

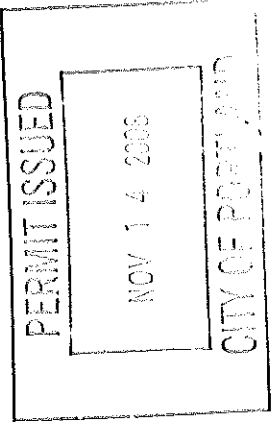
City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1299	Issue Date:	CBL: 075 A001001
Owner Address: 144 STATE ST Phone:		
Contractor Address: 197 US Route 1 Scarborough Phone: 2078835528		
Permit Type: Alterations - Commercial Zone: C-26		

Permit Fee: \$1,520.00	Cost of Work: \$150,000.00	CEO District: 3
FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: S-1 Type: SB	
Signature: <i>Carole Lewis</i> PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Past Use: Storage Building	Proposed Use: Storage Building- Property Maintenance Storage - Re-hab existing storage building Interior; exterior new siding, insulation, doors, roofing
Proposed Project Description: Property Maintenance Storage - Re-hab existing storage building Interior; exterior new siding, insulation, doors, roofing	

Permit Taken By: Idobson	Date Applied For: 10/14/2008	Zoning Approval	
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.	Special Zone or Reviews	Zoning Appeal	Historic Preservation
	<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Denied Date: <i>10/14/08</i>	Signature: <i>Carole Lewis</i> Date: _____	



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 081299

Please Read Application And Notes, If Any, Attached

This is to certify that MERCY HOSPITAL /Rishbar Repairs-Cons
has permission to Property Maintenance-Storage Re-hab-existing-steel-frame building-interior; exterior-new siding; insulation; doors;
AT 175 FORE RIVER PKWY CS 073 A001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is commenced. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CS
Health Dept. CS
Appeal Board _____
Other _____
Department Name

PENALTY FOR REMOVING THIS CARD

Director - Building & Inspection Services

[Signature]
11/13/08

SCANNED

4. That the easternmost berm (along the easterly side drive aisle) and adjacent snow storage area shall be grassed and maintained between May and October of each year, and
5. That the applicant shall ensure that a safe and passable public pedestrian route is maintained at all times (daylight hours) between the underpass drive and the southern public open space; and
6. That if any permanent stone dust pedestrian trail is proposed to be constructed on the southern out-parcel/open space area prior to the implementation of Phase 2 of the Mercy development, its location shall be subject to review and approval by the Planning Authority prior to construction.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit an amended site plan for staff review and approval. Please note that the plan (entitled "South Open Space Access Route" and dated 1.16.2009) attached to the letter of January 19, 2009 from DeLuca-Hoffman is not approved as part of this amendment.

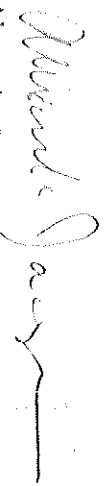
Please note the following provisions and requirements for all site plan approvals:

1. The above approval does not constitute approval for building plans, which must be reviewed and approved the City of Portland's Inspection Division.
2. Where submission drawings are available in electronic form, final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.
3. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at (207) 874 8728.

Sincerely,



Alexander Jaegerman
Planning Division Director

Electronic Distribution:

Penny St. Louis Lintell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barthel, Development Review Services Manager
Jean Fraser, Planner
Philip DiPietro, Development Review Coordinator
Marge Schmuckel, Zoning Administrator
Tammy Munson, Inspections Division Director
Lisa Danforth, Administrative Assistant
Michael Bobinsky, Public Services Director
Katharine Enley, Public Services

Hard Copy: Project File

ON-PLAN/Dev Rev/Fore Rover (Mercy) MP and Phase 1/W/umund applies Service area access & Berm Oct 08/Berm near Main, Bldg amendment Nov 2008/FINAL Approval letter berm near Main, Bldg 1.30.2009.doc

Bill Clark, Public Services
David Margolis-Pineo, Deputy City Engineer
Jane Ward, Public Services
Keith Gaurreau, Fire Department
Jeff Tailing, City Arborist
Tom Errico, Withur Smith Consulting Engineers
Dan Goyette, Woodard & Curran
Assessor's Office
Approval Letter File

ON-PLAN/Dev Rev/Fore Rover (Mercy) MP and Phase 1/W/umund applies Service area access & Berm Oct 08/Berm near Main, Bldg amendment

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

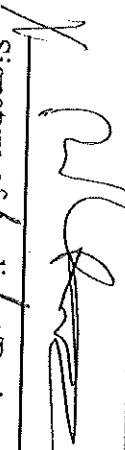
A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers
- Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling
- Final inspection required at completion of work.

