 |
| | | Compactors | | Spa | Washing Machine | 2.00 |
| | | Others (denote) | | | | 2.00 |
| MISC. (number of) | | Air Cond/win | | | | 3.00 |
| | | Air Cond/cent | | | Pools | 10.00 |
| | | HVAC | | | Thermostat | 5.00 |
| | | Signs | | EMS | | 10.00 |
| | | Alarms/res | | | | 5.00 |
| | | Alarms/com | | | | 15.00 |
| | | Heavy Duty(CRKT) | | | | 2.00 |
| | | Circus/Carnv | | | | 25.00 |
| | | Alterations | | | | 5.00 |
| | | Fire Repairs | | | | 15.00 |
| | | E Lights | | | | 1.00 |
| | | E Generators | | | | 20.00 |
| PANELS | | Service | | Remote | Main | 4.00 |
| TRANSFORMER | | 0-25 Kva | | | | 5.00 |
| | | 25-200 Kva | | | | 8.00 |
| | | Over 200 Kva | | | | 10.00 |
| | | MINIMUM FEE/COMMERCIAL | 45.00 | | | |
| | | TOTAL AMOUNT DUE | | | | 35.00 |
| | | MINIMUM FEE | | | | |

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 MAY 1 2006
 RECEIVED

CONTRACTORS NAME Steve McLellan ELES
 ADDRESS 81 LAKE AVE
 TELEPHONE 415-1075

MASTER LIC. # MS 4008775
 LIMITED LIC. #

SIGNATURE OF CONTRACTOR [Signature]

1260

PLUMBING APPLICATION

PROPERTY ADDRESS

Town of Plantation
Street
Subdivision Lot #

PORTLAND
46 BROADWAY

PROPERTY OWNERS NAME

Last: First:
SANTILLI JULIE
Applicant Name:
SOUTHWIND WASTE
Mailing Address of Owner/Applicant (If Different):
160 PRESUMPSOT ST.
PORTLAND, ME 04103

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

Signature of Owner/Applicant: *Julie Santilli* Date: 10/13/04

048425

9126 TOWN COPY

PORTLAND Date Permit Issued: 10/13/04 \$ 1580.00 If Double Fee FEE Charged

L.P.I. # 360

Local Plumbing Inspector Signature: *[Signature]*

3413012

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature: _____ Date Approved: _____

PERMIT INFORMATION

This Application is for
1. NEW PLUMBING
2. RELOCATED PLUMBING

Type of Structure To Be Served:
1. SINGLE FAMILY DWELLING
2. MODULAR OR MOBILE HOME
3. MULTIPLE FAMILY DWELLING
4. OTHER - SPECIFY _____

Plumbing To Be Installed By:
1. MASTER PLUMBER
2. OIL BURNERMAN
3. MFG'D. HOUSING DEALER/MECHANIC
4. PUBLIC UTILITY EMPLOYEE
5. PROPERTY OWNER
LICENSE # 02788

Hook-Up & Piping Relocation Maximum of 1 Hook-Up

HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.

OR

HOOK-UP: to an existing subsurface wastewater disposal system.

PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.

OR

TRANSFER FEE
[\$6.00]

| Number | Column 2 | Number | Column 1 |
|--------|--|--------|------------------------------|
| | Type of Fixture | | |
| | Hosebibb / Sillcock | 01 | Bathtub (and Shower) |
| | Floor Drain | 01 | Shower (Separate) |
| | Urinal | | Sink |
| | Drinking Fountain | 02 | Wash Basin |
| | Indirect Waste | 02 | Water Closet (Toilet) |
| | Water Treatment Softener, Filter, etc. | 01 | Clothes Washer |
| | Grease / Oil Separator | | Dish Washer |
| | Dental Cuspidor | | Garbage Disposal |
| | Bidet | | Laundry Tub |
| | Other: | | Water Heater |
| | Fixtures (Subtotal) Column 2 | 07 | Fixtures (Subtotal) Column 1 |
| | | 00 | Fixtures (Subtotal) Column 2 |
| | | 07 | Total Fixtures |
| | | | Fixture Fee |
| | | | Transfer Fee |
| | | | Hook-Up & Relocation Fee |
| | | | Permit Fee (Total) |
| | | | 580 |

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland Electrical Ordinance, National Electrical Code and the following specifications:

Date 10.18.04

Permit # 045129

CBL# 341 B 012

LOCATION: 46 Broadway St.

