

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: Meadow Ave. Great Diamond Island		Owner: Vincent Leto		Phone: 776-2171		Permit No: 99438512	
Owner Address: 115 Livingston St. New Haven, Ct 06516		Lessee/Buyer's Name: N/A		Phone: N/A		Business Name: N/A	
Contractor Name: Stephen Berube		Address: 28 Vaill St. Portland, ME 04103		Phone: 772-2541		Permit Issued: DEC 16 1999	
Past Use: 1-Family		Proposed Use: same		COST OF WORK: \$ 12,000		PERMIT FEE: \$ 96.00	
		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: A3 Type: 579		CITY OF PORTLAND	
Proposed Project Description: 8' x 12' addition to kitchen.		Signature:		Signature: <i>Hoffman</i>		Zone: CBL: 083-A-F-001	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Zoning Approval: Special Zone or Reviews: <input checked="" type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm	
Permit Taken By: KA		Date Applied For: 12-10-99		Signature:		Date:	

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

** Please Send to: Stephen Berube
28 Vaill Street
Portland, ME 04103

EXPIRED

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

12-10-99

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Zoning Appeal

- Variance
- Miscellaneous
- Conditional Use
- Interpretation
- Approved
- Denied

Historic Preservation

- Not in District or Landmark
- Does Not Require Review
- Requires Review

Action:

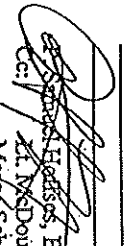
- Approved
- Approved with Conditions
- Denied

Date: _____

CEO DISTRICT

1

19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
21. The Fire Alarm System shall maintained to NFPA #72 Standard.
22. The Sprinkler System shall maintained to NFPA #13 Standard.
23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1996)
24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics)
27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
28. All requirements must be met before a final Certificate of Occupancy is issued.
29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
31. Please read and implement the attached Land Use Zoning report requirements. To Review with IFAW by
32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
33. Bridging shall comply with Section 2305.16.
34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2405.0)
35. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1996).


 Robert Hodges, Building Inspector
 Lt. M. Dougal, PHD
 Marge Schnuckel, Zoning Administrator

PSH 11/23/99

**On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.

***THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE
 CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE
 WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER
 SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE
 CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR
 CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD.

****CERTIFICATE OF OCCUPANCY FEE \$50.00

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Additions/Alterations/Accessory Structures
To Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: <i>Great Diamond Island (Moose Ave)</i>			
Tax Assessor's Chart, Block & Lot Number <i>Chart 0838 Block # AF Lot # 1, 2, 001</i>	Owner: <i>VINCENT LETO</i>	Telephone: <i>203-776-2171</i>	
Owner's Address: <i>115 Livingston St New Haven, Ct 06516</i>	Lessee/Buyer's Name (If Applicable)	Cost Of Work: <i>\$12,000.00</i>	Fee: <i>\$96.00</i>
Proposed Project Description: (Please be as specific as possible) <i>8' x 12' addition to kitchen</i>			
Zip <i>04102</i> Contractor's Name, Address & Telephone <i>Stephen Berube Portland, Me Home 772-2541</i> Rec'd By: <i>[Signature]</i>			

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

• All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.

• All plumbing must be conducted in compliance with the 1996 National Electrical Code as amended by Section 6-Art III.

• HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

If there is expansion to the structure, a complete plot plan (Site Plan) must include:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and required zoning district setbacks