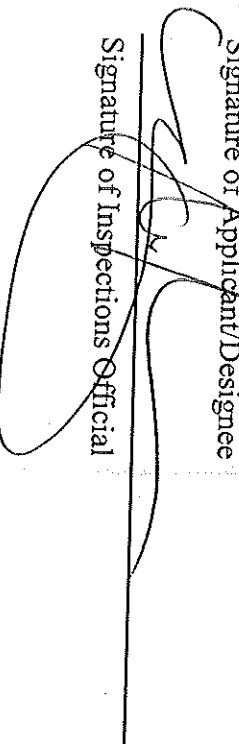
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

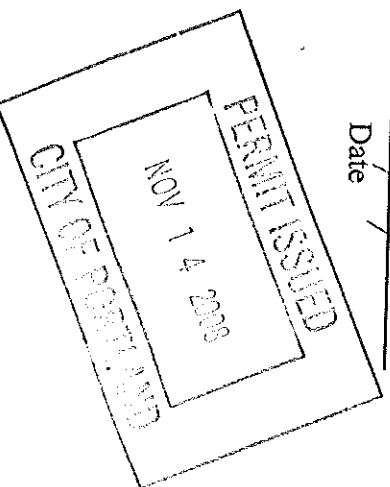
CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee
Date 11/14/08



Signature of Inspections Official
Date 11/13/08



City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703 Fax: (207) 874-8716

Permit No:	08-1299	Date Applied For:	10/14/2008	CBL:	073 A001001
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Location of Construction:	175 FORE RIVER PKWY	Owner Name:	MERCY HOSPITAL	Owner Address:	144 STATE ST	Phone:	
Business Name:		Contractor Name:	Rishara Bros Construction	Contractor Address:	197 US Route 1 Scarborough	Phone	(207) 883-5528
Lessee/Buyer's Name		Phone:		Permit Type:	Alterations - Commercial		

Proposed Use:	Storage Building - Property Maintenance Storage - Re-hab existing storage building Interior; exterior new siding, insulation, doors, roofing	Proposed Project Description:	Property Maintenance Storage - Re-hab existing storage building Interior; exterior new siding, insulation, doors, roofing
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Dept: Zoning Status: Approved with Conditions Reviewer: Marge Schmuckal Approval Date: 10/14/2008

Note: Ok to Issue:

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. It is required that there be no increase in the existing footprint as originally approved by the Planning Board.

Dept: Building Status: Approved with Conditions Reviewer: Tammy Munson Approval Date: 11/13/2008

Note: Ok to Issue:

- 1) As discussed, the openings in the guardrails must not exceed 21".
- 2) Separate permits are required for any electrical, plumbing, HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire Status: Approved with Conditions Reviewer: Capt Greg Cass Approval Date: 10/17/2008

Note: Ok to Issue:

- 1) Emergency lights are required to be tested at the electrical panel.
- 2) Fire extinguishers required. Installation per NFPA 10
- 3) All means of egress to remain accessible at all times
- 4) Emergency lights and exit signs are required
- 5) All construction shall comply with NFPA 101

Comments:

10/28/2008-tmm: hold - emailed designer - in hold bin /tmm



General Building Permit Application

You or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

NS FOR RION

Location /Address of Construction: MERCY - FOREKLEED - FOREKLEED PARKWAY

Total Square Footage of Proposed Structure/Area <u>EXISTING 7680 SQ.FT.</u>	Square Footage of Lot <u>35 AC</u>	Number of Stories <u>ONE</u>
Tax Assessor's Chart, Block & Lot	Applicant *must be owner, Lessee or Buyer*	Telephone:
Chart# <u>73</u> <u>74</u> <u>75</u> <u>76</u> <u>74</u>	Block# <u>A</u> <u>A</u> <u>A</u> <u>A</u> <u>A</u>	Name <u>MERCY</u>
Lot# <u>1</u> <u>3</u> <u>1</u> <u>1</u> <u>1</u>	Address <u>144 STATE STREET PORTLAND</u>	Address <u>04101-3795</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant)	Cost Of Work: \$ <u>150,000.00</u>
<u>74</u> <u>75</u> <u>76</u>	Name <u>Address</u> <u>City, State & Zip</u>	C of O Fee: \$ _____
<u>A</u> <u>A</u> <u>A</u>	<u>22</u> <u>17</u> <u>33</u>	Total Fee: \$ <u>1520.00</u>

Current legal use (i.e. single family) _____ Number of Residential Units _____
 If vacant, what was the previous use? _____
 Proposed Specific use: STORAGE
 Is property part of a subdivision? _____ If yes, please name _____
 Project description: _____

