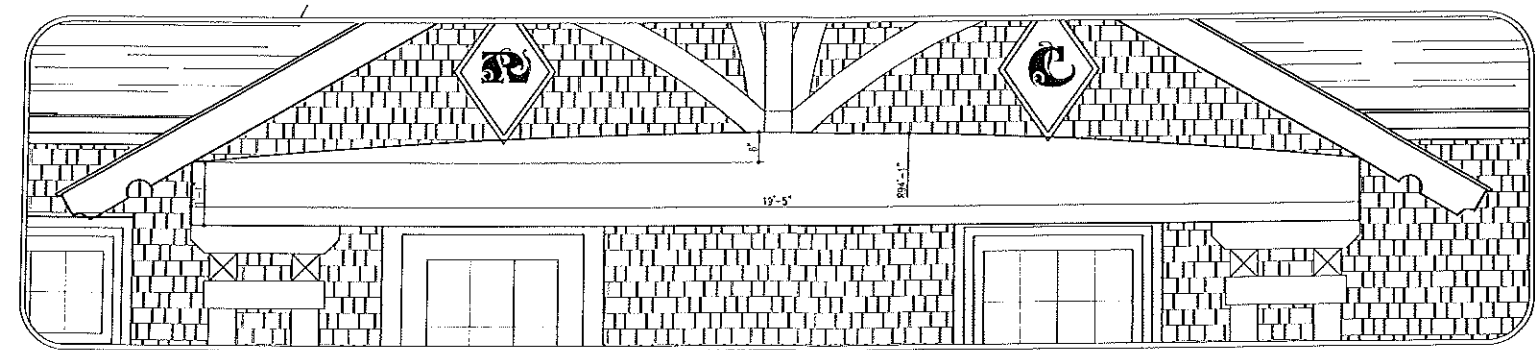
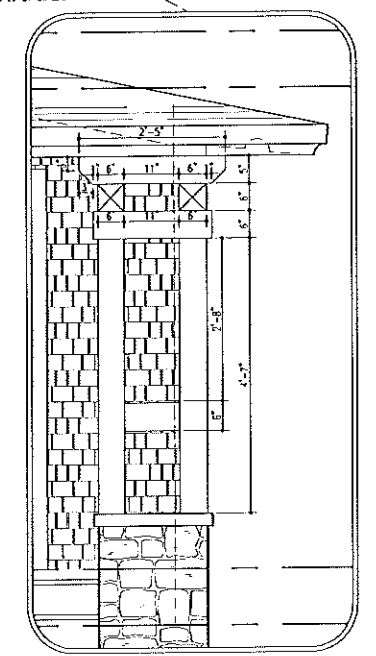


Front Elevation - Crescent Avenue

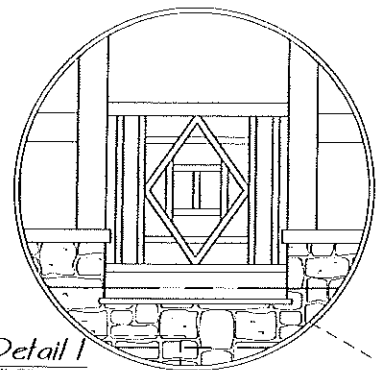


Porch Detail I  
Scale: 3/4" = 1'-0"



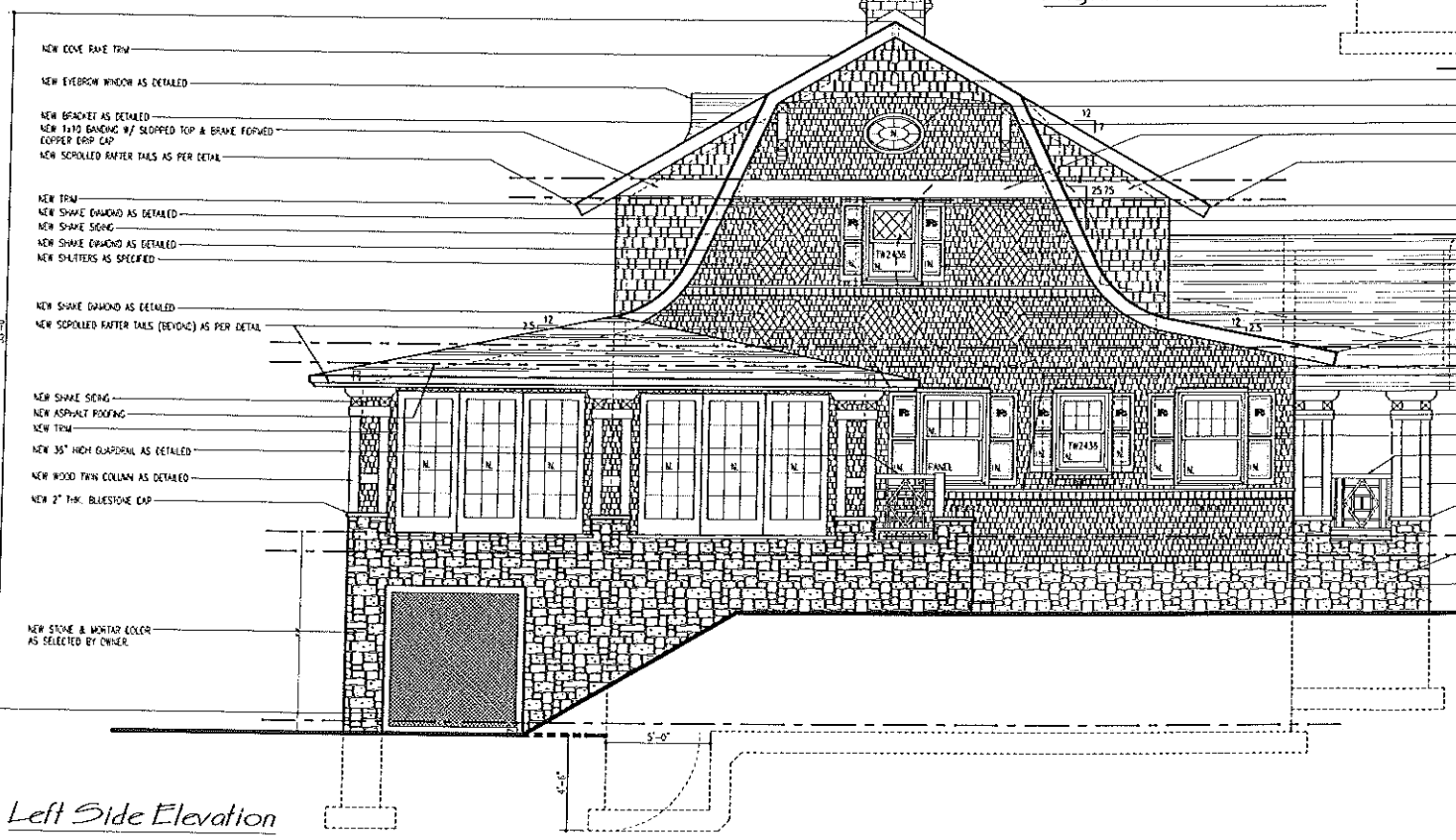
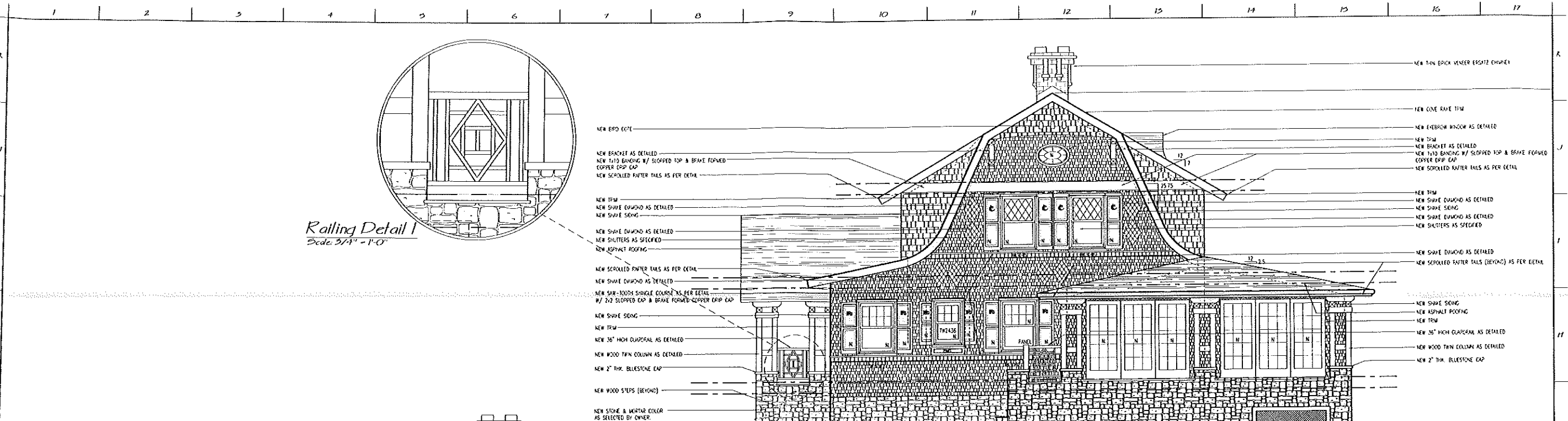
Column Detail I  
Scale: 3/4" = 1'-0"

Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:	Client Information	Professional Information	Project Details
<ul style="list-style-type: none"> <li>Existing Pattern to Remain</li> <li>Existing Pattern to be Removed</li> <li>New Pattern</li> <li>New Gyp/Dd over Exst. Fining</li> <li>4 x 4 Post</li> <li>4 x 6 Post</li> <li>Post Nave</li> <li>Arched Opening</li> <li>Ceiling / Wall Height</li> </ul>	<p>Floor Loads</p> <p>Slab Area: 20 W/ft live, 10 W/ft dead</p> <p>Floor Loads</p> <p>Over Area: 40 W/ft live, 20 W/ft dead</p> <p>Roof Loads</p> <p>Roof Area: 50 W/ft live, 10 W/ft dead</p> <p>Bathroom: 40 W/ft live, 20 W/ft dead</p> <p>Exterior Decks: 20 W/ft live, 10 W/ft dead</p>	<p>New First Floor: 1501.00 FT<sup>2</sup></p> <p>New Porches: 1401.00 FT<sup>2</sup></p> <p>Front Sloop: 124.50 FT<sup>2</sup></p> <p>New Second Floor: 940.50 FT<sup>2</sup></p> <p>Total Area: 3467.00 FT<sup>2</sup></p> <p>Total of New: 17 Porches &amp; Slops: 1021.50 FT<sup>2</sup></p> <p>Volume of New: 1850 CU FT</p>	<p>Assessor's Map: 03M21840 Zone: R1</p> <p>Use Group: R3 Concl. Class: 50</p> <p>Code Jurisdiction:</p> <p>Res: 12</p> <p>1000 MEC</p> <p>Standard Fire Code (New at time)</p>	<p>New Residence for:</p> <p>Mrs. Connolly and</p> <p>Mr. &amp; Mrs. Roberts</p> <p>Crescent Avenue - GDI</p> <p>Portland, Maine 04109</p>	<p>EREZUMA ARCHITECTS LLC.</p> <p>225 HALL STREET #255</p> <p>MADISON, NEW JERSEY 07940</p> <p>PHONE: 866.512.9063 FAX: 866.512.9063</p>	<p>Project No: 12</p> <p>Date: 08/12/2009</p> <p>Scale: 1/4" = 1'-0" as noted</p> <p>Drawn By: CE</p> <p>Checked By: CE</p> <p>Project: 13</p>

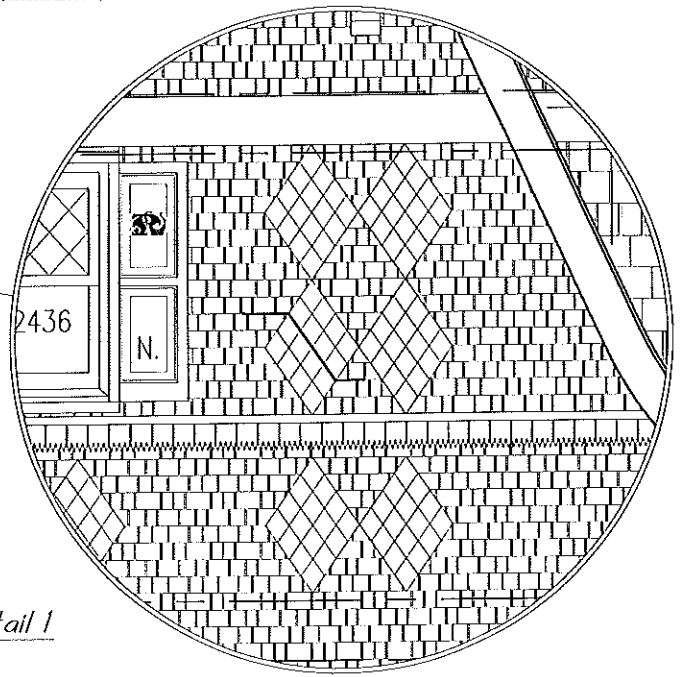


Railing Detail 1  
Scale: 3/4" = 1'-0"

Right Side Elevation



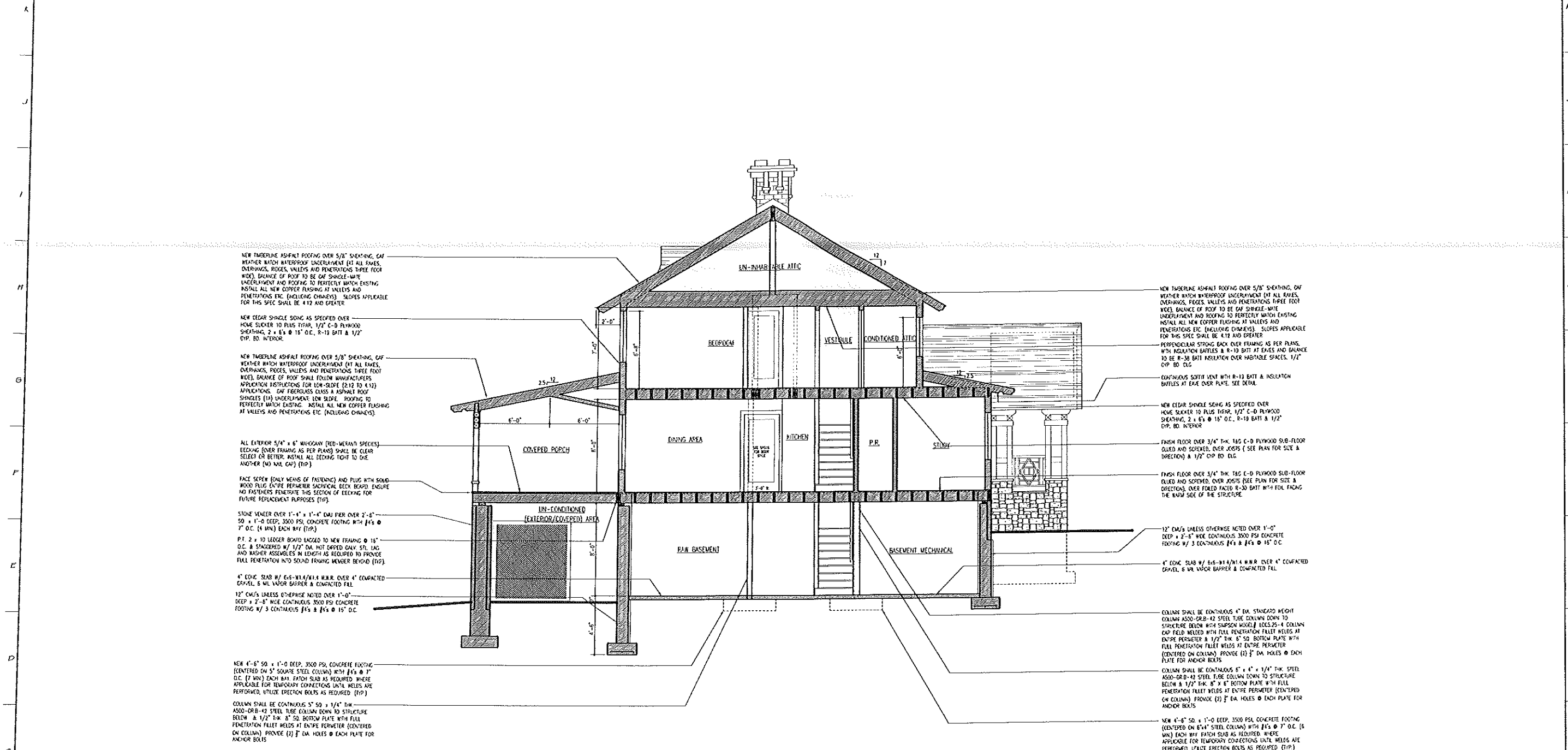
Left Side Elevation



Siding Detail 1  
Scale: 3/4" = 1'-0"

Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:	Client Information	Architect Information	Professional Information
<ul style="list-style-type: none"> <li>Existing Pattern to Remain</li> <li>Existing Pattern to be Removed</li> <li>New Pattern</li> <li>New Gyp/Dbl over Exst. Framing</li> <li>4x4 Post</li> <li>4x6 Post</li> <li>Post Base</li> <li>Ached Opening</li> <li>Ceiling/Wall Height</li> </ul>	<p>Floor Loads</p> <p>Shelving Area: 20 W/psf live, 10 W/psf dead</p> <p>Floor Loads Over Area: 40 W/psf live, 20 W/psf dead</p> <p>Roof Loads: 20 W/psf live, 10 W/psf dead</p> <p>Porches: 40 W/psf live, 20 W/psf dead</p> <p>Exterior Decks: 20 W/psf live, 10 W/psf dead</p>	<p>New First Floor: 1991.50 FT<sup>2</sup></p> <p>New Porches: 1401.50 FT<sup>2</sup></p> <p>Front Sloop: 124.50 FT<sup>2</sup></p> <p>New Second Floor: 310.20 FT<sup>2</sup></p> <p>Total of New: 2491.50 FT<sup>2</sup></p> <p>Total of New w/ Porches &amp; Sloop: 4024.50 FT<sup>2</sup></p> <p>Volume of New: 18,258 CU FT</p>	<p>Project Information:</p> <p>Assessor's Map: BME1810 Zone: R2</p> <p>Use Group: R3 Cond. Class: 100</p> <p>Code Jurisdiction:</p> <p>Revised: 2009 IBC</p> <p>2014 International Building Code (with amendments)</p>	<p>New Residence for:</p> <p>Mrs. Connolly and</p> <p>Mr. &amp; Mrs. Roberts</p> <p>Crescent Avenue - GDI</p> <p>Portland, Maine 04109</p>	<p>Intellus :: Architecture :: Planning</p> <p>EREZUMA ARCHITECTS LLC.</p> <p>250 MAIN STREET #205</p> <p>MADISON, NEW JERSEY 07940</p> <p>PHONE: 866.912.7862 FAX: 866.251.9863</p>	<p>City of Erezuma</p> <p>AA, LEED-AP</p> <p>NJ 116261</p> <p>NY 020869-1</p> <p>ME 3201</p> <p>Design: Craig Erezuma</p> <p>Drawn: Erezuma</p> <p>Elevations Details: A-9</p> <p>Date: 01/21/2009 Sheet 13 of 18</p>

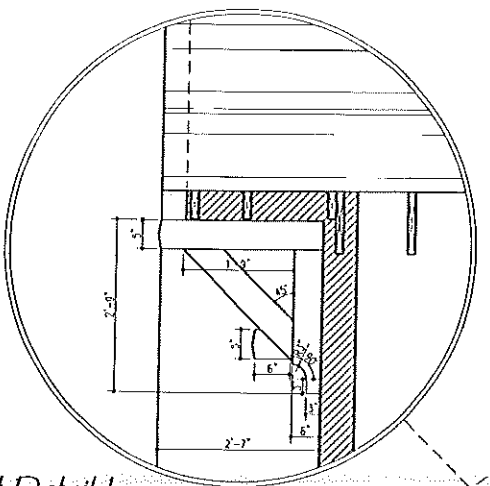




Cross Section A-A

Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:	New Residence for: Mrs. Connolly and Mr. & Mrs. Roberts Crescent Avenue - GDI Portland, Maine 04109		 Erezuma Architects, Planning 255 MAIN STREET #255 MADISON, NEW JERSEY 07940 PHONE 609.979.9862 FAX 609.979.9860		City/County NJ, LEED-IP NJ N16261 NY 050889-1 ME 2901 Drawing: Cross Section Date: 09/28/09 Sheet: 15 of 18
Existing Partition to Remain Existing Partition to be Removed New Partition New Exp'd. over Exst. Framing 4'-4" Foot 4'-16" Foot Foot Note Arched Opening Ceiling/Wall Height	Floor Loads 20 W/Sq Ft live 10 W/Sq Ft dead Floor Loads 40 W/Sq Ft live 20 W/Sq Ft dead Roof Loads 20 W/Sq Ft live 10 W/Sq Ft dead 40 W/Sq Ft live 20 W/Sq Ft dead Exterior Decks 20 W/Sq Ft live 10 W/Sq Ft dead	New First Floor 190150 FT. New Porches 140150 FT. Front Sloop 12120 FT. New Second Floor 91020 FT. Total of New 410520 FT. Total of New 4102450 FT. Volume of New 7828 CU FT.	Project Information: Assessor's Map: 03A11810 Zone: R2 Use Group: R3 Corcl. Class: R3 Code Jurisdictions: 2009-10-10 2010-10-10	Max. Date: (blank) Scale: 1/4" = 1'-0" as noted Drawn By: CE Checked By: CE Project No: (blank)	(blank)	(blank)	(blank)	





**Bracket Detail 1**  
Scale: 3/4" = 1'-0"

NEW CEDAR SHINGLE SOING AS SPECIFIED OVER  
HOME SLENDER 10 PLUS TYPAR, 1/2" C-D PLYWOOD  
SHEATHING, 2 x 6 @ 16" O.C., R-19 BATT & 1/2"  
CIP. BD. INTERIOR.

NEW TAPERLINE ASPHALT ROOFING OVER 5/8" SHEATHING, GAF  
WEATHER WATCH WATERPROOF UNDERLAMENT (AT ALL EAVES,  
OVERLAPS, RIDGES, VALLEYS AND PENETRATIONS THREE FOOT  
MIN). BALANCE OF ROOF SHALL FOLLOW MANUFACTURERS  
APPLICATION INSTRUCTIONS FOR LOW-SLOPE (2:12 TO 4:12)  
APPLICATIONS. GAF FIBERGLASS CLASS A ASPHALT ROOF  
SHINGLES (13) UNDERLAMENT LOW-SLOPE. ROOFING TO  
PERFECTLY MATCH EXISTING. INSTALL ALL NEW COPPER FLASHING  
AT VALLEYS AND PENETRATIONS ETC. (INCLUDING CHIMNEYS).

ALL EXTERIOR 5/4" x 8" WOODGANY (RED-MERANT SPECIES)  
DECOR (OVER FRAMING AS PER PLANS) SHALL BE CLEAR  
SELECT OR BETTER. INSTALL ALL DECORING TO ONE  
ANOTHER (NO MIX GAP) (TYP).

FACE SCREW (ONLY MEANS OF FASTENING) AND PLUG WITH SOLID  
WOOD PLUG ENTIRE PERIMETER SACRIFICIAL DECK BOARD. ENSURE  
NO FASTENERS PENETRATE THIS SECTION OF DECORING FOR  
FUTURE REPLACEMENT PURPOSES (TYP).

STONE VENEER OVER 1'-4" x 1'-4" CMU PER OVER 2'-6"  
50 x 1'-0" DEEP, 3500 PSI CONCRETE FOOTING WITH #4 @ 7"  
O.C. (4 MIN) EACH BAY (TYP).

P. 2 x 10 LEADER BOARD LAPPED TO NEW FRAMING @ 16"  
O.C. & STAGGERED W/ 1/2" DIA. HOT DIPPED GALV. STL. LAG  
AND WASHER ASSEMBLIES IN LENGTH AS REQUIRED TO PROVIDE  
FULL PENETRATION INTO SOUND FRAMING MEMBER BEYOND (TYP).

4" CONC. SLAB W/ 6-5-B1/W14 W/RR OVER 4" COMPACTED  
GRAVEL & 6 MIL VAPOR BARRIER & COMPACTED FILL.

