

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND BUILDING PERMIT



This is to certify that

NORDEN LINDA L

Located at

32 TURNER ST

PERMIT ID: 2014-00294

ISSUE DATE: 03/31/2014

CBL: 014 K002001

has permission to renovation of existing 2 story structure including the rebuilding of the rear section (demolished under permit #2014-00067) using section 14-436 - adding 2nd floor in rear & adding dormers to upper floor. New 2nd floor deck (5'8" x 6').

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

N/A

Fire Official

/s/ Tammy Munson

Building Official

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
THERE IS A PENALTY FOR REMOVING THIS CARD**

*Approved Property Use - Zoning*

*Building Inspections*

*Fire Department*

Two family

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

**Check the Status or Schedule an Inspection On-Line at  
<http://www.portlandmaine.gov/planning/permitstatus.asp>**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months. If the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.
- Per Section 107.3.1 of the Maine Uniform Building and Energy Code (MUBEC). One set of printed approved stamped construction documents shall be kept at the site of work and shall be open to inspection by building officials.

### **REQUIRED INSPECTIONS:**

Footings/Setbacks

Foundation/Backfill

Close-in Plumbing/Framing w/Fire & Draft Stopping

Electrical Close-in w/Fire & Draftstopping

Final Inspection

Final - Fire

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:

2014-00294

Date Applied For:

02/13/2014

CBL:

014 K002001

**Proposed Use:**

Same: 2 Unit Residential

**Proposed Project Description:**

renovation of existing 2 story structure including the rebuilding of the rear section (demolished under permit #2014-00067) using section 14-436 - adding 2nd floor in rear & adding dormers to upper floor. New 2nd floor deck (5'8" x 6').

**Dept:** Zoning**Status:** Approved w/Conditions**Reviewer:** Ann Machado**Approval Date:** 03/31/2014**Note:** R-6 Zone - existing structure not meeting setbacks - using section 14-436(b).**Ok to Issue:** **Conditions:**

- 1) This permit is being issued for the work on the principle structure only. A separate permit must be applied for to do any work on the detached garage.
- 2) This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 4) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.



Inspection Division  
Date: 03/31/14



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Address/Location of Construction: <u>32 TURNER ST., PORTLAND MAINE 04101</u>		
Total Square Footage of Proposed Structure:		<u>2,971 S.F.</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#  <u>014/K 002</u>	Applicant Name: <u>LINDA BARCOWITZ</u> Address: <u>AQUARIUS PROP. MANAGEMENT</u> City, State & Zip: <u>19 SOUTH ST. PORTLAND MAINE 04101</u>	Telephone: <u>207.899.3845</u> Email: <u>linda@aquariuspropertymanagement.com</u>
Lessee/Owner Name: <u>same</u> (if different than applicant) Address:  City, State & Zip:  Telephone & E-mail:	Contractor Name: (if different from Applicant) Address: <u>T.B.D.</u>  City, State & Zip:  Telephone & E-mail:	Cost Of Work: <u>\$ 300,000</u> C of O Fee: \$ _____ Historic Rev \$ _____ Total Fees : \$ _____
Current use (i.e. single family) <u>TWO FAMILY</u> If vacant, what was the previous use? <u>TWO FAMILY</u> Proposed Specific use: <u>TWO FAMILY</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>RENOVATION OF EXISTING 2 STORY STRUCTURE WITHIN EXISTING FOOTPRINT - UTILIZES 14-136 (B) @ 80% EXP. C PERM. B</u>		
Who should we contact when the permit is ready: <u>OWNER/APPLICANT - LINDA BARCOWITZ - NORTON</u>		
Address: <u>AQUARIUS PROPERTY MANAGEMENT 19 SOUTH ST. #5</u>		
City, State & Zip: <u>PORTLAND MAINE 04101</u>		
E-mail Address: <u>linda@aquariuspropertymanagement.com</u>		
Telephone: <u>650.9686 cell</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so causes an automatic permit denial.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Linda Barcowitz Norton Date: 1/30/2014

This is not a permit; you may not commence ANY work until the permit is issued.

Acknowledgment of Code Compliance Responsibility- Fast Track Project

Date: 03/11/14



I, LINDA BANCREFT am the owner or duly authorized owner's agent of the property listed below  
Print Legal Name NORRIS

AQUARIUS PROPERTY MANAGEMENT, 19 SOUTH ST. #5, PORTLAND, MAINE  
Physical Address 04101

I am seeking a permit for the construction or installation of:

RENOVATION W/ ALTERATIONS TO AND ADDITION TO THE EXISTING 2

FAMILY BLDG. @ 32 TAPSCOTT ST. WILL REMAIN 2 FAMILY.  
Proposed Project Description

I understand that the permits obtained pursuant to this acknowledgement of code compliance responsibility will be in my name and that I am acting as the general contractor for this project. I accept full responsibility for the work performed.

I am submitting for a permit authorized by the State of Maine Uniform Building and Energy Code (MUBEC), Fuel Board Laws and Rules and all locally adopted codes and standards applying to Plumbing, Electrical, Fire Prevention and Protection in anticipation of having it approved or approved with conditions. I have read the following statement and understand that failure to comply with all conditions once construction is begun may necessitate an immediate work stoppage until such time as compliance with the stipulated conditions is attained. I certify that I have made a diligent inquiry regarding the need for concurrent state or federal permits to engage in the work requested under this building permit, and no such permits are required or I will have obtained the required permits prior to issuance of this permit. I understand that the granting of this permit shall not be construed as satisfying the requirements of other applicable Federal, State or Local laws or regulations, including City of Portland historic preservation requirements, if applicable. I understand and agree that this permit does not authorize the violation of regulations.

In addition, I understand and agree that this building permit does not authorize the violation of the 12 M.R.S. § 12801 et seq. - Endangered Species.

I certify under penalty of perjury and under the laws of the State of Maine the foregoing is true and correct. I further certify that all easements, deed restrictions, or other encumbrances restricting the use of the property are shown on the site plans submitted with this application.

I hereby apply for a permit as an OWNER of the below listed property and by so doing will assume responsibility for compliance with all applicable codes, bylaws, rules and regulations.  
Owner or Owner's Agent

I further understand that it is my responsibility to schedule inspections of the work as required and that the City's inspections will, at that time, check the work for code compliance. The City's inspectors may require modifications to the work completed if it does not meet applicable codes. \_\_\_\_\_ INITIAL HERE

Sign Here: Linda Bancreft Date: 1/30/2014  
Owner or Owner's Authorized Agent

PLEASE ALSO FILL OUT AND SIGN SECOND PAGE

# Acknowledgment of Code Compliance Responsibility- Fast Track Project

Name (Last, First)

Address

City



Date: 03/1/14



THIS PROJECT IS ELIGIBLE FOR FAST TRACK PERMITTING BECAUSE IT IS IN THE FOLLOWING CATEGORY / CATEGORIES (CHECK ALL THAT APPLY):