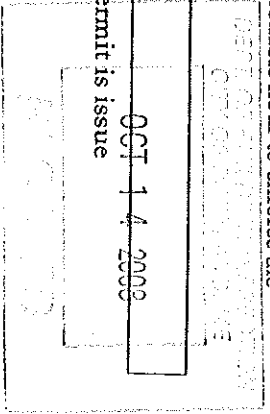
Contractor's name: RISBERG BROS. CONSTRUCTION
 Address: P.O. Box 485
 City, State & Zip: Scarborough Maine 04070-0485 Telephone: 883-5528
 Who should we contact when the permit is ready: STEPH DOBSON / Rocco Risberga telephone: 883-5528
 Mailing address: P.O. Box 485 Scarborough Maine 04070-0485

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: *Steph Dobson* Date: 10/14/08
 This is not a permit; you may not commence ANY work until the permit is issue





Certificate of Design Application

From Designer: _____

SMART

Date: _____

OCTOBER 10, 2008

Job Name: _____

MERRY STORES BUILDINGS - FORT RIVER

Address of Construction: _____

FORT RIVER PARKWAY

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (S) S-1

Type of Construction IRB VB ; AFFRIED V

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC NO

Is the Structure mixed use? NO If yes, separated or non separated (section 302.3) _____

Supervisory alarm System? NO Geotechnical/Soils report required? (See Section 1802.2) NO

Structural Design Calculations

N/A Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use

N/A EXISTING BUILDING

Wind loads (1603.1.4, 1609)

N/A Design option utilized (1609.1.1, 1609.6)

Basic wind speed (1809.3)

Building category and wind importance Factor, I_w
table 1604.5, 1609.5)

Wind exposure category (1609.4)

Internal pressure coefficient (ASCE 7)

Component and cladding pressures (1609.1.1, 1609.6.2.2)

Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

N/A Design option utilized (1614.1)

Seismic use group ("Category")

Spectral response coefficients, S_D & S_{D1} (1615.1)

Site class (1615.1.5)

N/A Live load reduction

Roof live loads (1603.1.2, 1607.11)

Roof snow loads (1603.7.3, 1608)

Ground snow load, P_g (1608.2)

If $P_g > 10$ psf, flat-roof snow load p_f

If $P_g > 10$ psf, snow exposure factor, C_e

If $P_g > 10$ psf, snow load importance factor, I_s

Roof thermal factor, C_t (1608.4)

Sloped roof snowload, p_s (1608.4)

Seismic design category (1616.3)

Basic seismic force resisting system (1617.6.2)

Response modification coefficient, R and

deflection amplification factor C_d (1617.6.2)

Analysis procedure (1616.6, 1617.5)

Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

N/A Flood Hazard area (1612.3)

Elevation of structure

Other loads

N/A Concentrated loads (1607.4)

Partition loads (1607.5)

Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Accessibility Building Code Certificate

Designer:

SMART, LLC

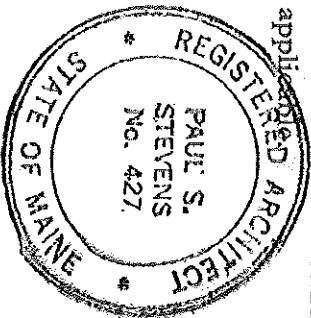
Address of Project:

FORE RIVER PARKWAY

Nature of Project:

EXISTING STRUCTURE
BUILDING REVISIONS

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



(SEAL)

Signature:

Title:

PRINCIPAL

Firm:

SMART

Address:

144 FORE ST. PORTLAND
PORTLAND, ME 04104

Phone:

207.772.3840

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

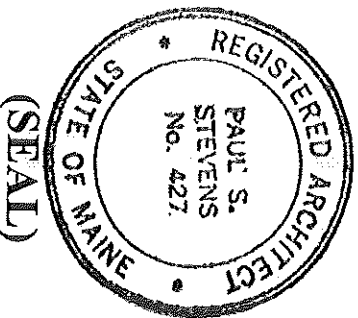
Date: OCTOBER 19, 2008

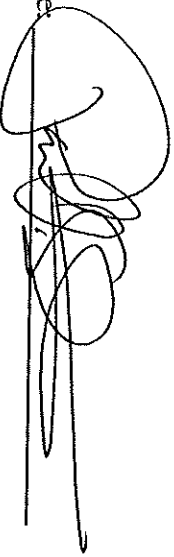
From: SMD5, LLC

These plans and / or specifications covering construction work on:

MONEY STORAGE BUILDINGS - FORT BAKER

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature: 

Title: PRINCIPAL

Firm: SMD5, LLC

Address: 144 FORT ST. PORTLAND, ME

PORTLAND, ME 04104

Phone: 207.772.3846

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

ASLD

From: Tammy Munson
To: pstevens@smrtinc.com
Date: 10/28/2008 9:07:03 AM
Subject: 175 Fore River - storage building rehab

I have reviewed the above permit. I have a few questions and need some more info. please provide the following:

1. Detail/elevation of new stairs showing tread/rise/guards/handrails etc.
2. Guardrail detail
3. Detail on siding installation
4. Show new framing details regarding area quoted as "maintain partitions if possible"
5. Please provide framing detail /wall sections of all new walls and concrete wall.
6. Are there any new openings in exterior walls?