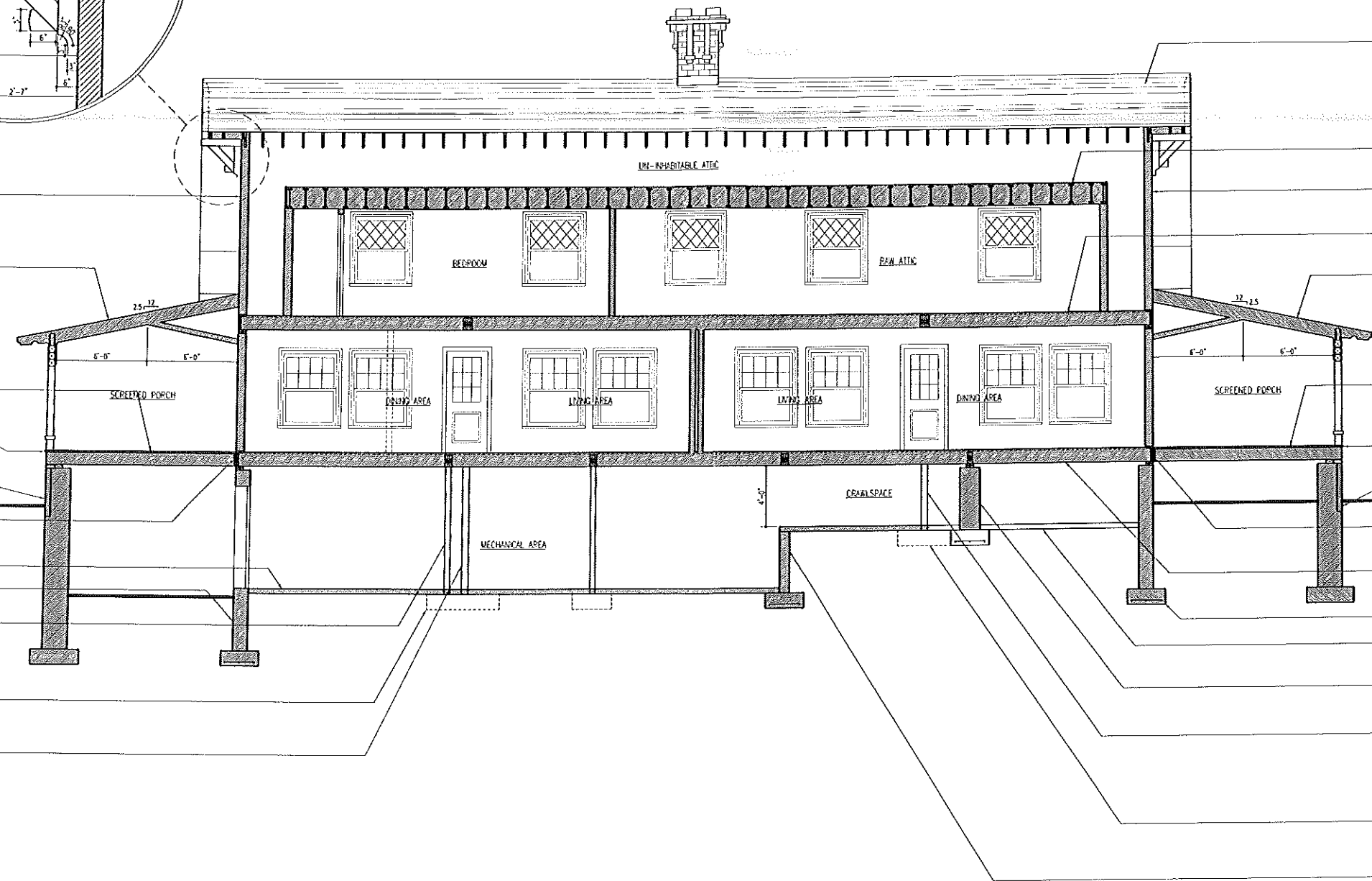
12" CMU'S UNLESS OTHERWISE NOTED OVER 1'-0"  
DEEP x 2'-6" WIDE CONTINUOUS 3500 PSI CONCRETE  
FOOTING W/ 3 CONTINUOUS #4 @ 16" O.C.

COLUMN SHALL BE CONTINUOUS 4" DIA. STANDARD HEIGHT  
COLUMN AS50-OR-42 STEEL TUBE COLUMN DOWN TO STRUCTURE  
BELOW WITH SADDON WOOD LAGS 2x4 COLUMN  
CAP FULL WELDED WITH FULL PENETRATION FILLET WELDS AT  
ENTIRE PERIMETER & 1/2" THK. 8" 50 BOTTOM PLATE WITH  
FULL PENETRATION FILLET WELDS AT ENTIRE PERIMETER  
(CENTERED ON COLUMN). PROVIDE (2) 7" DIA. HOLES @ EACH  
PLATE FOR ANCHOR BOLTS.

NEW 4'-8" 50 x 1'-0" DEEP, 3500 PSI CONCRETE FOOTING  
(CENTERED ON 5" SQUARE STEEL COLUMN) WITH #4 @ 7"  
O.C. (4 MIN) EACH BAY. PATCH SLAB AS REQUIRED WHERE  
APPLICABLE FOR TEMPORARY CONNECTIONS UNTIL WELDS ARE  
PERFORMED. LITATE ERECTION BOLTS AS REQUIRED (TYP).

COLUMN SHALL BE CONTINUOUS 5" 50 x 1/4" THK.  
AS50-OR-42 STEEL TUBE COLUMN DOWN TO STRUCTURE  
BELOW & 1/2" THK. 8" 50 BOTTOM PLATE WITH FULL  
PENETRATION FILLET WELDS AT ENTIRE PERIMETER (CENTERED  
ON COLUMN). PROVIDE (2) 7" DIA. HOLES @ EACH PLATE FOR  
ANCHOR BOLTS.

**Cross Section C-C**



NEW TAPERLINE ASPHALT ROOFING OVER 5/8" SHEATHING, GAF  
WEATHER WATCH WATERPROOF UNDERLAMENT (AT ALL EAVES,  
OVERLAPS, RIDGES, VALLEYS AND PENETRATIONS THREE FOOT  
MIN). BALANCE OF ROOF TO BE GAF SHINGLE-WHITE  
UNDERLAMENT AND ROOFING TO PERFECTLY MATCH EXISTING.  
INSTALL ALL NEW COPPER FLASHING AT VALLEYS AND  
PENETRATIONS ETC. (INCLUDING CHIMNEYS). SLOPES APPLICABLE  
FOR THIS SPEC SHALL BE 4:12 AND GREATER.

CONTINUOUS SOFFIT VENT WITH R-19 BATT & INSULATION  
BATTLES AT EAVE OVER PLATE.

PERPENDICULAR STRONG BACK OVER FRAMING AS PER  
PLANS, WITH INSULATION BATTLES & R-19 BATT AT  
EAVES AND BRIDGE TO BE R-38 BATT INSULATION  
OVER HABITABLE SPACES, 1/2" CIP. BD. CIG.

NEW CEDAR SHINGLE SOING AS SPECIFIED OVER  
HOME SLENDER 10 PLUS TYPAR, 1/2" C-D PLYWOOD  
SHEATHING, 2 x 6 @ 16" O.C., R-19 BATT & 1/2"  
CIP. BD. INTERIOR.

FINISH FLOOR OVER 3/4" THK. 18G C-D PLYWOOD SUB-FLOOR  
CLEED AND SCROBED, OVER JOISTS (SEE PLAN FOR SIZE &  
DIRECTION) & 1/2" CIP. BD. CIG.

NEW TAPERLINE ASPHALT ROOFING OVER 5/8" SHEATHING, GAF  
WEATHER WATCH WATERPROOF UNDERLAMENT (AT ALL EAVES,  
OVERLAPS, RIDGES, VALLEYS AND PENETRATIONS THREE FOOT  
MIN). BALANCE OF ROOF SHALL FOLLOW MANUFACTURERS  
APPLICATION INSTRUCTIONS FOR LOW-SLOPE (2:12 TO 4:12)  
APPLICATIONS. GAF FIBERGLASS CLASS A ASPHALT ROOF  
SHINGLES (13) UNDERLAMENT LOW-SLOPE. ROOFING TO  
PERFECTLY MATCH EXISTING. INSTALL ALL NEW COPPER FLASHING  
AT VALLEYS AND PENETRATIONS ETC. (INCLUDING CHIMNEYS).

ALL EXTERIOR 5/4" x 8" WOODGANY (RED-MERANT SPECIES)  
DECOR (OVER FRAMING AS PER PLANS) SHALL BE CLEAR  
SELECT OR BETTER. INSTALL ALL DECORING TO ONE  
ANOTHER (NO MIX GAP) (TYP).

FACE SCREW (ONLY MEANS OF FASTENING) AND PLUG WITH SOLID  
WOOD PLUG ENTIRE PERIMETER SACRIFICIAL DECK BOARD. ENSURE  
NO FASTENERS PENETRATE THIS SECTION OF DECORING FOR  
FUTURE REPLACEMENT PURPOSES (TYP).

STONE VENEER OVER 1'-4" x 1'-4" CMU PER OVER 2'-6"  
50 x 1'-0" DEEP, 3500 PSI CONCRETE FOOTING WITH #4 @ 7"  
O.C. (4 MIN) EACH BAY (TYP).

P. 2 x 10 LEADER BOARD LAPPED TO NEW FRAMING @ 16"  
O.C. & STAGGERED W/ 1/2" DIA. HOT DIPPED GALV. STL. LAG  
AND WASHER ASSEMBLIES IN LENGTH AS REQUIRED TO PROVIDE  
FULL PENETRATION INTO SOUND FRAMING MEMBER BEYOND (TYP).

FINISH FLOOR OVER 3/4" THK. 18G C-D PLYWOOD SUB-FLOOR  
CLEED AND SCROBED, OVER JOISTS (SEE PLAN FOR SIZE &  
DIRECTION), OVER TOILED FACED R-38 BATT WITH FOL FACING  
THE WASH SIDE OF THE STRUCTURE.