- One/Two Family Swimming Pools, Spas or Hot Tubs
- One/Two Family Decks, Stairs and Porches (attached or detached) First Floor Only
- One/Two Family Detached One Story Accessory Structures (garages, sheds, etc.) not to exceed 600sq ft with no habitable space
- Home Occupations (excluding day cares )
- One/Two Family Renovation/Rehabilitation (within the existing shell)
- Attached One /Two Family Garages /Additions/Dormers bearing the seal of a licensed design professional
- New *Sprinklered* One and Two Family Homes (bearing the seal of a licensed design professional stating code compliance) – **MUST STILL RECEIVE LEVEL 1 SITE PLAN APPROVAL FROM PLANNING**
- One/Two Family HVAC (including boilers, furnaces, heating appliances, pellet and wood stoves)
- Interior office renovations with no change of use (no expansions; no site work; no load bearing structural changes are eligible) bearing the seal of a licensed design professional stating code compliance
- Interior Demolition with no load bearing demolition
- Amendments to existing permits
- Commercial HVAC systems (with structural and mechanical plans bearing the seal of a licensed design professional stating code compliance)
- Commercial HVAC for Boilers/Furnaces/Heating Appliances
- Commercial Signs or Awnings
- Exterior Propane Tanks
- Residential or Commercial Subsurface Waste Water Systems (No Rule Variance Only)
- Renewal of Outdoor Dining Areas
- Temporary Outdoor Tents and stages under 750 sq ft per tent or stage
- Fire Suppression Systems (Both non-water and water based installations)
- Fences over 6'-0" in height
- Site work only
- Retaining walls over 4ft in height with stamped plans (or approval from inspection staff)

I understand that if the property is located in a historic district this application will also be reviewed by Historic Preservation. I further understand that the Building Inspections Division reserves the right to deny a fast track eligible project.

Sign Here

*Andreas B. ...*  
- Owner or Owner's Authorized Agent

Date:

1/30/2014



Inspection Division  
Date: 03/31/14

Applicant: Linda W Bincroft Norden

Date: 3/12/14

Address: 32 Turner Street

C.B.L: 14-K-002

Permit # 2014-00294

CHECK-LIST AGAINST ZONING ORDINANCE

Date - house built 1889

Zone Location - R-6

Interior or corner lot - Interior

Proposed Use/Work - rebuild rear section of house (demolished under permit 2014-00067) adding roof top deck. <sup>1st story</sup> adding floor area. - remainder existing - dormers on rear 1/2 front. - new 2nd floor deck.

Sewage Disposal - City

(31.2 rear) <sup>OK</sup>  
16.4 back <sup>OK</sup>

Lot Street Frontage - existing

Front Yard - ~~10'~~ 10' or average - .31' scaled \*

\* using section 14-436(b)

Rear Yard - 20' min - 15.5 scaled \*  
~~14.4~~ ~~average~~ scaled

1st floor footprint - 1191  $\phi$  (given)

SFL = .9528  $\phi$

Side Yard - 10' min - left side - 1.3' scaled to  
right side - 14.2' scaled

- new 2nd floor rear = 3.36

- 3rd floor dormers = 3.61

6.97  $\phi$

Projections - N/A

Width of Lot - N/A

Height - 45' max

6.97 / 1191 = 58.5%

Lot Area - 3000  $\phi$  given

Lot Coverage Impervious Surface - 50% = 1500  $\phi$  - 1445 sqm <sup>OK</sup>

open space - 20% = 600  $\phi$  OK - footprint not more than

Area per Family - existing

Off-street Parking - existing

Loading Bays - N/A

Site Plan - N/A

Shoreland Zoning/Stream Protection - N/A

Flood Plains -

\* legal use - 2 family



Inspection Division  
Date: 03/31/14

**Ann Machado - RE: 32 Turner St - Permit #2014-00294 renovate & rebuild two family**

---

**From:** Ann Machado  
**To:** Linda Bancroft-Norden  
**Date:** 2/21/2014 10:06 AM  
**Subject:** RE: 32 Turner St - Permit #2014-00294 renovate & rebuild two family  
**CC:** Joe Delaney

---

Linda -

Because you are using section 14-436 to go up on the existing footprint, I need existing elevations and cross sections of the existing structure to see how much floor area existed originally to see how much is being added with the new permit. Also section 14-436(b) states that "the additional floor area shall be created by raising the existing roof configuration the minimum amount required to create an additional story of habitable space or by the use of dormers, turrets or similar structures". I need the elevations to see the whole building as once and not broken up as it is in the pictures. The pictures do not provide enough information.

I will be on vacation from February 24- March 7. If you want to move forward with this permit before then, you can work with Marae Schmuckal at [mes@portlandmaine.gov](mailto:mes@portlandmaine.gov).

Ann

Ann Machado  
Zoning Specialist  
Planning & Urban Development  
Portland City Hall  
(207) 874-8709

>>> "Linda Bancroft-Norden" <linda@aquariuspropertymanagement.com> 2/20/2014 3:40 PM >>>  
Hi Ann.

1. As requested, attached are the pictures of the rear section before we started the demolition. These are the same set of pictures that I included prematurely, when I submitted the permit for the demolition.

I am copying Joe on this email to see if he has the elevations.

2. As for the garage, we are going to do this last and not until after the house is finished. For this reason, we are planning to submit the permit application and building plans for the garage separately. **Does this work?**

Please let me know if you have any questions.

Thanks,  
Linda

*Linda Bancroft-Norden: President & COO*


Aquarius Property Management, LLC  
19 South Street #5





Inspection Division  
Date: 03/31/14

Portland, ME 04101  
207-899-3845  
[www.aquariuspropertymanagement.com](http://www.aquariuspropertymanagement.com)

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 [APM on FB](#)

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----- Original Message -----

Subject: 32 Turner St - Permit #2014-00294 renovate & rebuild two family

From: "Ann Machado" <[AMACHADO@portlandmaine.gov](mailto:AMACHADO@portlandmaine.gov)>

Date: Thu, February 20, 2014 12:39 pm

To: <[linda@aquariuspropertymanagement.com](mailto:linda@aquariuspropertymanagement.com)>

Linda -

I have completed my zoning review and there are some things that I need before I can approve the permit for zoning.

1. I need elevations for the existing building including what the rear looked like before it was demolished.
2. It looks like the garage is being rebuilt. I didn't see any plans of that except for the first floor plan. Also, the garage shown on the mortgage loan inspection plan that was submitted with the demo permit (2014-00067) was shown at an angle to the lot line. The garage footprint on the first floor plan is shown at right angles to the lot line and it is a different size.

Please submit the pdfs of the plans directly to me but copy [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov).

Thank you.

Ann Machado

Ann Machado  
Zoning Specialist  
Planning & Urban Development  
Portland City Hall  
(207) 874-8709

Notice: Under Maine law, documents - including e-mails - in the possession of public officials or city employees about government business may be classified as public records. There are very few exceptions. As a result, please be advised that what is written in an e-mail could be released to the public and/or the media if requested.