You can email the details/drawings in PDF form. As long as I can open and print them on 8 1/2" x 11" paper. Thank you.

Tammy Munson
Code Enforcement Officer/Plan Reviewer
City of Portland
Inspections Division
389 Congress Street Rm 315
Portland, Maine 04101
Office: (207)874-8706
tmm@portlandmaine.gov

CC: Tammy Munson

From: "Roccy Risbara" <roccy@risbara.com>
To: "Tammy Munson" <TMM@portlandmaine.gov>
Date: 11/5/2008 7:59:35 AM
Subject: RE: 175 Fore River - storage building rehab

Tammy, I am asking SMRT to address these items 1 and 2. I am not sure what you want on item 3. Were taking the existing metal roofing and siding of and putting new on, are you looking for fastening details? Items 4 and 5 are about new walls, we are not proposing any new walls, all walls exist today. There is one concrete block wall that is in the existing bathroom that is coming down to make space so it will be handicap accessible. This wall is shown on the plan as a dotted line, and is about 6' long. Item 6, yes we are installing a new 8' overhead door, but it is in a location where there was an overhead door at one time. Mercy had it covered with metal siding when they bought the property. The framed opening is still there though. All exterior doors except the large over head door are being replaced. Large overhead door is almost new. I have one other item to cover, and that has to do with the room labeled "closet", the plan shows the door location in the wrong place. The existing door is around the corner, in the wall about where the E is shown on the plan. I intend to leave it there. I can be reached via email, or 838-0095. Thank you, RCR!!!

-----Original Message-----

From: Tammy Munson [mailto:TMM@portlandmaine.gov]
Sent: Tuesday, November 04, 2008 2:41 PM
To: Aaron Werner; Roccy Risbara
Subject: Fwd: 175 Fore River - storage building rehab

Tammy Munson
Code Enforcement Officer/Plan Reviewer
City of Portland
Inspections Division
389 Congress Street Rm 315
Portland, Maine 04101
Office: (207)874-8706
tmm@portlandmaine.gov

>>> Tammy Munson 11/4/2008 2:38:48 PM >>>

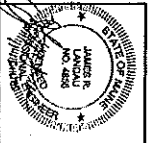
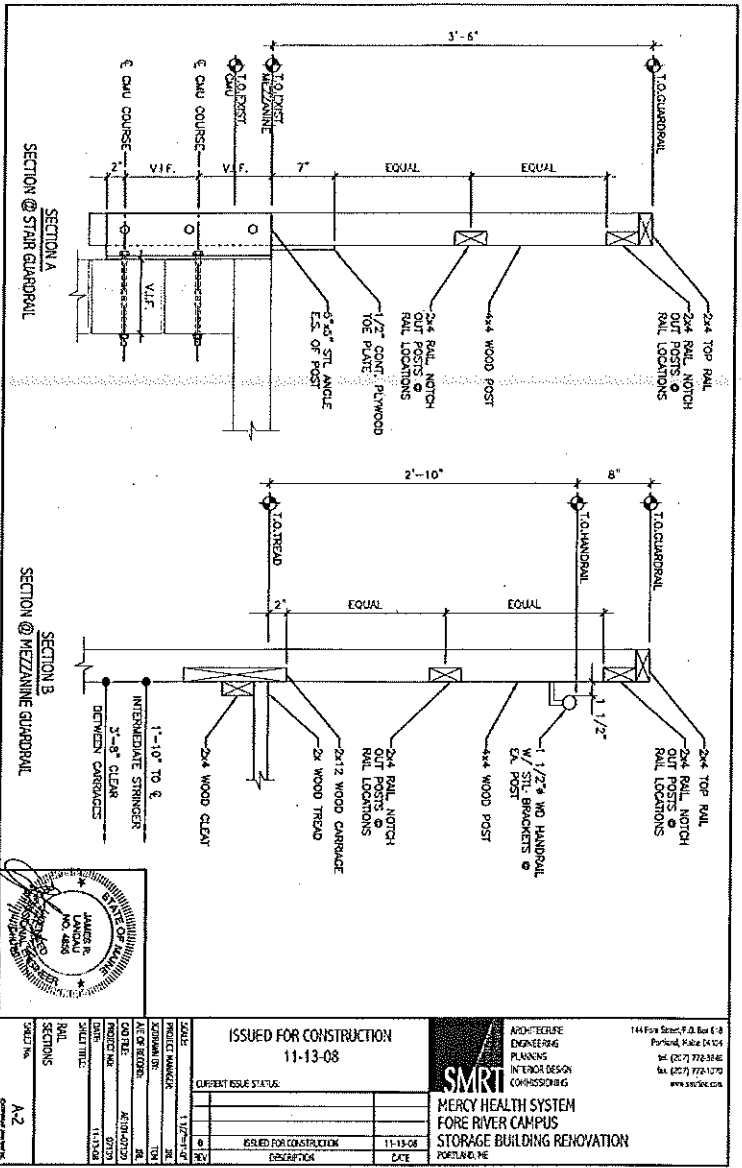
>>> Tammy Munson 10/28/2008 9:07:03 AM >>>
I have reviewed the above permit. I have a few questions and need some more info. please provide the following:
1. Detail/elevation of new stairs showing tread/rise/guards/handrails etc.
2. Guardrail detail
3. Detail on siding installation
4. Show new framing details regarding area quoted as "maintain partitions if possible"
5. Please provide framing detail /wall sections of all new walls and concrete wall.
6. Are there any new openings in exterior walls?

