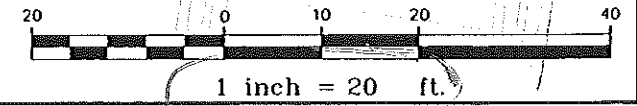


**NOTES:**

1. LOT LAYOUT AND GRADING CONFIGURATIONS SHOWN ON THIS PLAN REPRESENT THE INTENDED FINAL DEVELOPMENT OF THE LOT FOR BUILDING PERMIT PURPOSES AS APPROVED BY THE CITY OF PORTLAND PLANNING BOARD ON FEBRUARY 24, 2004. ANY DEVIATION FROM THESE PLANS, BE IT EITHER BUILDING SIZE, PARKING CONFIGURATION, GRADING CHANGES, ETC. SHALL REQUIRE REVIEW AND APPROVAL FROM THE CITY OF PORTLAND PLANNING BOARD, AS WELL AS REVIEW BY THE SUBDIVISION DEVELOPER.
2. TOPOGRAPHIC DATA AND EXISTING CONDITIONS ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2002.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH BEST MANAGEMENT PRACTICES EROSION CONTROL MEASURES. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE SUBDIVISION DEVELOPER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
5. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
6. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
8. LOT DEVELOPER SHALL BE RESPONSIBLE FOR DRIVEWAY CONSTRUCTION BEYOND THE DRIVEWAY APRON AND SIDEWALK.