# 32 TURNER ST.

## Aquarius Property Management

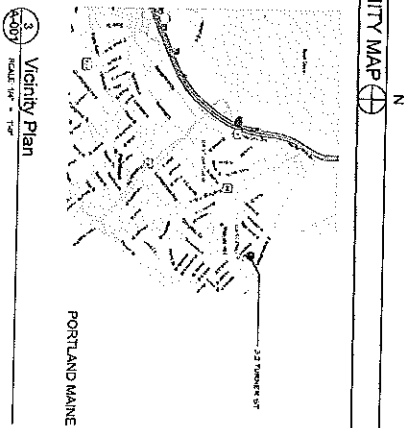
### GENERAL NOTES

- EXISTING FINISHING HAS BEEN DOCUMENTED AND SHOULD BE MAINTAINED UNLESS OTHERWISE NOTED. ANY CHANGES TO FINISHING SHALL BE NOTED ON THE DRAWINGS. FINISHING SHALL BE RESTORED TO ORIGINAL CONDITION UNLESS OTHERWISE NOTED.
- NOT ALL EXISTING CONDITIONS MAY HAVE BEEN RECORDED. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS TO BE MAINTAINED OR RESTORED TO ORIGINAL CONDITION OR PROCEEDING WITH WORK WHERE A COVER LOT MAY OCCUR.
- PROTECT PORTING OF BUILDING, SITE, AND CONSTRUCTION OPERATIONS.
- NO WORKING SHALL BE ALLOWED ON SITE.
- AGREE TO THE TERMS OF THE SITE (LIMITED BY THE USE OF THE SITE) TO BE MAINTAINED MECHANICAL AND ELECTRICAL CONTRACTORS TO PERFORM THE WORK.
- REMOVE UNWANTED UTILITIES AND WERING SYSTEMS.
- VERIFY EXISTING CONDITIONS AND CORRELATE WITH RECORD DRAWINGS TO VERIFY EXISTING CONDITIONS. VERIFY ALL CONDITIONS TO BE MAINTAINED OR RESTORED TO ORIGINAL CONDITION OR PROCEEDING WITH WORK WHERE A COVER LOT MAY OCCUR.
- LITWORK INCLUDES NEW PIPE WORKING.

### PROJECT DATA

ZONING: R-4  
 FRONT YARD SET BACK: 10'  
 SIDE YARD SET BACK: 5'  
 REAR YARD SET BACK: 5'  
 MAX. BLDG. HT.: 35'  
 BLDG. USE: RESIDENTIAL  
 PROPOSED RESIDENTIAL 2 FAMILY  
 CLIMATE TYPE: 5  
 CLIMATE ZONE: 5  
 MAX. SEASON: 5  
 FIRE SPRINKLER: N/A  
 LIVE LOAD: PER AREA - 40 PSF  
 DEAD LOAD: PER AREA - 20 PSF  
 DIMENSIONAL ATTIC: 20 PSF  
 SHOW LOADS: PER AREA - 40 PSF  
 SHOW LOADS: PER AREA - 20 PSF  
 SHOW LOADS: PER AREA - 10 PSF  
 FLOOR ROOF SHOW LOAD: 10' x 40' x 20' x 10'

### VICINITY MAP



### APPLICABLE CODES

ALL CODES REFERENCED ARE TO BE USED AS A MINIMUM BY THE STATE OF MAINE AND LOCAL JURISDICTION.

IBC 2018  
 MAINE STATE BUILDING CODE  
 PORTLAND ZONING ORDINANCE  
 THERMAL BARRIER REQUIREMENTS PER IRC 2006  
 - FIRE RESISTION R-FACTOR 224 MINIMUM A, SPRINKLER SYSTEMS  
 - DRIFTLOFT VAPOR BARRIER  
 - CEILING R-VALUE: 48-51 - 6 CLOSED CELL W/9" BATT  
 WOOD FRAME WALL R-VALUE: 20 - 7" OPEN CELL 8" MIN 2 X 8  
 - CEILING R-VALUE: 30 OR INDELT. TO FILL CAVITY MIN. R-19 - USE  
 7" BATT, R-19 2" ST  
 - INSULATION QUALITY: 13 CONTINUOUS OR 13 FRAMING  
 CAVITY INSULATION WITH 2" CLOSED CELL  
 - GYM: 5" R-VALUE R-30 TO 4 FEET CEMENT TO REBAR  
 FINISHING CEMENT, N/A

### SCOPE OF WORK

RENOVATION OF EXISTING BUILDING TO REMAIN A 2 FAMILY RESIDENTIAL PROPERTY  
 EXPANSION OF THIRD FLOOR PER PLAN B)  
 CREATION OF ROOF DECK  
 RENOVATION OF GARAGE TO CREATE SINGLE PARKING BAY AND PERIOD.

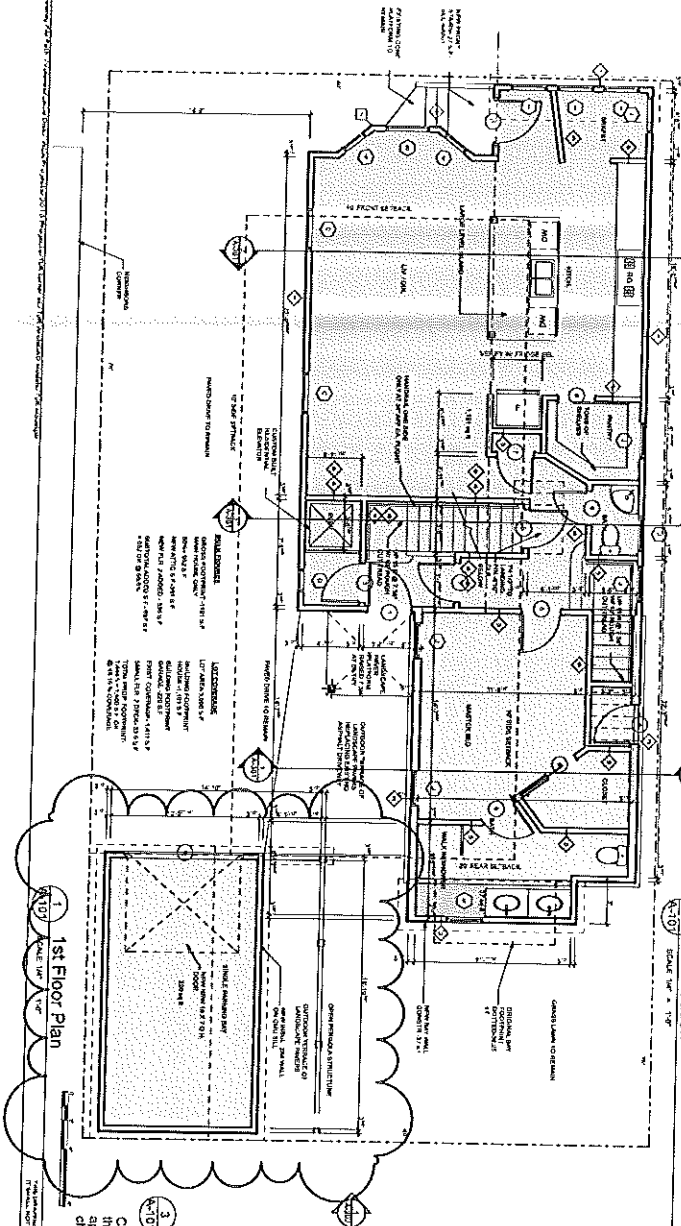
### SHEET INDEX

ID	TITLE	DATE
A-001	FINAL SHEET	11/15/24
A-002	FOUNDATION PLAN	11/15/24
A-003	FLOOR PLAN	11/15/24
A-004	SECTION	11/15/24
A-005	DETAILS	11/15/24
A-006	MECHANICAL PLAN	11/15/24
A-007	ELECTRICAL PLAN	11/15/24
A-008	PLUMBING PLAN	11/15/24
A-009	ROOF PLAN	11/15/24
A-010	CONCRETE PLAN	11/15/24
A-011	FOUNDATION PLAN	11/15/24
A-012	FOUNDATION PLAN	11/15/24
A-013	FOUNDATION PLAN	11/15/24
A-014	FOUNDATION PLAN	11/15/24
A-015	FOUNDATION PLAN	11/15/24
A-016	FOUNDATION PLAN	11/15/24
A-017	FOUNDATION PLAN	11/15/24
A-018	FOUNDATION PLAN	11/15/24
A-019	FOUNDATION PLAN	11/15/24
A-020	FOUNDATION PLAN	11/15/24