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Tammy Munson
Code Enforcement Officer/Plan Reviewer
City of Portland

Inspections Division
389 Congress Street Rm 315
Portland, Maine 04101
Office: (207)874-8706
tmm@portlandmaine.gov

CC: "Connolly, Michael" <ConnollyM@mercyme.com>, "Jim Landau"
<JLandau@SMRTInc.com>



PROJECT NO.	11-13-08
DATE	11-13-08
PROJECT NAME	RAIL SECTIONS
SCALE	AS SHOWN
DESIGNER	AM/MDM
CHECKER	MDM
DATE	07/23
PROJECT TITLE	11-13-08
PROJECT NO.	11-13-08
SCALE	AS SHOWN
DATE	07/23
PROJECT NAME	RAIL SECTIONS
SCALE	AS SHOWN
DATE	07/23
PROJECT NO.	11-13-08

ISSUED FOR CONSTRUCTION	
11-13-08	
ISSUED FOR CONSTRUCTION	11-13-08
DESCRIPTION	RAIL

SMRT
 ARCHITECTURE
 ENGINEERING
 PLANNING
 INTERIOR DESIGN
 CONSTRUCTION

144 Fox Street, P.O. Box 618
 Portland, Maine 04104
 Tel: (207) 772-3346
 Fax: (207) 772-1270
 www.smrtinc.com

MERCY HEALTH SYSTEM
FORE RIVER CAMPUS
STORAGE BUILDING RENOVATION
 PORTLAND, ME

From: "Roccy Risbara" <rocgy@risbara.com>
To: "Tammy Munson" <TMM@portlandmaine.gov>
Date: 11/12/2008 12:19:48 PM
Subject: Emailing: Walls & roof.pdf

<<Walls & roof.pdf>> Tammy, here are the details for the MS metal panels we are using on the walls and roof. SMRT's information on stairs and guard rail should be available today, and if so I will get that to you. Thank you, RCR!!!
The message is ready to be sent with the following file or link
attachments:

Walls & roof.pdf

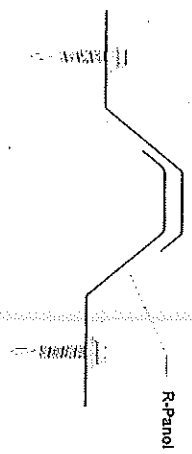
Note: To protect against computer viruses, e-mail programs may prevent sending or receiving certain types of file attachments. Check your e-mail security settings to determine how attachments are handled.

CONDENSED TECHNICAL REFERENCE

R-PANEL

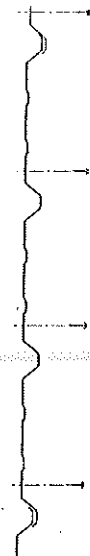
ATTACHMENT DETAIL

#12-14 x 1/4" Self Driller

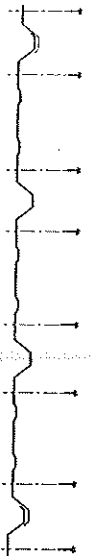


FASTENING PATTERNS

R-Panel Fastening Pattern - Interior



R-Panel Fastening Pattern - Ends



GENERAL INFORMATION

- ▶ **Substructure**
R-Panel is designed to be utilized over open structural framing but can easily be used with a solid substrate. To avoid panel distortion use a properly aligned and uniform substructure.
- ▶ **Coverage**
R-Panels are available in a 1/4" rib height with a coverage width of 35".
- ▶ **Length**
Minimum factory cut length is 5'-0". Maximum recommended panel length is 45'-0". Longer panels require additional consideration in packaging, shipping, and erection. Please consult Metal Sales for recommendations.
- ▶ **Fasteners**
The fastener selection guide should be consulted for choosing the proper fastener for specific applications. Quantity and type of fastener must meet necessary loading and code requirements.
NOTE: All panels are subject to surface distortion due to improperly applied fasteners. Overdriven fasteners will cause stress and induce oil canning across the face of the panel at or near the point of attachment.
- ▶ **Availability**
Finishes: Acrylic Coated Galvalume®, MS Colorfast® or various Kynar 500 (PVDF) colors.
Gauges: 26ga and 24ga standard, 22ga optional