DOUGLAS E. REYNOLDS  
 NO. 9868  
 REGISTERED PROFESSIONAL ENGINEER  
 STATE OF MAINE

BUILDING INSPECTOR  
 CITY OF PORTLAND, ME  
 MAY 24 2004



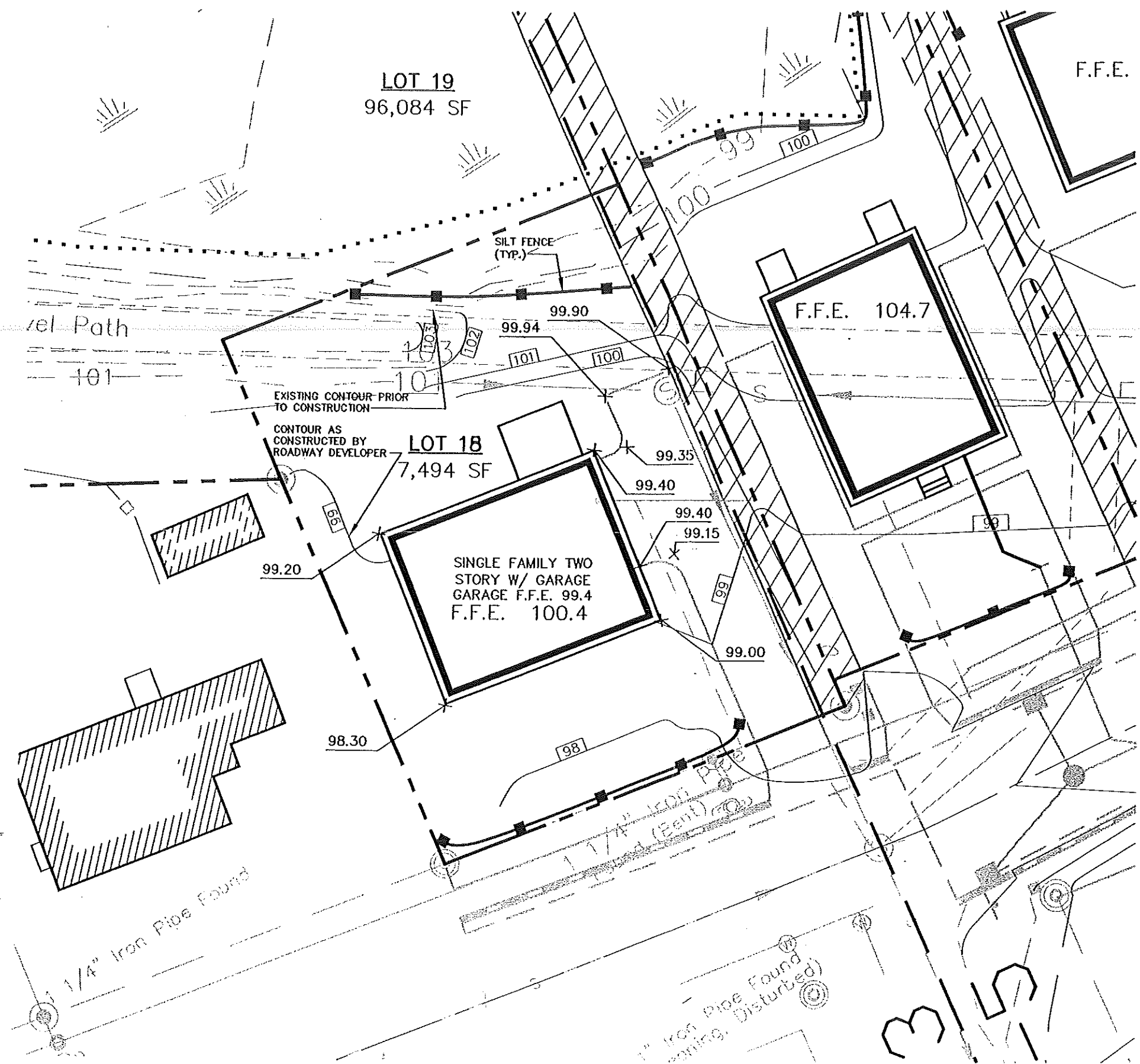
Rev.	Date	Revision

Design:	DER	Date:	4/04
Draft:	CAH	Job No.:	632
Checked:	DER	Scale:	1"=20'
File Name:	632-LOTS		

Gorrill-Palmer Consulting Engineers, Inc.  
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 PO Box 1237  
 15 Shaker Road  
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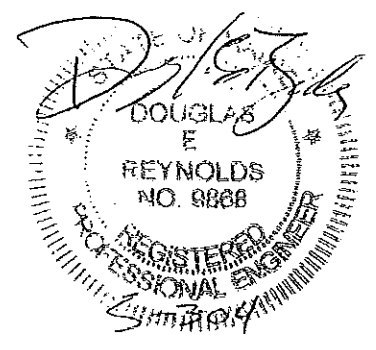
Drawing Name:	Lot 18 Lot Layout and Utility Plan
Project:	CARRIAGE LANE

Figure No.  
**1**



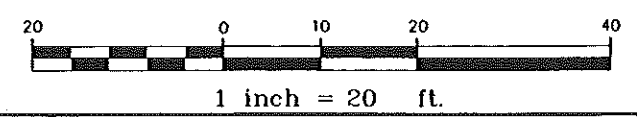
**NOTES:**

1. ALL DISTURBED AREAS NOT SUBJECT TO PAVEMENT OR BUILDING SHALL RECEIVE 4" OF LOAM AND SEED.
2. LOT LAYOUT AND GRADING CONFIGURATIONS SHOWN ON THIS PLAN REPRESENT THE INTENDED FINAL DEVELOPMENT OF THE LOT FOR BUILDING PERMIT PURPOSES. ANY DEVIATION FROM THESE PLANS, BE IT EITHER BUILDING SIZE, PARKING CONFIGURATION, GRADING CHANGES, ETC. SHALL REQUIRE REVIEW AND APPROVAL FROM THE CITY OF PORTLAND PLANNING BOARD, AS WELL AS REVIEW BY THE SUBDIVISION DEVELOPER.
3. ADDITIONAL EROSION CONTROL MEASURES OVER AND ABOVE THOSE USED BY ROADWAY CONTRACTOR MAY BE REQUIRED TO MEET EROSION CONTROL BEST MANAGEMENT PRACTICES.
4. LOT DEVELOPER SHALL BE RESPONSIBLE FOR RESTORING FINAL GRADES TO ELEVATIONS PROVIDED BY ROADWAY DEVELOPER. GRADES ADJACENT TO BUILDING SHALL BE ADJUSTED TO DIRECT FLOW AWAY FROM STRUCTURES AND TOWARDS DRAINAGE EASEMENTS ALONG PROPERTY LINE.