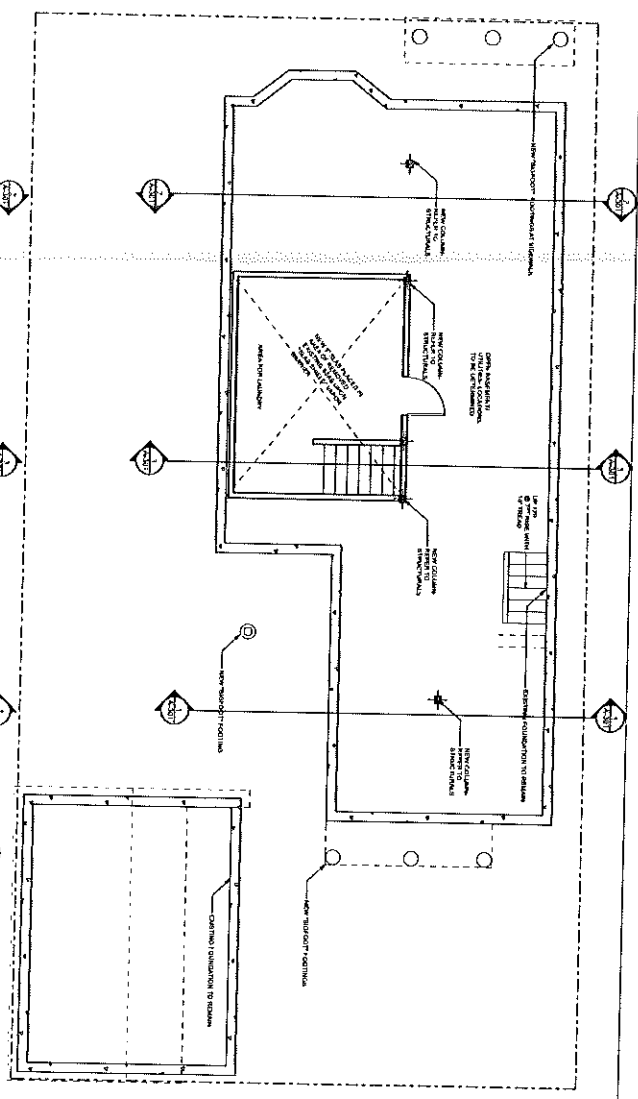
**A-001**

32 TURNER ST.  
 AQUARIUS PROPERTY MANAGEMENT  
 PORTLAND, MAINE

PROJECT NO. 21111  
 DATE: 11/15/24  
 DRAWN BY: JAD  
 CHECKED BY: JAD

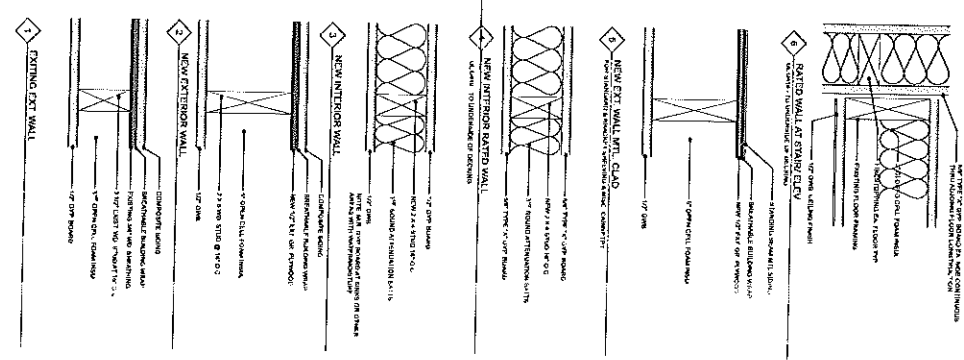


1 1st Floor Plan



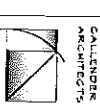
2 Foundation

3 Generic Wall Types  
 SCALE: 3/8" = 1'-0"  
 Changes to the garage are not part of this set. In the future to make the changes to the garage.

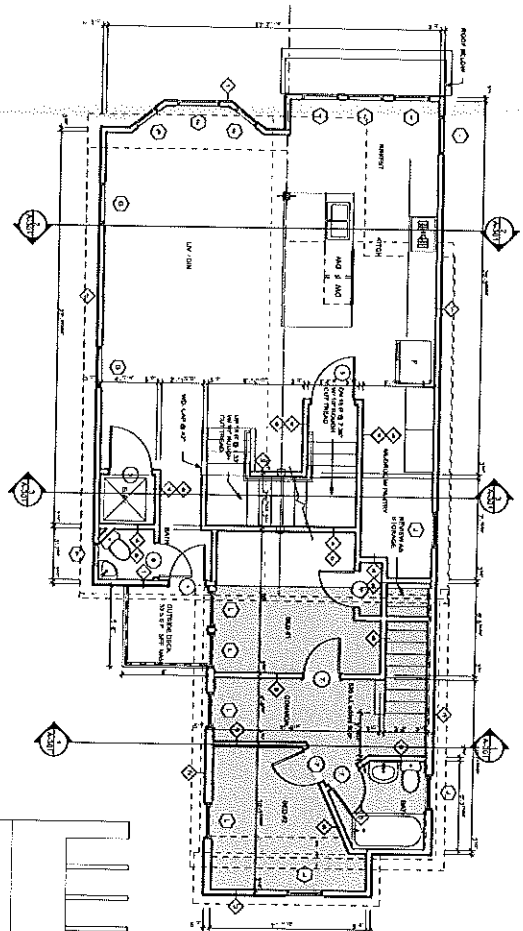


<p><b>A-101</b></p>	<p>PROJECT: 32 Turner St. Foundation</p>	<p>DATE: 11/14/2009</p>	<p>DESCRIPTION:</p>	<p>SCALE: 3/8" = 1'-0"</p>	<p>PROJECT: 32 Turner St. Foundation</p>	<p>DATE: 11/14/2009</p>	<p>DESCRIPTION:</p>	<p>SCALE: 3/8" = 1'-0"</p>	<p>PROJECT: 32 Turner St. Foundation</p>	<p>DATE: 11/14/2009</p>	<p>DESCRIPTION:</p>	<p>SCALE: 3/8" = 1'-0"</p>
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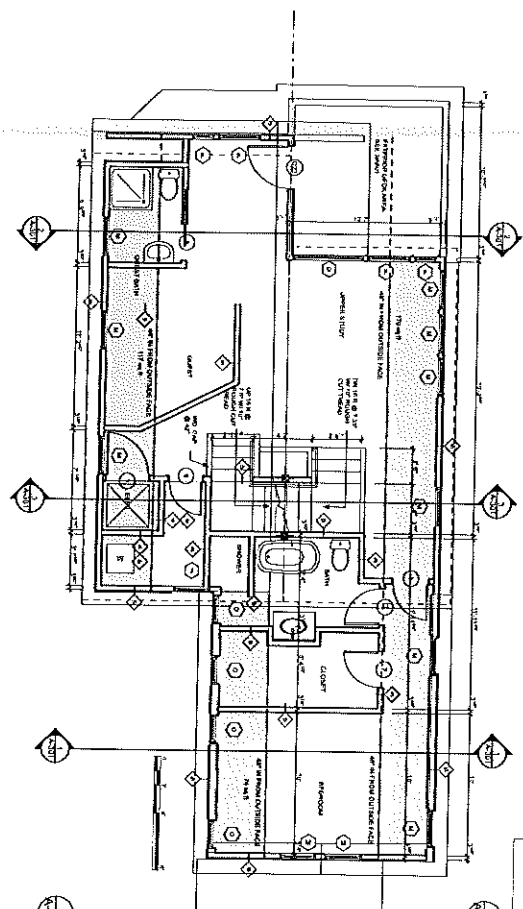
32 TURNER ST.  
 AQUARIUS PROPERTY MANAGEMENT PORTLAND, MAINE