4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

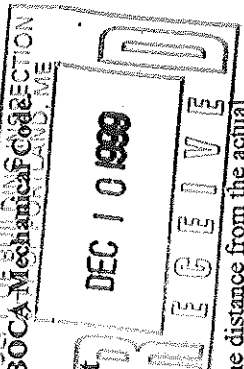
Certification

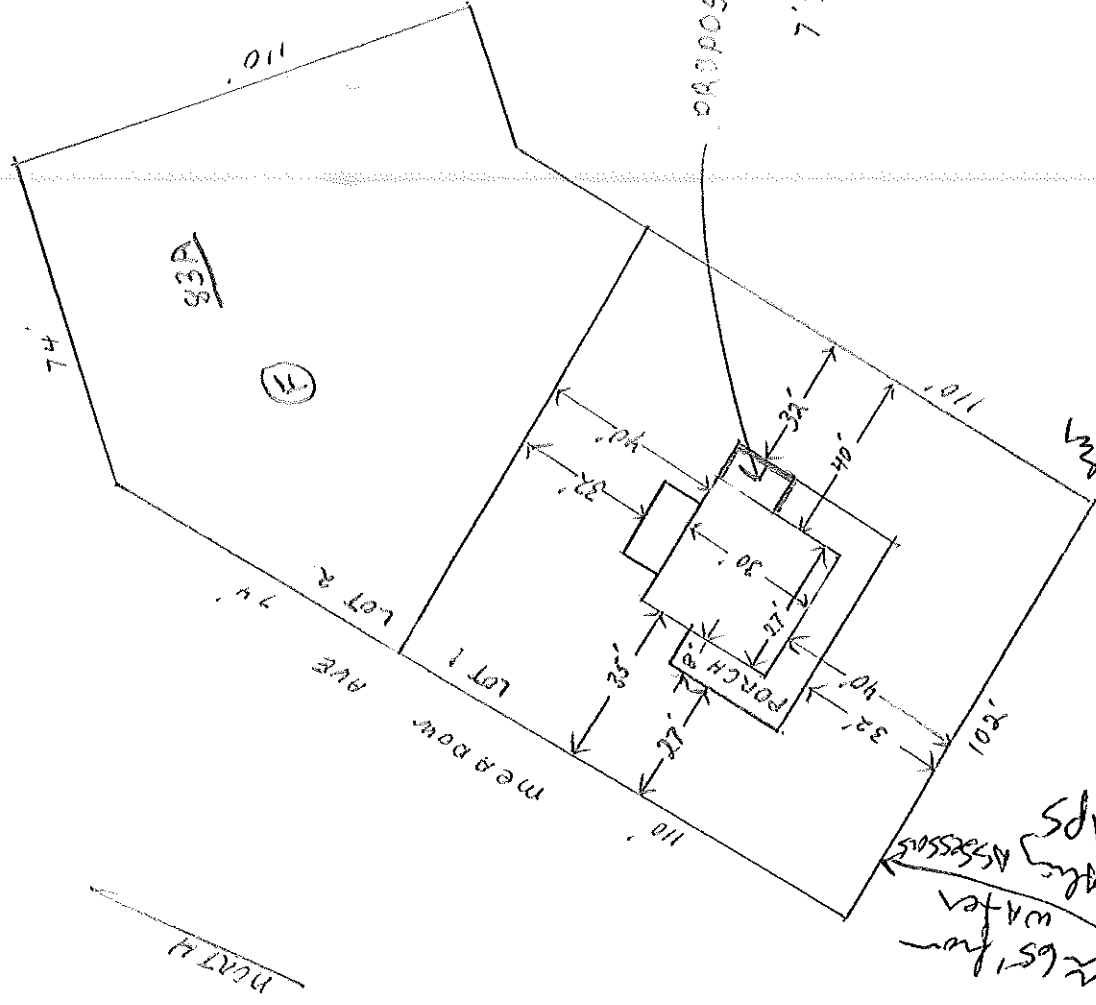
I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>[Signature]</i>	Date: <i>Dec 5, 1999</i>
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O:\INS\CORRESP\MUN\GENT\AP\ADSF.D.WPD Building Permit Fee: \$300.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

please mail permit to CONTRACTOR.





83A

(11)

PROPOSED ADDITION

7'9" x 12'8" *type*

IR-2

front yard 25' - 32' 1/2' - 40' - 50' - 60' - 70' - 80' - 90' - 100' - 110' - 120' - 130' - 140' - 150' - 160' - 170' - 180' - 190' - 200'

← 65' from water
per Seale's Assessors MAPS

12 21
17
40
65

OWNER: VINCENT LETO

GREAT DIAMOND ISLAND

LOT 83A F1, F2

scale 1/4" = 10'

PROPOSED
ADDITION
SIDE
VIEW

EXISTING
STRUCTURE

7'-9"

2'-8" * 2'-8"