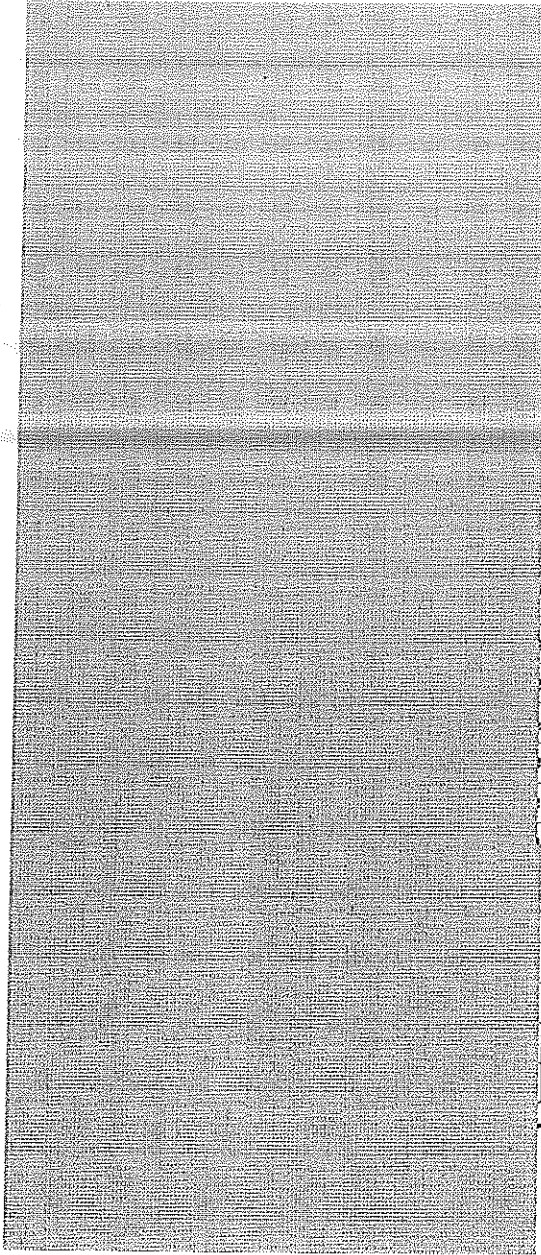
*Murley Hospital Storage
Building
Walls &
Roof*

SECTION PROPERTIES

Ga.	Width (in.)	Yield KSI	Weight PSF	Top in Compression		Bottom in Compression	
				12x	16x	12x	16x

ALLOWABLE UNIFORM LIVE LOADS PSF (3 or More Equal Spans)

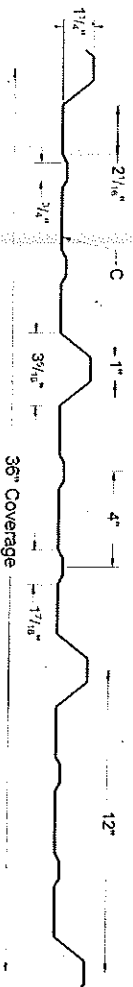
Inward (Stress / Deflection) Load	Outward Uplift (Stress) Load