1/4" Iron Pipe Found

1" Iron Pipe Found  
Spring, Disturbed



Rev.	Date	Revision

Design: DER	Date: 4/04
Draft: CAH	Job No.: 632
Checked: DER	Scale: 1"=20'
File Name: 632-LOTS	

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
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 E-Mail: mailbox@gorrpalmer.com

Drawing Name:	Lot 18 Grading Plan
Project:	CARRIAGE LANE

Figure No.  
**2**

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, MAINE  
**RECEIVED**  
JUL 1 2004

THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. THE PLANNING AND PAULINA BLACK, ARCHITECT, INC. HAS ASSUMED RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THIS PROJECT. THE CITY OF PORTLAND, MAINE, DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THESE PLANS AND SPECIFICATIONS. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING THE SERVICES OF A REGISTERED ARCHITECT OR ENGINEER FOR THE DESIGN AND CONSTRUCTION OF THIS PROJECT. CONTRACT SPECIFICATIONS, GENERAL BUILDING PLANS, AND ALL OTHER DOCUMENTS SHALL BE READ AND UNDERSTOOD IN CONNECTION WITH THESE PLANS AND SPECIFICATIONS.

PROJECT NAME:  
**HIGGINS COLONIAL**  
BROADWAY

**NEW**  
838-5820

CITY OF PORTLAND, MAINE  
APPROVED CONSTRUCTION PLANS

JUL 01 2004

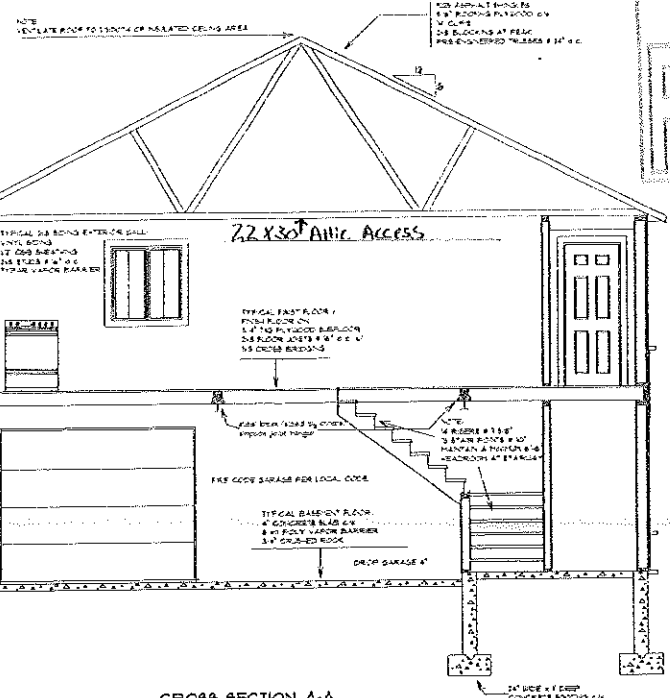
SUPERSEDES ALL  
PRIOR DATED PLANS

DATE: 1-4-02  
SCALE: AS SHOWN  
FILE:  
SHEET 1 OF 3

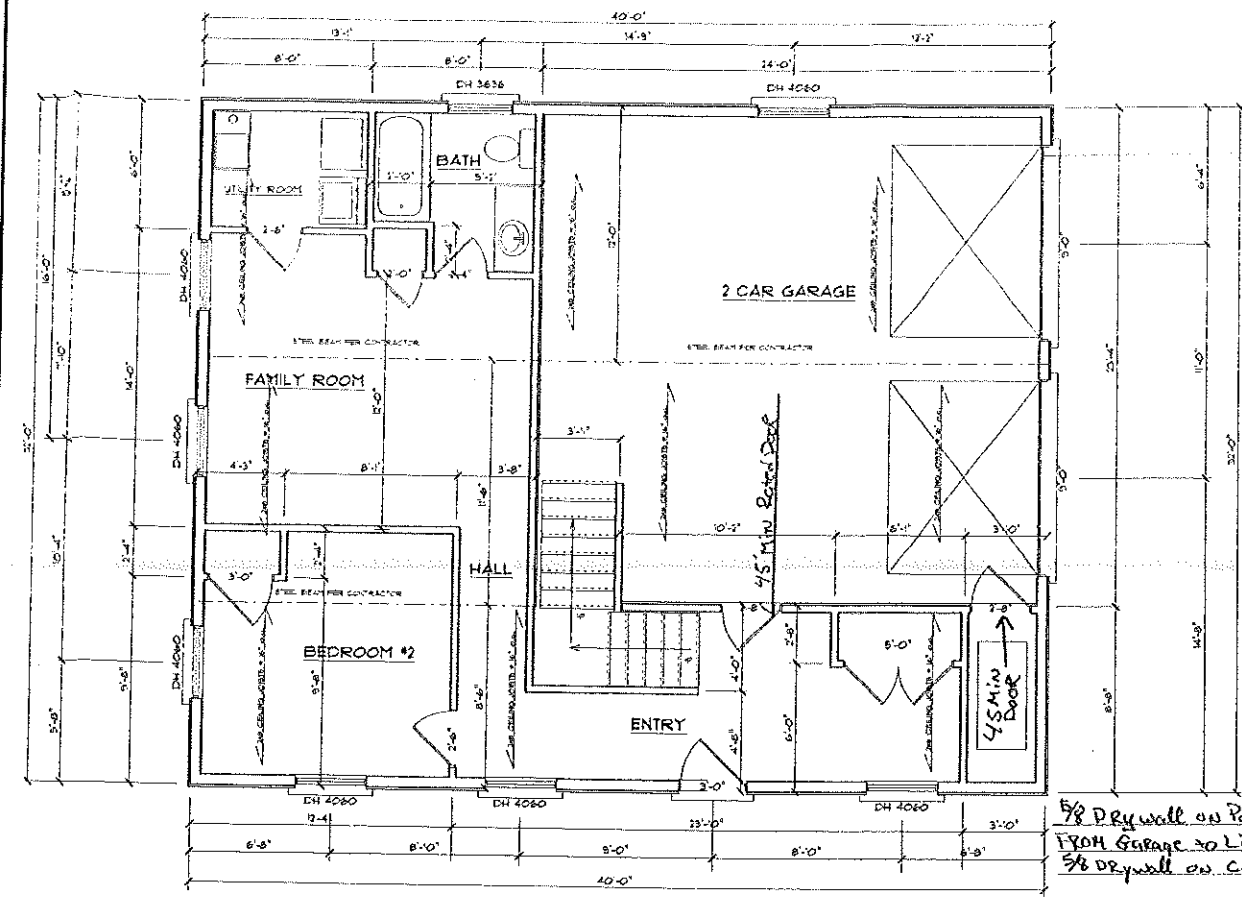
2-9/4" L.V.L. Headers  
w/ Blocker For Spaces

Build 4" Mini Apex  
3/6" Girder Rafters  
Double 2x8 P.T. Box  
4x4 P.T. Post 6' O.C.  
Simpson Post Brackets  
8" Frost Piers

Deck Stairs R.12-R.10  
10" 7/4"



CROSS SECTION A-A  
SCALE: 1/4" = 1'-0"