2x6
2x6
2x6

RAFTERS

4x6 HEAVEN

2x4'S 14" OC
1/2" plywood
SHEATHING

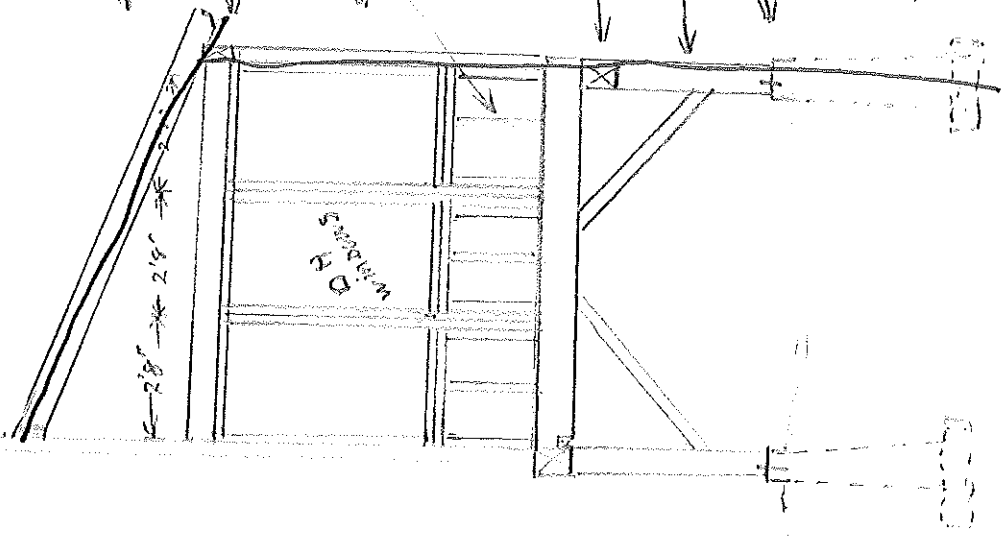
2x8 FLOOR JOIST

6x6 BEAM

6x6 PT POST

DRIFT PIN

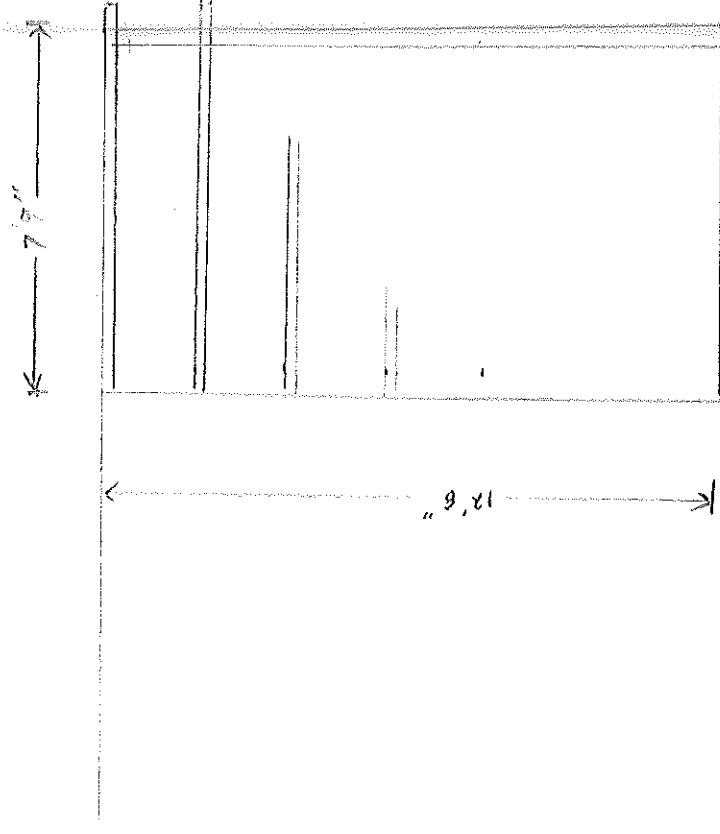
TAPERED
CONCRETE
PIERS
w/ REEF



SCALE 1/4" = 1'