M. J. F. L. L.  
 REGISTERED ARCHITECT  
 STATE OF MAINE



1  
2nd Floor Plan  
SCALE: 1/8" = 1'-0"



2  
3rd Floor Plan  
SCALE: 1/8" = 1'-0"

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF AQUARUS PROPERTY MANAGEMENT, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AQUARUS PROPERTY MANAGEMENT, INC.

A-102

NO.	DATE	DESCRIPTION
1	10/15/14	ISSUED FOR PERMIT
2	11/10/14	ISSUED FOR PERMIT
3	12/01/14	ISSUED FOR PERMIT
4	12/01/14	ISSUED FOR PERMIT
5	12/01/14	ISSUED FOR PERMIT
6	12/01/14	ISSUED FOR PERMIT
7	12/01/14	ISSUED FOR PERMIT
8	12/01/14	ISSUED FOR PERMIT
9	12/01/14	ISSUED FOR PERMIT
10	12/01/14	ISSUED FOR PERMIT

PROJECT NO. 2-13-14  
 ARCHITECT: JMD  
 DATE: 12/01/14  
 SCALE: 1/8" = 1'-0"

32 TURNER ST.  
 PORTLAND, MAINE  
 AQUARUS PROPERTY MANAGEMENT

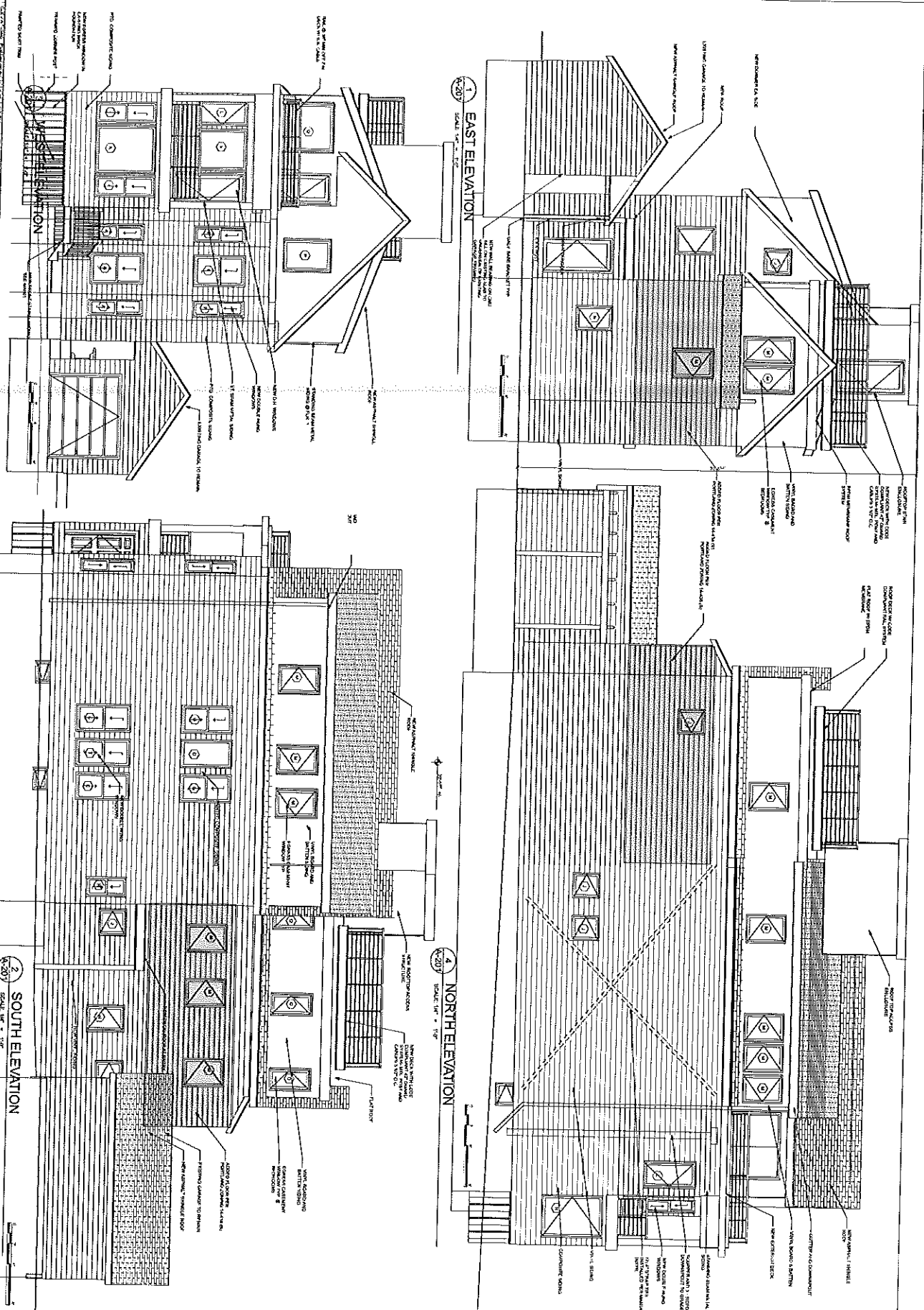
MURPHY -  
 CALLENDER  
 ARCHITECTS



32 TURNER ST.  
 AQUARUS PROPERTY MANAGEMENT PORTLAND, MAINE  