CONDENSED TECHNICAL REFERENCE

R-PANEL

*MERCY HOSPITAL
STORAGE BUILDING
WALLS & ROOF*



ARCHITECTURAL
COMMERCIAL
INDUSTRIAL
PANEL

DIRECT
FASTEN

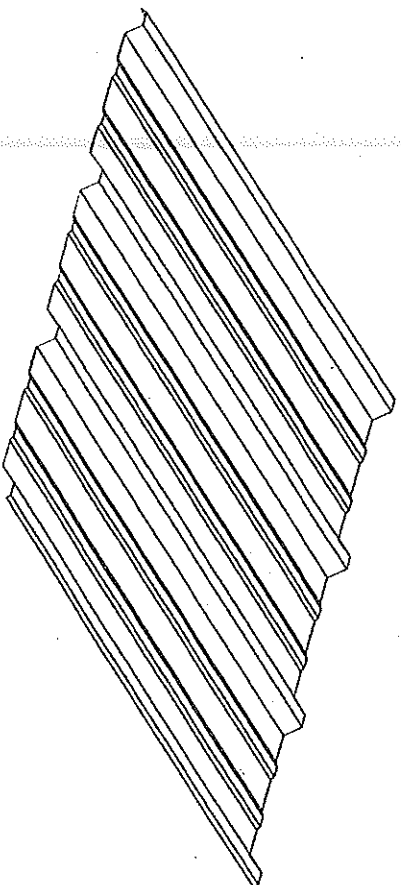
36"
COVERAGE

WALL PANEL

OPEN FRAMING OR
SOLID SUBSTRATE

PANEL OVERVIEW

- ▶ Finishes: Kynar 500 (PVDF), MS Colorfast⁴⁵*, and Acrylic Coated Galvalume[®]
- ▶ Gauges: 26ga and 24ga standard, 22ga optional
- ▶ 36" panel coverage, 1 1/4" rib height
- ▶ Applies over open framing or solid substrate
- ▶ Exposed fastened metal building panel
- ▶ Trapezoidal rib on 12" centers
- ▶ Wall panel



TESTING

- ▶ UL 2218, Class 4 Impact Resistance
- ▶ UL 790, Class A Fire Resistance Rating
- ▶ Florida Building Code Approved 7231.1

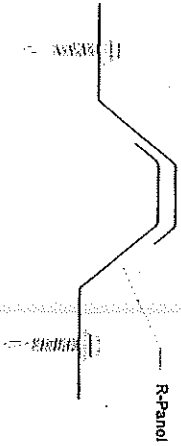
metal sales
manufacturing corporation
TMS

CONDENSED TECHNICAL REFERENCE

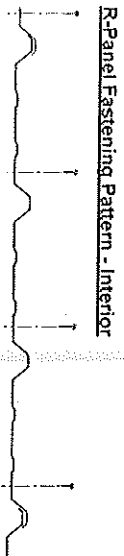
R-PANEL

ATTACHMENT DETAIL

#12-14 x 1 1/4" Self Driller



FASTENING PATTERNS



R-Panel Fastening Pattern - Interior



R-Panel Fastening Pattern - Ends

GENERAL INFORMATION

► **Substructure**
R-Panel is designed to be utilized over open structural framing but can easily be used with a solid substrate. To avoid panel distortion use a properly aligned and uniform substructure.

► **Coverage**
R-Panels are available in a 1 1/2" rib height with a coverage width of 36".

► **Length**
Minimum factory cut length is 5'-0". Maximum recommended panel length is 45'-0". Longer panels require additional consideration in packaging, shipping, and erection. Please consult Metal Sales for recommendations.

► **Fasteners**
The fastener selection guide should be consulted for choosing the proper fastener for specific applications. Quantity and type of fastener must meet necessary loading and code requirements.

NOTE: All panels are subject to surface distortion due to improperly applied fasteners. Overdriven fasteners will cause stress and induce oil canning across the face of the panel at or near the point of attachment.

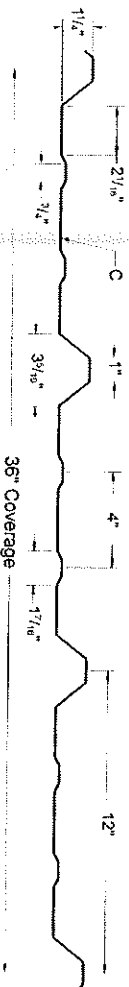
► **Availability**
Finishes: Acrylic Coated Galvalume™, MS Colorfast45™, or various Kynar 500 (PVDF) colors.
Gauges: 26ga and 24ga standard; 22ga optional

*Murley Hospital Storage
Building
Walls &
Roof*

CONDENSED TECHNICAL REFERENCE

R-PANEL

*MELBY HOSPITAL
Storage Building
Walls & Roof*



ARCHITECTURAL
COMMERCIAL
INDUSTRIAL
PANEL

DIRECT
FASTEN

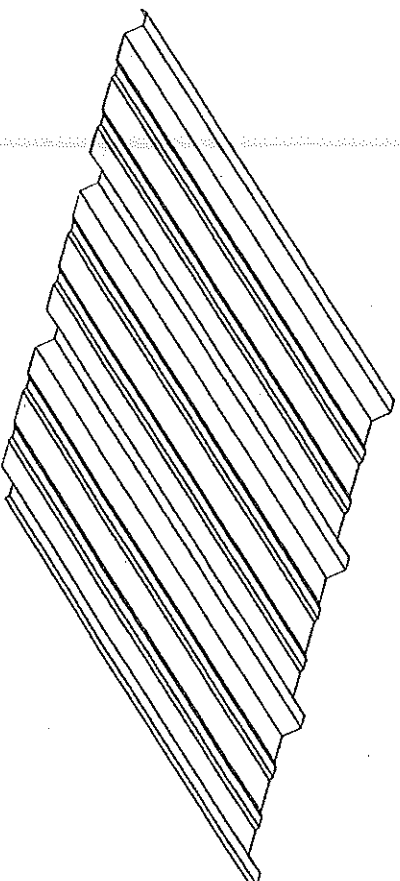
36"
COVERAGE

WALL PANEL

OPEN FRAMING OR
SOLID SUBSTRATE

PANEL OVERVIEW

- ▶ Finishes: Kynar 500 (PVDF), MS Colorfast⁴⁵®, and Acrylic Coated Galvalume[®]
- ▶ Gauges: ~~26ga~~ and 24ga standard, 22ga optional
- ▶ 36" panel coverage, 1 1/2" rib height
- ▶ Applies over open framing or solid substrate
- ▶ Exposed fastened metal building panel
- ▶ Trapezoidal rib on 12" centers
- ▶ Wall panel