WITH
↓

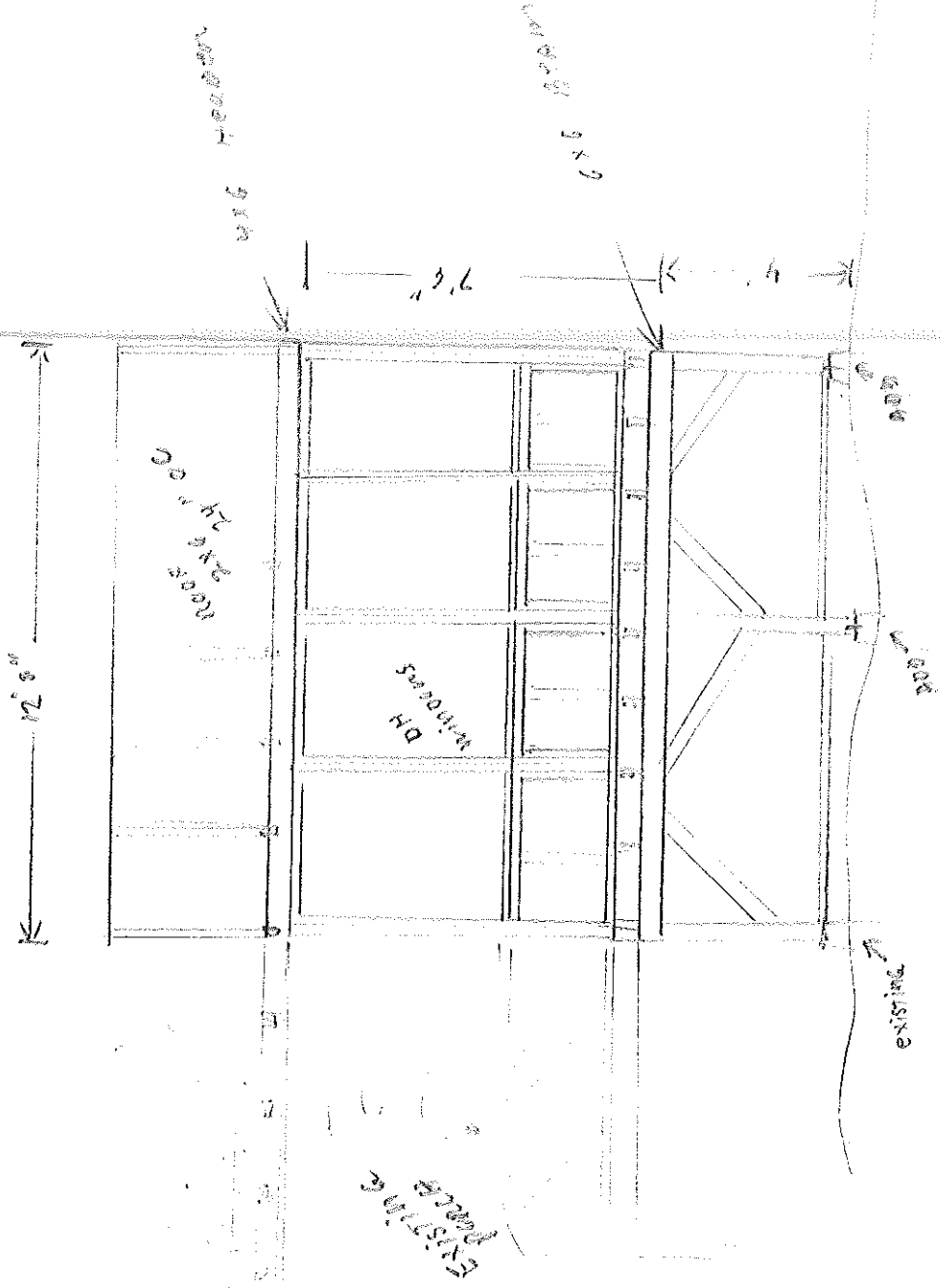
ROOF



ROOF RAFTERS
2x6 24" OC
3/4" T+G PLYWOOD
SHEATHING
ASPHALT SHINGLES

1" = 1/4"
SCALE

PROPOSED ADDITION
FRONT VIEW



Scale 1/8" = 1'