 MANAGEMENT







NO.	DATE	REVISION
1	9.15.14	ANNA DECKREY
2	8.21.14	DON PALMER

PROJECT: 32 TURNER ST. PORTLAND, ME

ARCHITECT: AMIEPLE - CALDENDER ARCHITECTS

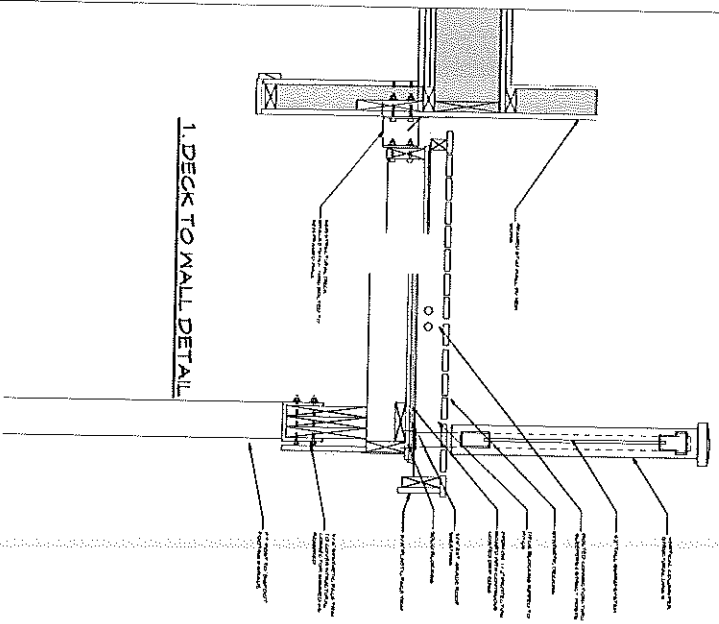
32 TURNER ST.  
AQUARIUS PROPERTY MANAGEMENT PORTLAND, MAINE







### 1. DECK TO WALL DETAIL

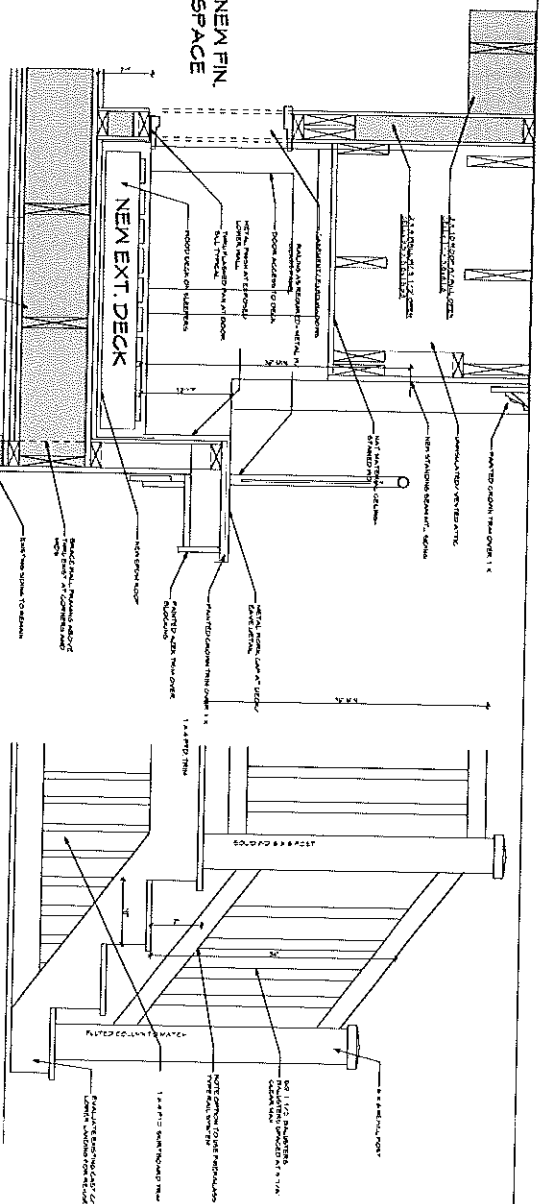


### NEW FINISH SPACE

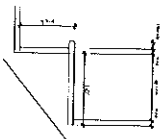
### NEW EXT. DECK

### EXISTING SPACE

### 4. ENTRY PORCH STAIR SECTION

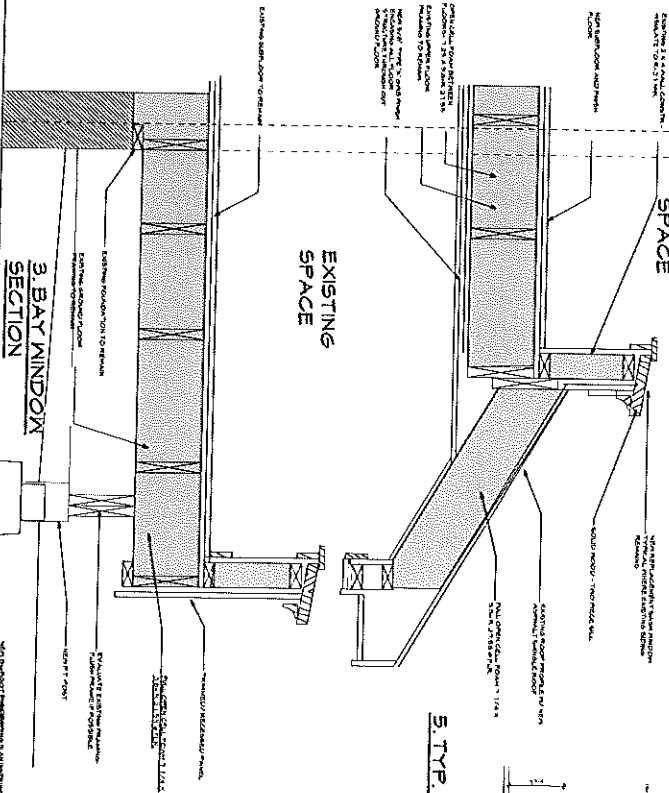


### 5. TYP. STAIR TREAD



### EXISTING SPACE

### 3. BAY WINDOW SECTION



A-501

PROJECT NAME: 32 TURNER ST.  
 ARCHITECT: JAMES H. ANDERSON  
 DATE: 11/20/14  
 SHEET: 12 OF 12

NO.	DATE	REVISION

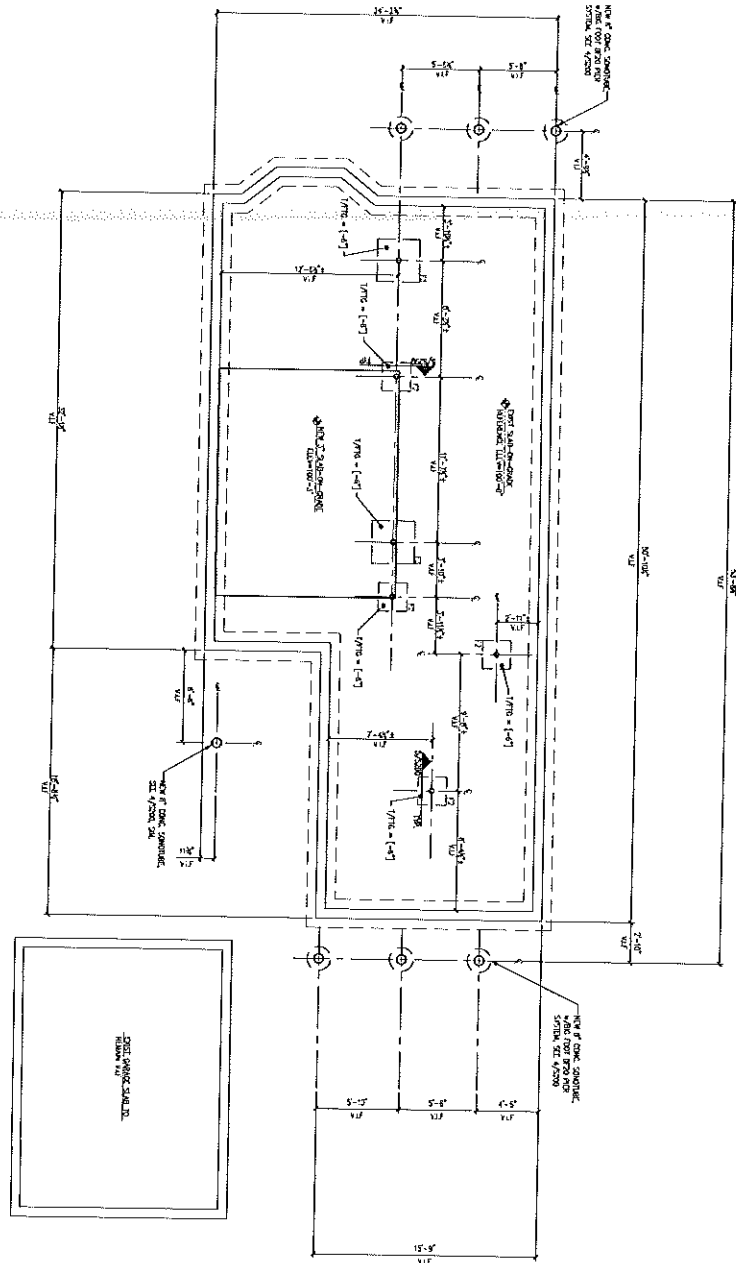
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32 TURNER ST.  
 AQUARIUS PROPERTY MANAGEMENT  
 PORTLAND, MAINE