TESTING

- ▶ UL 2218, Class 4 Impact Resistance
- ▶ UL 790, Class A Fire Resistance Rating
- ▶ Florida Building Code Approved 7231.1



From: "Roccoy Risbara" <roccoy@risbara.com>
To: "Tammy Munson" <TMM@portlandmaine.gov>
Date: 11/13/2008 9:31:52 AM
Subject: Emailing: A-2 07139.pdf, A-1 07139.pdf

<<A-2 07139.pdf>> <<A-1 07139.pdf>> Tammy, here are the details for the stairs and guard rail. Do you want me to send you hard copies, or are these enough? I sent the metal details yesterday. Let me know if you need anything else, and if we're all set let me know when I can pick the permit up. Thank you, RCR!!!
The message is ready to be sent with the following file or link attachments:

A-2 07139.pdf
A-1 07139.pdf

Note: To protect against computer viruses, e-mail programs may prevent sending or receiving certain types of file attachments. Check your e-mail security settings to determine how attachments are handled.

CC: "Connolly, Michael" <ConnollyM@mercyme.com>



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION

175 FORE RIVER PKWY

CBL 073 A001001

Issued to Mercy Hospital /Risbara Bros Construction

Date of Issue 12/21/2009

~~This is to certify~~ that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 08-1299 has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire Building

APPROVED OCCUPANCY

Storage Building - Property Maintenance Storage
Use Group : S1 Type : 5B
IBC 2003

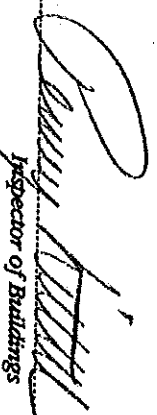
Limiting Conditions:

None

This certificate supersedes
certificate issued

Approved:

12-21-09 
(Date) Inspector


Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

closed

ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland Electrical Ordinance, National Electrical Code and the following specifications:

Date 10/18/09
 Permit # 900094592
 CBL# 013 A001

LOCATION: 175 Edge River Parkway METER MAKE & # _____
 CMP ACCOUNT # 441-15828539-001 OWNER Messy Hospital
 TENANT W0# 5-494353 PHONE # 503-5761

					TOTAL EACH FEE
OUTLETS	20	Receptacles	1	Switches	.20
FIXTURES		Incandescent	12	Fluorescent	.20
SERVICES		Overhead	1	Underground	15.00
Temporary Service		Overhead		Underground	>800 25.00
METERS		Overhead		Underground	TTL AMPS
MOTORS	1	(number of)		Underground	25.00
RESID/COM	3	(number of)		Underground	25.00
HEATING		Electric units		Underground	25.00
APPLIANCES		oil/gas units	1	Interior	5.00
		Ranges	1	Cook Tops	2.00
		Insta-Hot	1	Water heaters	2
		Dryers		Disposals	2.00
		Compactors		Spa	2.00
		Others (denote)		Washing Machine	2.00
MISC. (number of)		Air Cond/win			2.00
		Air Cond/cent		Pools	3.00
		HVAC		Thermostat	10.00
		Signs		EMS	5.00
		Alarms/res			10.00
		Alarms/com			5.00
		Heavy Duty(CRKT)			15.00
		Circus/Carnv			2.00
		Alterations			25.00
		Fire Repairs			5.00
	1	E Lights			15.00
		E Generators			1.00
PANELS		Service			20.00
TRANSFORMER		0-25 Kva		Remote	4.00
		25-200 Kva		Main	5.00
		Over 200 Kva			8.00
		MINIMUM FEE/COMMERCIAL 55.00			10.00
				TOTAL AMOUNT DUE	449.80
				MINIMUM FEE	45.00

RECEIVED

OCT - 9 2009

Dept. of Building Inspections
 City of Portland Maine

CONTRACTORS NAME Anthony Merisio Inc MASTER LIC. # ME 6000 3358
 ADDRESS 179 Shepley Street Portland, ME LIMITED LIC. # _____
 PHONE 749-55829

URE OF CONTRACTOR Gina Merisio
 White Copy - Office • Yellow Copy - Applicant