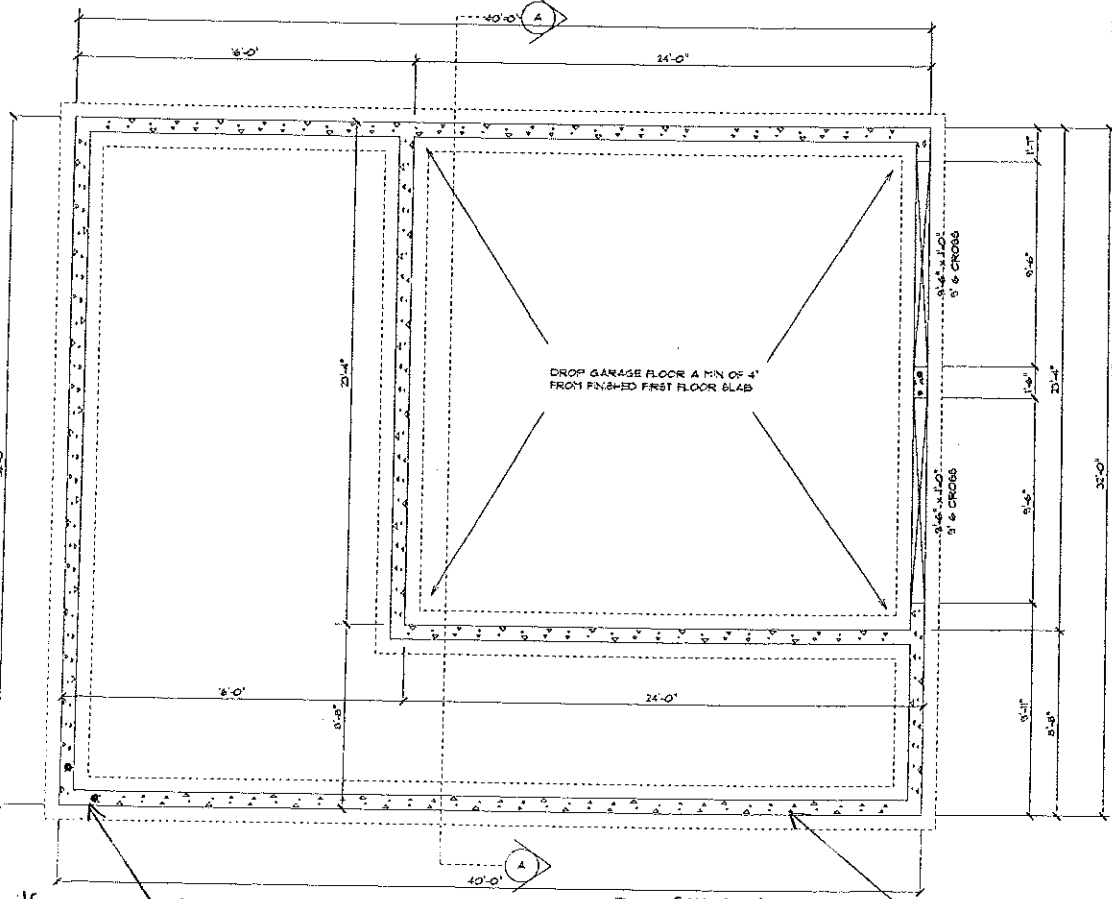


5/8 Drywall on Party Walls  
FROM Garage to Living Space  
5/8 Drywall on Ceiling of Garage