4" CONC. SLAB W/ 6-5-B1/W14 W/RR OVER 4" COMPACTED  
GRAVEL & 6 MIL VAPOR BARRIER & COMPACTED FILL.

12" CMU'S UNLESS OTHERWISE NOTED OVER 1'-0"  
DEEP x 2'-6" WIDE CONTINUOUS 3500 PSI CONCRETE  
FOOTING W/ 3 CONTINUOUS #4 @ 16" O.C.

1'-4" x 1'-4" CMU PER OVER 2'-6" 50 x 1'-0" DEEP, 3500  
PSI CONCRETE FOOTING WITH #4 @ 7" O.C. (4 MIN) EACH  
BAY (TYP).

COLUMN SHALL BE CONTINUOUS 5" 50 x 1/4" THK.  
AS50-OR-42 STEEL TUBE COLUMN DOWN TO STRUCTURE  
BELOW & 1/2" THK. 8" 50 BOTTOM PLATE WITH FULL  
PENETRATION FILLET WELDS AT ENTIRE PERIMETER (CENTERED  
ON COLUMN). PROVIDE (2) 7" DIA. HOLES @ EACH PLATE FOR  
ANCHOR BOLTS.

NEW 3'-8" 50 x 1'-0" DEEP, 3500 PSI CONCRETE FOOTING  
(CENTERED ON 5" SQUARE STEEL COLUMN) WITH #4 @ 7"  
O.C. (4 MIN) EACH BAY. PATCH SLAB AS REQUIRED WHERE  
APPLICABLE FOR TEMPORARY CONNECTIONS UNTIL WELDS ARE  
PERFORMED. LITATE ERECTION BOLTS AS REQUIRED (TYP).

8" CMU'S OVER 1'-0" DEEP x 2'-6" WIDE  
CONTINUOUS 3500 PSI CONCRETE FOOTING  
W/ 3 CONTINUOUS #4 @ 16" O.C.

**Legend of Construction**

- Existing Partitions to Remain
- Existing Partitions to be Removed
- New Partition
- New Opp'd. over Exst. Framing
- 4x4 Post
- 4x6 Post
- Post Above
- Added Opening
- Colony/Wall Height

**Loading Criteria:**

Floor Loads	20 W/sg Ft live
Roof Loads	20 W/sg Ft live
Dormer	20 W/sg Ft live
Exterior Decks	20 W/sg Ft live

**Area / Volume Calculations:**

New First Floor	1991.50 FT <sup>2</sup>
New Porches	1401.50 FT <sup>2</sup>
Front Sloop	124.50 FT <sup>2</sup>
New Second Floor	940.50 FT <sup>2</sup>
Total of New	2458.00 FT <sup>2</sup>
Total of New	4024.50 FT <sup>2</sup>
Volume of New	7058 CU FT

**Project Information:**

Assessors Map: 05M218ND Zone: R2  
Use Group: R3 Const. Class: 20

Code Jurisdiction:  
R0001.00C  
State of Maine Building Code (General and Exterior)

**New Residence for:  
Mrs. Connolly and  
Mr. & Mrs. Roberts  
Crescent Avenue - GDI  
Portland, Maine 04109**

Architect: Erezuma Architects LLC  
250 HAN STREET #250  
MADISON, NEW JERSEY 07940  
PHONE: 609.215.9862 FAX: 609.215.9863

Drawn By: [ ] Date: [ ]  
Checked By: [ ] Date: [ ]  
Project No: [ ]

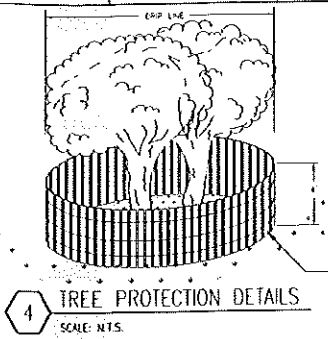
**EREZUMA ARCHITECTS LLC.**  
250 HAN STREET #250  
MADISON, NEW JERSEY 07940  
PHONE: 609.215.9862 FAX: 609.215.9863

**Chris Erezuma**  
N.J. 16261  
NY 03089-1  
NY 2201

Design Title: **Cross Section A-13**  
Date: 02/12/2009 Sheet 11 of 13

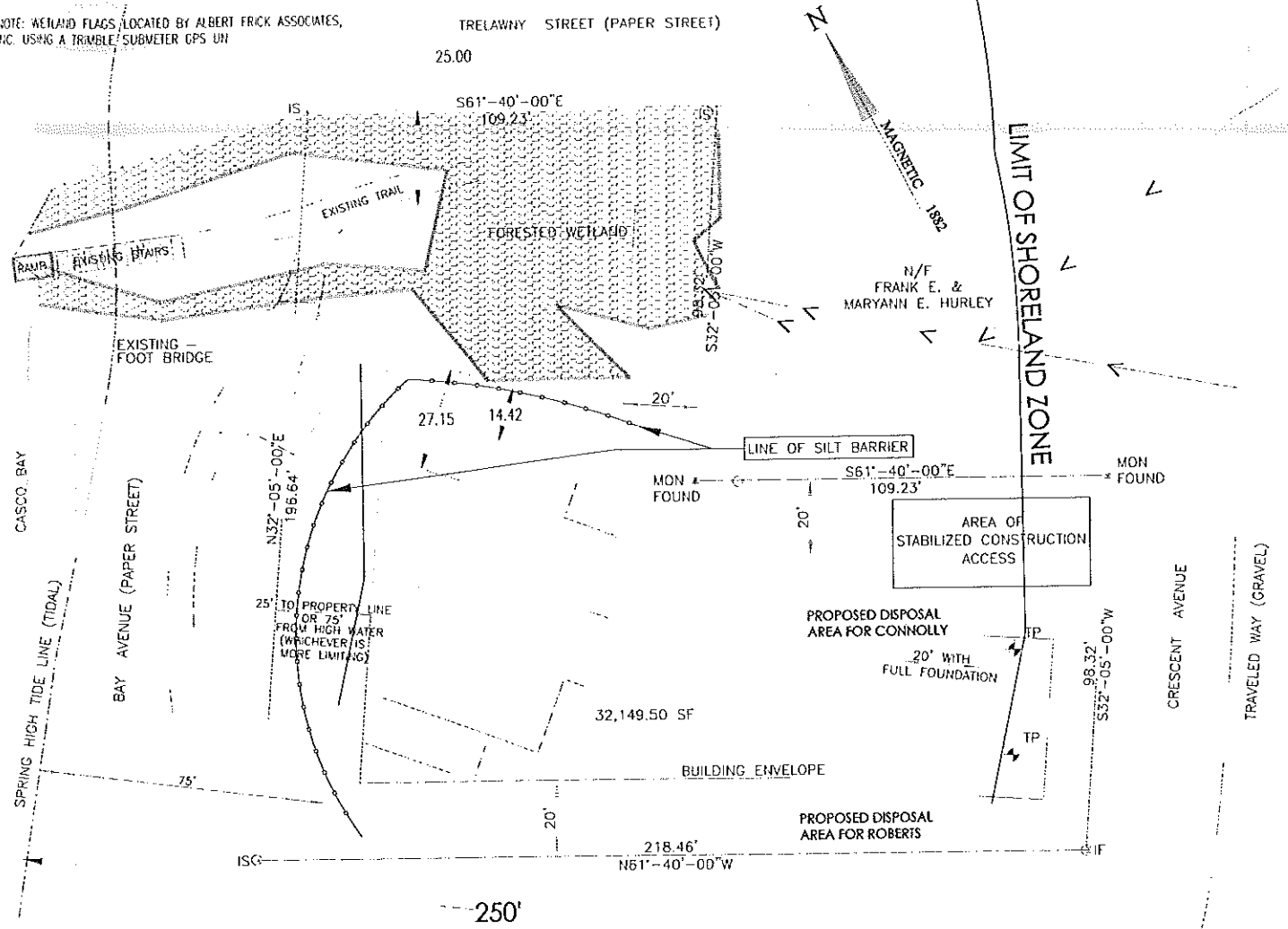
**SOIL EROSION AND SEDIMENT CONTROL GENERAL NOTES**

1. INSTALL STABILIZED FENCE IN LOCATIONS AS INDICATED ON THE SITE PLAN AND AS DETAILED (SEE DETAIL 1)
2. INSTALL TEMPORARY EROSION CONTROL IN LOCATIONS AS INDICATED ON THE SITE PLAN AND AS DETAILED (SEE DETAIL 2)
3. FOLLOW TREE PRUNING AS DETAILED (SEE DETAIL 3)
4. INSTALL TREE PROTECTION FENCING AS INDICATED ON THE SITE PLAN AND DETAILED (SEE DETAIL 4)
5. MAINTAIN NO SITE DISTURBANCE IN TREE PROTECTION AREA AT ALL TIMES DURING CONSTRUCTION SO AS TO PROTECT TREE ROOTS
6. INSTALL 4" OF TOPSOIL ON ALL DISTURBED AREAS. SEEDING SHALL BE BY OWNER



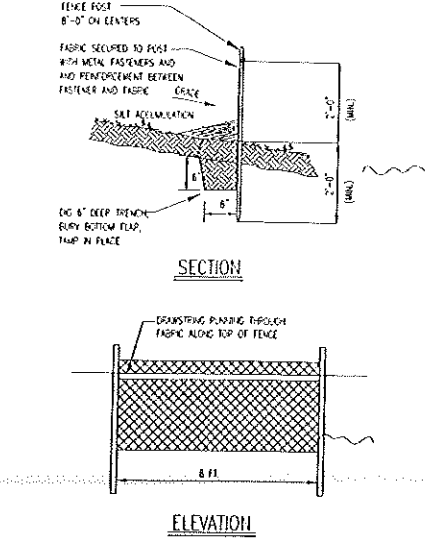
**4 TREE PROTECTION DETAILS**  
SCALE: N.T.S.