FOUNDATION PLAN



NO.	DESCRIPTION	SECTION	LENGTH	WIDTH	DEPTH	CONCRETE	REINFORCEMENT
1	FOOTING	1'-0"	1'-0"	1'-0"	1'-0"	CONCRETE	4#4 @ 12" O.C.
2	FOOTING	1'-0"	1'-0"	1'-0"	1'-0"	CONCRETE	4#4 @ 12" O.C.
3	FOOTING	1'-0"	1'-0"	1'-0"	1'-0"	CONCRETE	4#4 @ 12" O.C.

- NOTES:
1. VERIFY ALL DIMENSIONS, ELEVATIONS AND FINISH CONDITIONS IN FIELD.
  2. VERIFY ALL DIMENSIONS, ELEVATIONS AND FINISH CONDITIONS IN FIELD.
  3. VERIFY ALL DIMENSIONS, ELEVATIONS AND FINISH CONDITIONS IN FIELD.
  4. VERIFY ALL DIMENSIONS, ELEVATIONS AND FINISH CONDITIONS IN FIELD.
  5. VERIFY ALL DIMENSIONS, ELEVATIONS AND FINISH CONDITIONS IN FIELD.

LEGEND

	3/4" WALL
	12" COL. COLUMN
	12" COL. COLUMN
	12" COL. COLUMN
	12" COL. COLUMN
	12" COL. COLUMN
	12" COL. COLUMN
	12" COL. COLUMN

SCALE: 1/8"=1'-0"

S100

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT ONLY (NOT FOR CONSTRUCTION)	2-12-14
2		
3		
4		
5		

32 TURNER ST  
32 TURNER ST  
PORTLAND, ME  
BUILDING RENOVATION

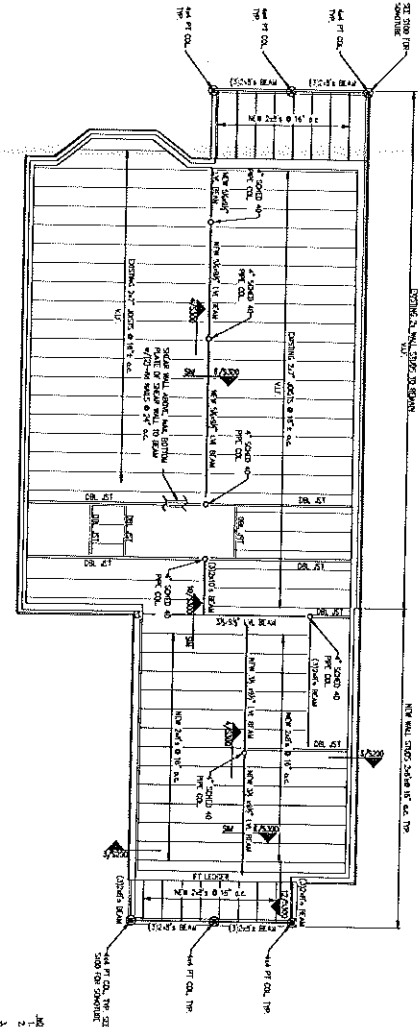


CLIENT:  
WHIPPLE CALLENDER  
ARCHITECTS  
10000



FIRST FLOOR FRAMING PLAN

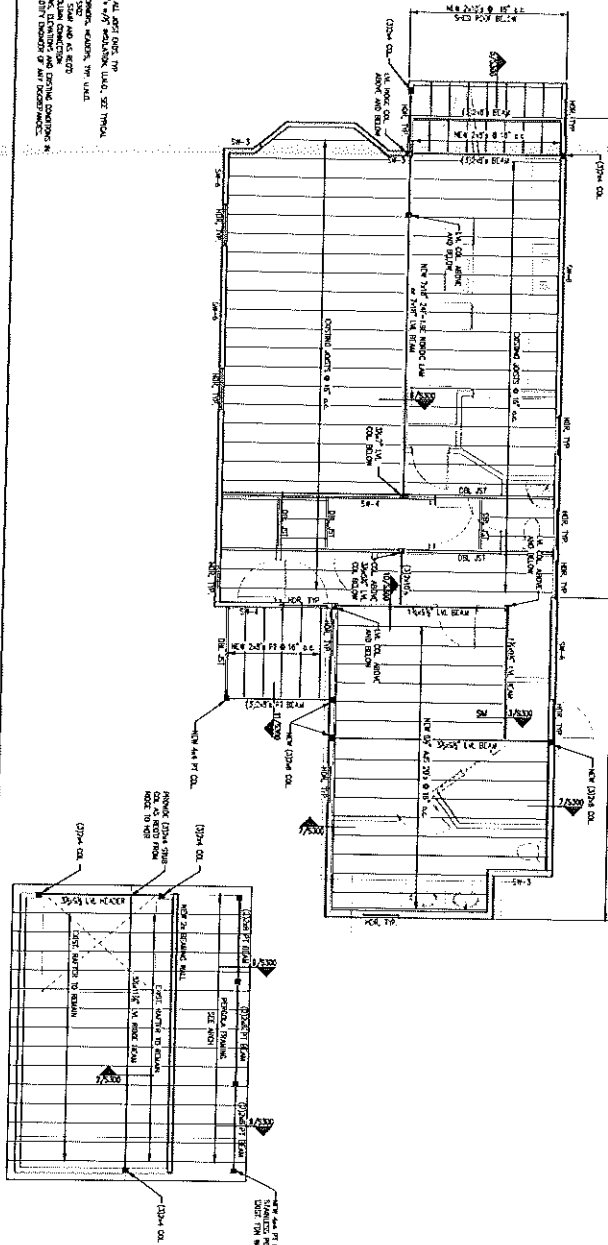
- NOTE: 1. PROVIDE 1" OF INSULATION AND 1/2" OF GYPSUM BOARD OVER ALL EXISTING WALLS AND CEILING. 2. PROVIDE 1" OF INSULATION AND 1/2" OF GYPSUM BOARD OVER ALL EXISTING FLOORS. 3. REMOVE ALL EXISTING PARTITION WALLS AND CEILING.



- NOTE: 1. PROVIDE SCHEDULE 40RT WELDERS AT ALL JOINTS OVER THE TOP. 2. REMOVE EXISTING PARTITION WALLS AND CEILING. 3. PROVIDE 1" OF INSULATION AND 1/2" OF GYPSUM BOARD OVER ALL EXISTING WALLS AND CEILING. 4. PROVIDE NEW PARTITION WALLS, TRIMMING AT STAIR AND ALL KEYS. 5. PROVIDE TO VERIFY ALL PARTITION CONNECTIONS. 6. PROVIDE TO VERIFY ALL PARTITION CONNECTIONS. 7. PROVIDE TO VERIFY ALL PARTITION CONNECTIONS. 8. PROVIDE TO VERIFY ALL PARTITION CONNECTIONS.