METER MAKE & #

CMP ACCOUNT # _____ OWNER _____

Saw Falls

TENANT _____ PHONE # _____

| OUTLETS | Receptacles | Switches | Smoke Detector | TOTAL EACH FEE |
|-------------------|------------------------------|---------------|------------------|----------------|
| | 25 | | 2 | .20 |
| FIXTURES | 6 Incandescent | Fluorescent | Strips | .20 |
| SERVICES | Overhead | Underground | TTL AMPS <800 | 15.00 |
| | Overhead | Underground | >800 | 25.00 |
| Temporary Service | Overhead | Underground | TTL AMPS | 25.00 |
| METERS | (number of) | | | 25.00 |
| MOTORS | (number of) | | | 1.00 |
| RESID/COM | Electric units | | | 2.00 |
| HEATING | oil/gas units | Interior | Exterior | 1.00 |
| APPLIANCES | Ranges | Cook Tops | Wall Ovens | 5.00 |
| | Insta-Hot | Water heaters | Fans | 2.00 |
| | Dryers | Disposals | Dishwasher | 2.00 |
| | Compactors | Spa | Washing Machine | 2.00 |
| | Others (denote) | | | 2.00 |
| MISC. (number of) | Air Cond/win | | | 3.00 |
| | Air Cond/cent | | Pools | 10.00 |
| | HVAC | EMS | Thermostat | 5.00 |
| | Signs | | | 10.00 |
| | Alarms/res | | | 5.00 |
| | Alarms/com | | | 15.00 |
| | Heavy Duty(CRKT) | | | 2.00 |
| | Circus/Carnv | | | 25.00 |
| | Alterations | | | 5.00 |
| | Fire Repairs | | | 15.00 |
| | E Lights | | | 1.00 |
| | E Generators | | | 20.00 |
| PANELS | Service | Remote | Main | 4.00 |
| TRANSFORMER | 0-25 Kva | | | 5.00 |
| | 25-200 Kva | | | 8.00 |
| | Over 200 Kva | | | 10.00 |
| | MINIMUM FEE/COMMERCIAL 45.00 | | TOTAL AMOUNT DUE | 35.00 |
| | | | MINIMUM FEE | |

PERMIT BUILDING DEPT
 OCT 18 2004
 REGISTERED

CONTRACTORS NAME Koffey Elec. Inc
 ADDRESS 26 Brooksiana Dr. Falmouth
 TELEPHONE 7733400

MASTER LIC. # 8675
 LIMITED LIC. # _____

SIGNATURE OF CONTRACTOR [Signature]

CK 8022

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- NA Footing/Building Location Inspection: Prior to pouring concrete
- NA Re-Bar Schedule Inspection: Prior to pouring concrete
- NA Foundation Inspection: Prior to placing ANY backfill
- ✓ Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- ✓ Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: ~~There is a fee for~~ inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

✓ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature] 10/1/04

Signature of Applicant/Designee

Date 10/1/04

Signature of Inspections Official

Date

CBL: 341312 Building Permit #: 041390



CITY OF PORTLAND, MAINE
 Department of Building Inspections

2022

Received from _____

Location of Work 1390 F. H. ...

Cost of Construction \$ _____

Permit Fee \$ _____

Building (IL) Plumbing (I5) Electrical (I2) Site Plan (I2)

Other _____

CBL: 2021 068

Check #: 1745

Total Collected \$ 921

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
 YELLOW - Office Copy
 PINK - Permit Copy