1ST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

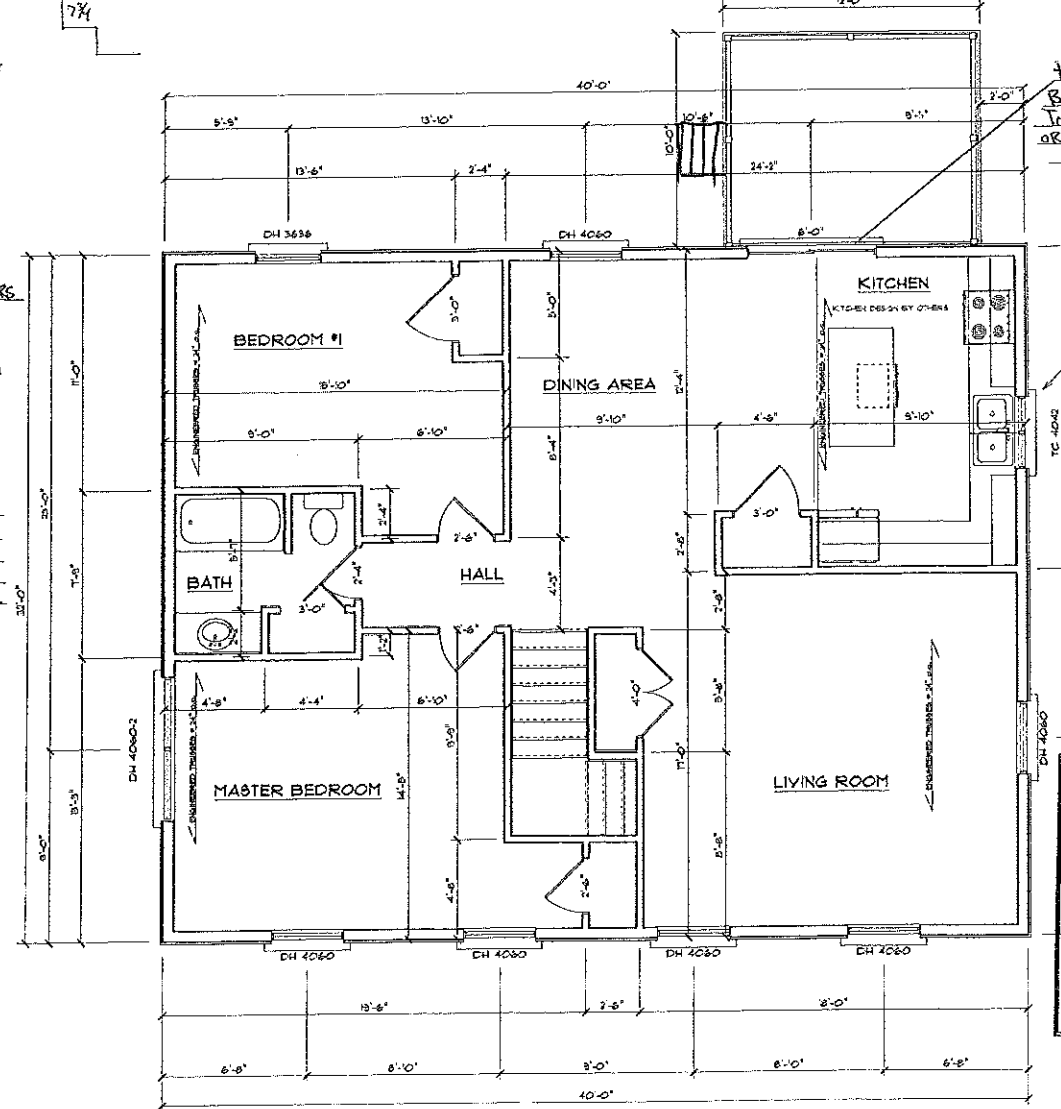
Notes

- 1) Stair Hand Rails Between 34" - 38" From Front of Stairs
- 2) All Bedrooms and Common w/ Battery Back-up. Hard wired per 1999 Code
- 3) Halls to have Smokes w/ Battery Back-up. Hard wired per 1999 Code
- 4) Window in Bath Area 3' From Tub to be tempered glass
- 5) Bedroom window 4'0" to Next Egress Size. Permits per 1999 Code



\* 2" Anchor Bolts 6' O.C.  
Bolt @ Corners 6" - 12"

Down Sill Sealer  
2x6 P.T. Plates Bolted  
FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



2ND FLOOR PLAN  
SCALE: 1/4" = 1'-0"