NOTE: WETLAND FLAGS LOCATED BY ALBERT FRICK ASSOCIATES, INC. USING A TRIMBLE/SUBMETER GPS UNIT

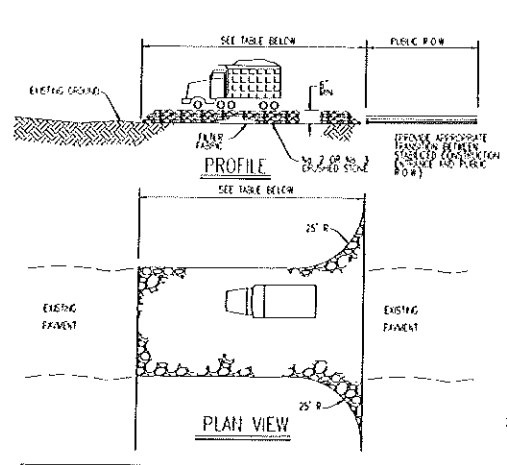


**CERTIFICATION**  
THIS SURVEY CONFORMS TO CATEGORY 1, CONDITION II, AS DEFINED BY THE STANDARDS OF MAINE STATE BOARD OF REGISTRATION FOR LAND SURVEYORS.  
HERBERT P. GRAY, PLS #387

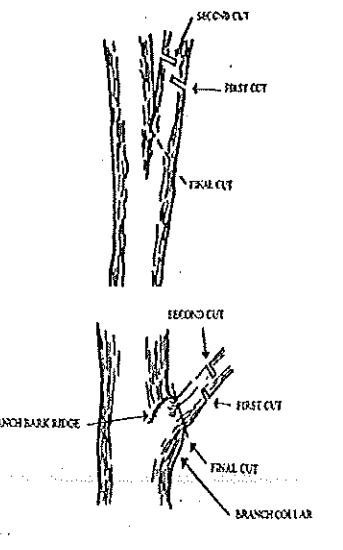
**SURVEYOR**  
HERBERT P. GRAY  
PLS #387  
111 SIMONS ROAD  
SOUTH PORTLAND, MAINE  
04106



**1 BALE SEDIMENT BARRIER DETAIL**  
SCALE: N.T.S.



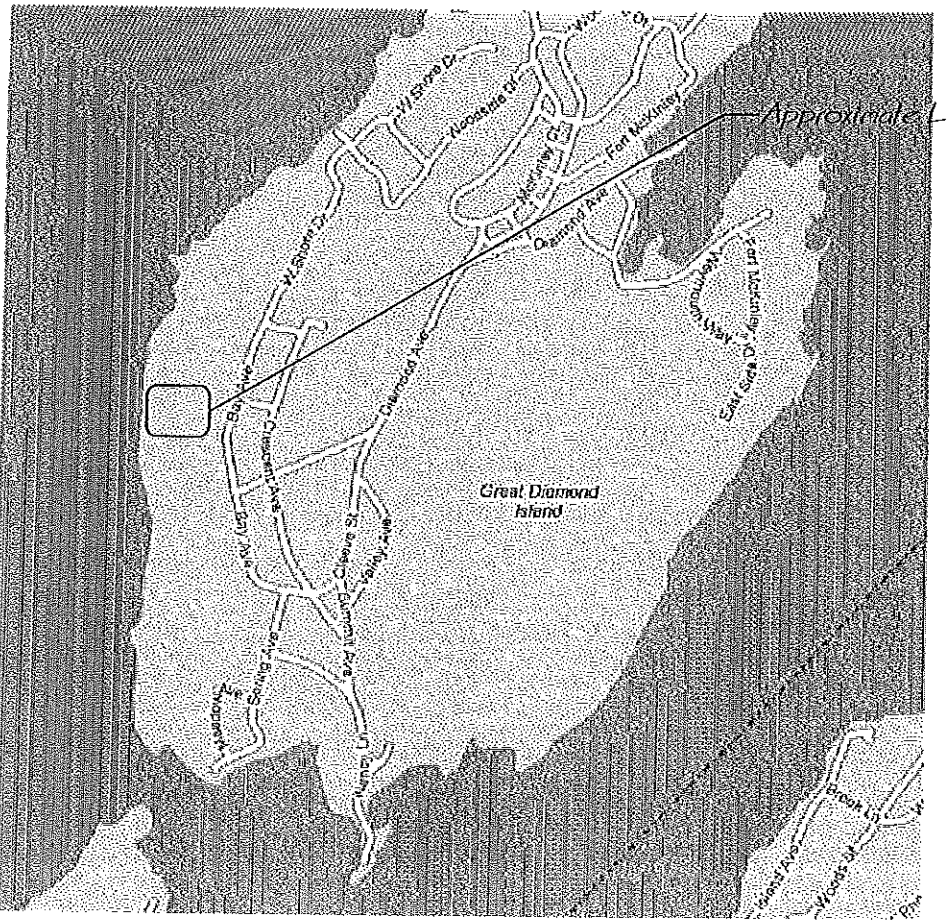
**2 STABILIZED CONSTRUCTION ACCESS DETAIL**  
SCALE: N.T.S.



**3 LIMB REMOVAL DETAILS**  
SCALE: N.T.S.

PERCENT SLOPE OF ROADWAY	COURSE CORNER SOLES	LENGTH OF SOLE BEEDED	THE COURSE SOLES
0 - 2%	100 FT	100 FT	100 FT
2 - 5%	100 FT	100 FT	100 FT
5 - 8%	100 FT	100 FT	100 FT

\* AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER COVERING BODY



**Location Map**  
Scale: N.T.S.

**Site Plan**  
Scale: 1" = 20'-0"

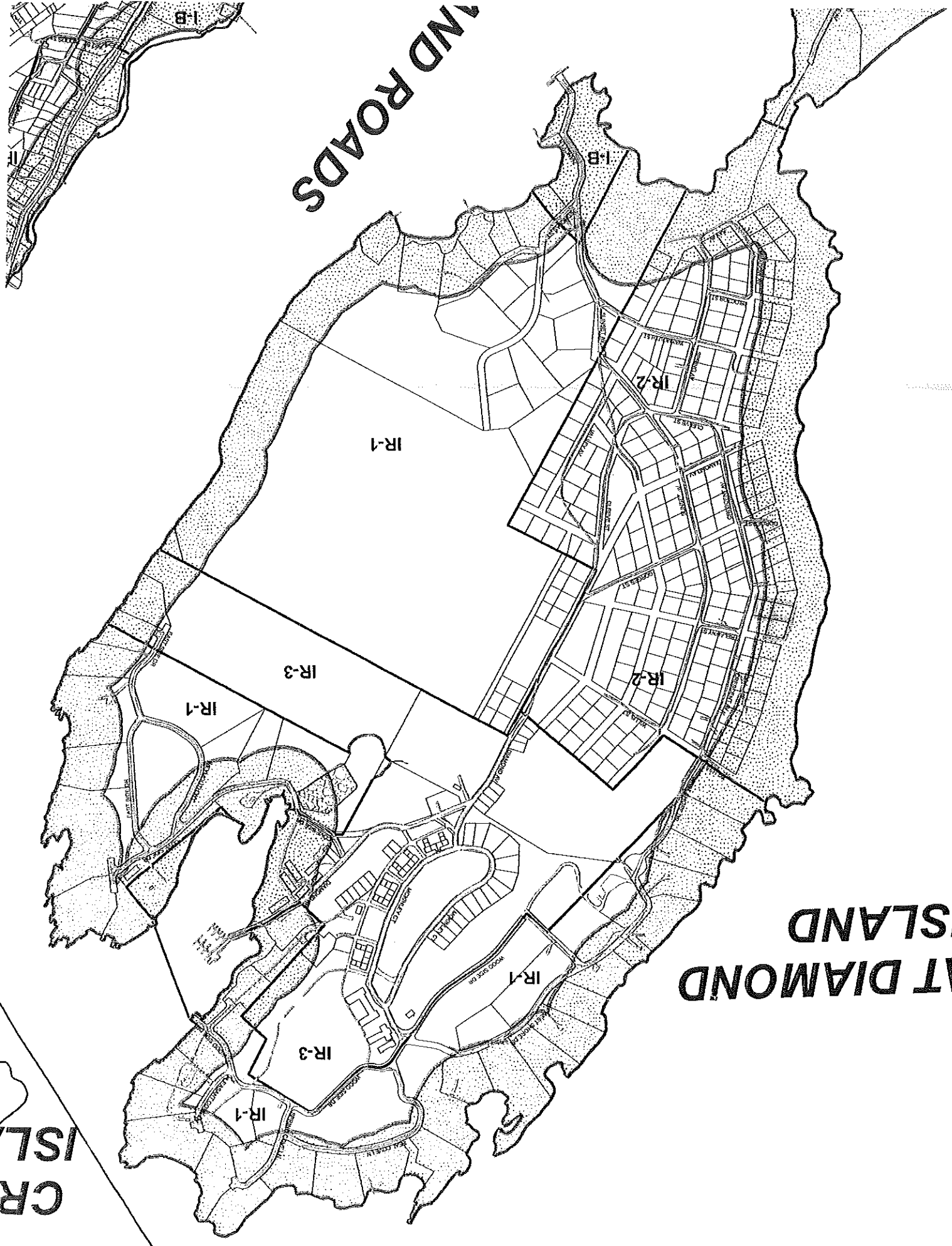
Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:	Client:	Architect:	Scale:	Date:
<ul style="list-style-type: none"> <li>Existing Partition to Remain</li> <li>Existing Partition to be Removed</li> <li>New Partition</li> <li>New Gyp/Dbl over Exst Framing</li> <li>+14 Foot</li> <li>+16 Foot</li> <li>Foot Above</li> <li>Adhd Opening</li> <li>Ceiling / Wall Height</li> </ul>	<p><b>Floor Loads</b></p> <ul style="list-style-type: none"> <li>20 lbs/sq ft live</li> <li>10 lbs/sq ft dead</li> </ul> <p><b>Floor Loads</b></p> <ul style="list-style-type: none"> <li>40 lbs/sq ft live</li> <li>20 lbs/sq ft dead</li> </ul> <p><b>Roof Loads</b></p> <ul style="list-style-type: none"> <li>20 lbs/sq ft live</li> <li>50 lbs/sq ft dead</li> </ul> <p><b>Bedroom</b></p> <ul style="list-style-type: none"> <li>40 lbs/sq ft live</li> <li>20 lbs/sq ft dead</li> </ul> <p><b>Exterior Decks</b></p> <ul style="list-style-type: none"> <li>20 lbs/sq ft live</li> <li>10 lbs/sq ft dead</li> </ul>	<p><b>New First Floor</b> 1,901.50 FT<sup>2</sup></p> <p><b>New Porches</b> 1,401.50 FT<sup>2</sup></p> <p><b>Front Sloop</b> 124.50 FT<sup>2</sup></p> <p><b>New Second Floor</b> 510.50 FT<sup>2</sup></p> <p><b>Total of New</b> 2,491.50 FT<sup>2</sup></p> <p><b>Total of New</b> 4,024.50 FT<sup>2</sup></p> <p><b>Volume of New</b> 78,281 CU FT</p>	<p><b>Assessor's Map:</b> BME1810 Zone: R2</p> <p><b>Use Group:</b> R2 Corsh. Class: 22</p> <p><b>Code Jurisdiction:</b></p> <ul style="list-style-type: none"> <li>Code: 2002 IFC</li> <li>2011 IFC</li> <li>2011 IFC</li> </ul>	<p><b>New Residence for:</b> Mrs. Connolly and Mr. &amp; Mrs. Roberts Crescent Avenue - GDI Portland, Maine 04109</p>	<p><b>PREZUMA ARCHITECTS LLC.</b> 250 MAIN STREET #220 MADISON, NEW JERSEY 07940 PHONE: 866.215.7862 FAX: 866.215.7860</p>	<p>Scale: 1/4" = 1'-0" overall</p>	<p>Date: 02/12/09</p>

LITTLE  
DIAMOND

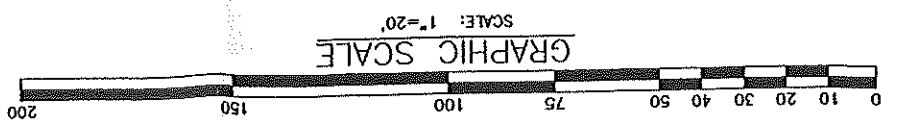
AND ROADS

GREAT DIAMOND  
ISLAND

CR  
ISLA



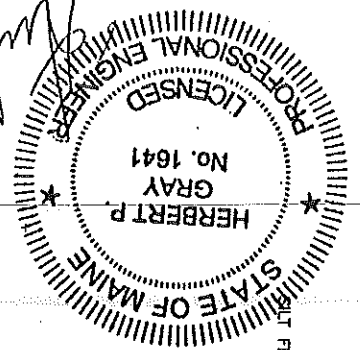




**CITY OF PORTLAND**  
**APPROVED SITE PLAN**  
 Subject to Dept. Conditions  
 APPROVED JUL 13 2008  
 Date of Approval:

**CERTIFICATION**  
 THIS SURVEY CONFORMS TO CATEGORY 1, STANDARDS OF MAINE STATE BOARD OF SURVEYORS.  
 HERBERT P. GRAY, PLS #387

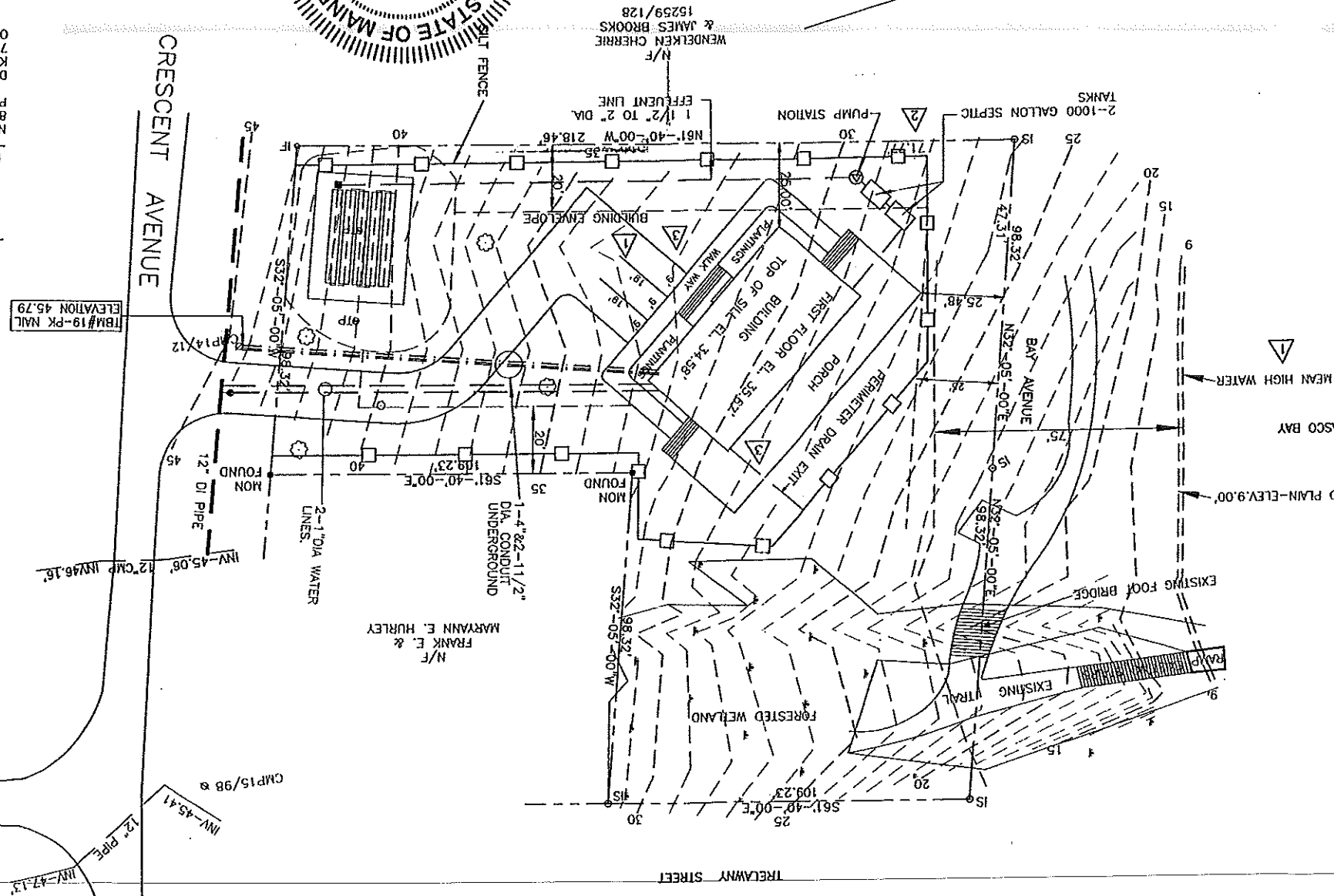
**SURVEYOR**  
 HERBERT P. GRAY  
 PLS #387  
 111 SIMMONS ROAD  
 SOUTH PORTLAND, MAINE 04106



*Handwritten signature of Herbert P. Gray*

**LEGEND**

--- (dashed line)	PROPERTY LINES - EXISTING
IF O	PROPERTY IRONS FOUND
IS O	PROPERTY IRONS SET IN FIELD
■	EXISTING MONUMENTS FOUND
- - - - -	BUILDING ENVELOPE
.....	WETLANDS
○	NEW TREE



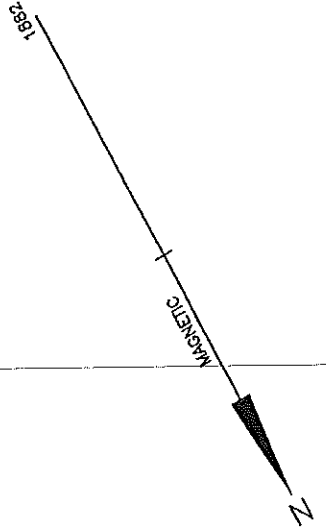
111 SIMMONS ROAD, SOUTH PORTLAND, MAINE 04106  
 HERBERT P. GRAY  
 & NANCY JO CONNOLLY  
 PORTLAND, MAINE 04109  
 CRESCENT AVENUE - GREAT DIAMOND ISL  
 LAND OF DOUGLAS S & KATHY SUE ROBERTS  
 & NANCY JO CONNOLLY  
 SITE PLAN-TOPOGRAPHY PLAN

HPG	7/09/09	ELIMINATE 1 PARKING SPACE PERIMETER DRAIN-EXIT
HPG	7/08/09	MOVED SILT FENCE LINE
HPG	6/27/09	ADDED MEAN HIGH WATER LINE DIMENSIONED PARKING SPACES

SCALE: 1"=20'  
 DATE: 06/08/09  
 DRAWN BY: DHG  
 CHECKED BY: HPG

**REFERENCES**  
 PLAN OF PROPERTY, DIAMOND ISLAND ASSOCIATION  
 PLAN BOOK 4, PAGE 62  
 NANCY JO CONNOLLY  
 82 SALEM STREET  
 PORTLAND, MAINE 04102  
 DOUGLAS S. ROBERTS  
 KATHY SUE ROBERTS  
 745 JACKSON VALLEY ROAD  
 OXFORD, NEW JERSEY 07863

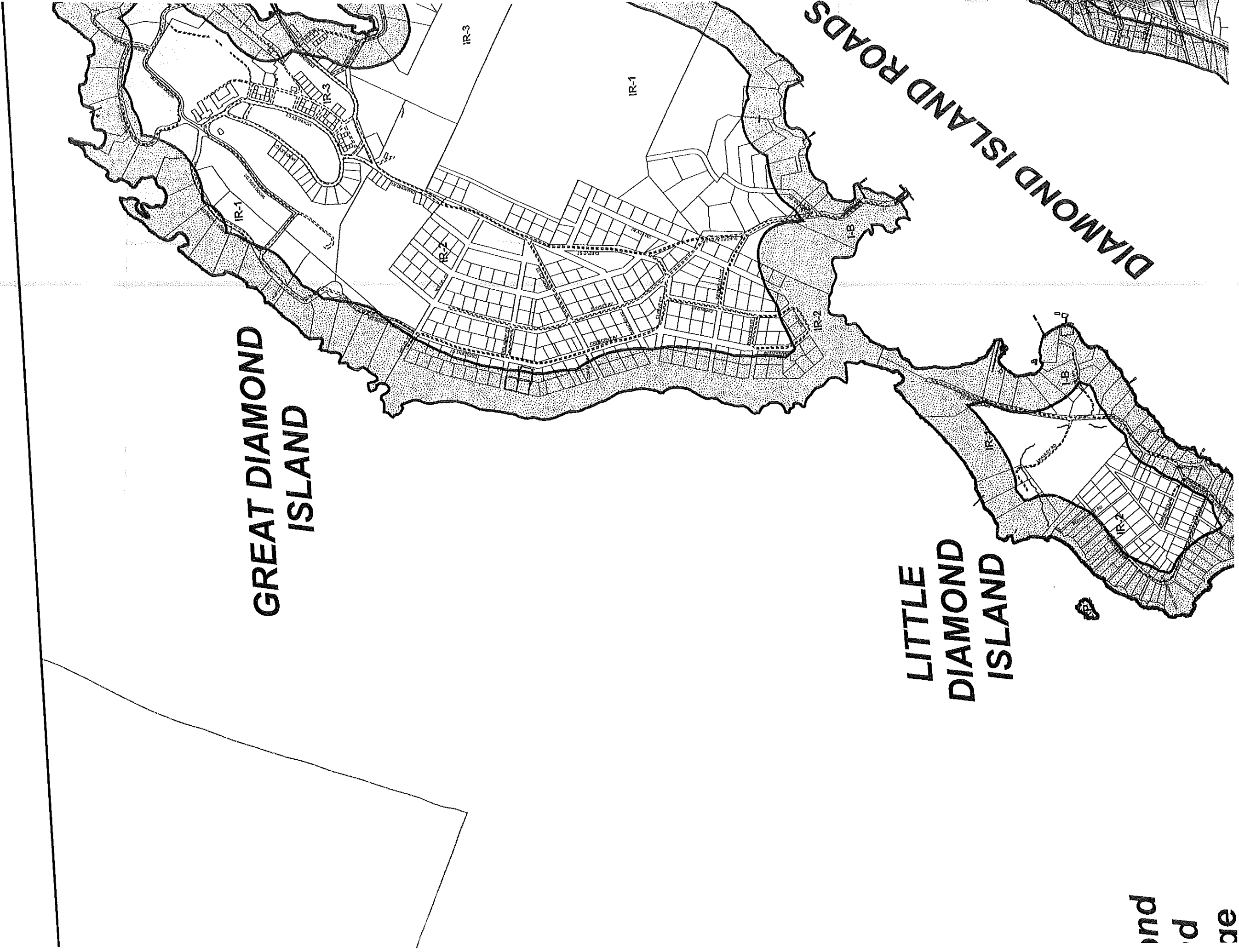
- NOTES**
- DEED AND PLAN REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTER OF DEEDS.
  - IRONS SET ARE 5/8" REBAR (2'-6") LONG
  - ZONE IR7 & SHORELAND ZONING. MINIMUM LOT SIZE 20,000 SF. MAIN STREET FRONTAGE 70'. FRONT & REAR SETBACK 25'. SIDE SETBACK 20'.
  - OWNERS OF RECORD: DOUGLAS S. ROBERTS, KATHY SUE ROBERTS, NANCY JO CONNOLLY. 13290/162-32.149.50 SF. ASSESSORS MAP - 83A-E-7.8 & 10. WETLAND FLAGS LOCATED BY ALBERT FRICK ASSOCIATES, INC. USING A TRIMBLE SUBMETER GPS UNIT.
  - ELEVATION BASED ON NOAA BRASS DISK, 841 7988 A 1979. ELEVATION ABOVE MTL 7.43'
  - 100 YEAR FLOOD PLAIN TAKEN FROM FEMA COMMUNITY PANEL #230051 NO. 0008 B. EFFECTIVE DATE JULY 17, 1986.



**GREAT DIAMOND  
ISLAND**

**LITTLE  
DIAMOND  
ISLAND**

**DIAMOND ISLAND ROADS**




# City of Portland Planning and Urban Development

## Shoreland Zoning & Coastal Bluff Stability

Diamond, Peaks,  
Cushing, and  
House Islands

**Legend**

-  Shoreland Zoning Overlay
- Bluff Hazards**
- Stability**
- ■ ■ ■ H - Highly Unstable
- ■ ■ U - Unstable

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
RECEIVED  
JUN 15 2009  
DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
RECEIVED