SECOND FLOOR FRAMING PLAN

- NOTE: 1. PROVIDE SCHEDULE 40RT WELDERS AT ALL JOINTS OVER THE TOP. 2. REMOVE EXISTING PARTITION WALLS AND CEILING. 3. PROVIDE 1" OF INSULATION AND 1/2" OF GYPSUM BOARD OVER ALL EXISTING WALLS AND CEILING. 4. PROVIDE NEW PARTITION WALLS, TRIMMING AT STAIR AND ALL KEYS. 5. PROVIDE TO VERIFY ALL PARTITION CONNECTIONS. 6. PROVIDE TO VERIFY ALL PARTITION CONNECTIONS. 7. PROVIDE TO VERIFY ALL PARTITION CONNECTIONS. 8. PROVIDE TO VERIFY ALL PARTITION CONNECTIONS.



SCALE: 1/4"=1'-0" 2

ISSUED FOR PERMIT ONLY AND FOR CONSULTATION PURPOSES

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT ONLY AND FOR CONSULTATION PURPOSES	2-12-14

32 TURNER ST  
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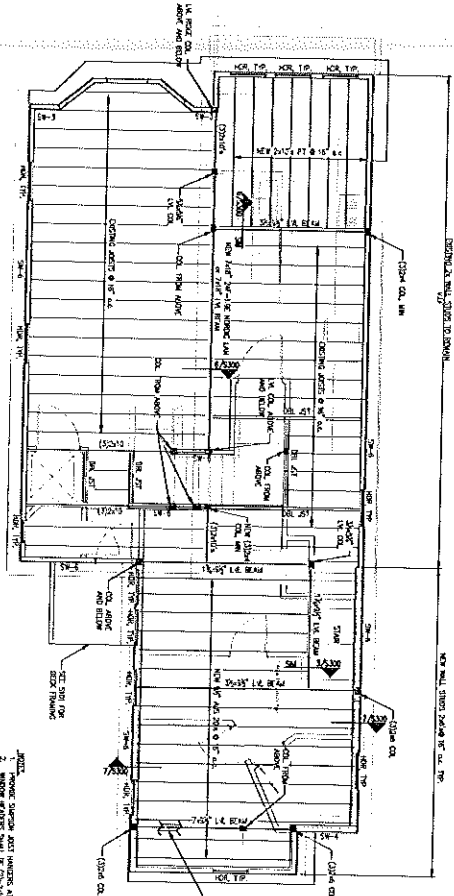


**SHED WALL SCHEDULE BETWEEN FLOOR DIAPHRAGMS**

NO.	DESCRIPTION	HEIGHT	THICKNESS
1	1/2" CMU	8' 0"	8"
2	1/2" CMU	8' 0"	8"
3	1/2" CMU	8' 0"	8"

- NOTES FOR SHED WALL SCHEDULES:**
1. ALL SHED WALLS SHALL BE 1/2" CMU AND SHALL BE 8' HIGH.
  2. BRICK MASONRY SHALL BE 8" THICK.
  3. ALL SHED WALLS SHALL BE 8' HIGH.
  4. ALL SHED WALLS SHALL BE 8" THICK.
  5. ALL SHED WALLS SHALL BE 8' HIGH.

**THIRD FLOOR FRAMING PLAN**



- NOTES:**
1. PROVIDE SHED WALLS AT ALL JOINTS.
  2. BRICK MASONRY SHALL BE 8" THICK.
  3. ALL SHED WALLS SHALL BE 8' HIGH.
  4. ALL SHED WALLS SHALL BE 8" THICK.
  5. ALL SHED WALLS SHALL BE 8' HIGH.

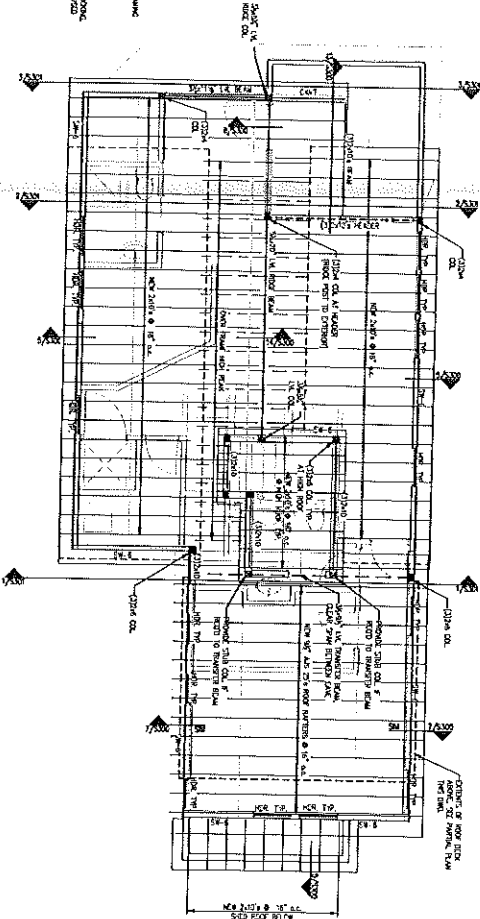
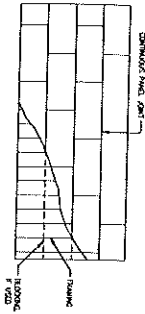
**LEGEND**

(Symbol)	SHED WALL
(Symbol)	BRICK MASONRY
(Symbol)	CONCRETE
(Symbol)	STEEL
(Symbol)	WOOD
(Symbol)	GLASS
(Symbol)	MECHANICAL
(Symbol)	ELECTRICAL
(Symbol)	PLUMBING
(Symbol)	PAINT
(Symbol)	FINISH

SCALE: 1/4"=1'-0"

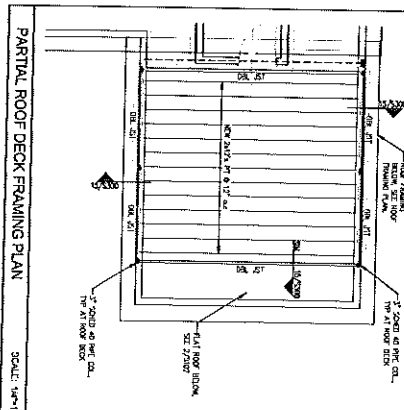
**ROOF FRAMING PLAN**

- NOTES FOR ROOF FRAMING PLAN:**
1. PROVIDE SHED WALLS AT ALL JOINTS.
  2. BRICK MASONRY SHALL BE 8" THICK.
  3. ALL SHED WALLS SHALL BE 8' HIGH.
  4. ALL SHED WALLS SHALL BE 8" THICK.
  5. ALL SHED WALLS SHALL BE 8' HIGH.



- NOTES:**
1. PROVIDE SHED WALLS AT ALL JOINTS.
  2. BRICK MASONRY SHALL BE 8" THICK.
  3. ALL SHED WALLS SHALL BE 8' HIGH.
  4. ALL SHED WALLS SHALL BE 8" THICK.
  5. ALL SHED WALLS SHALL BE 8' HIGH.

SCALE: 1/4"=1'-0"



**S102**

**ISSUED**

NO.	DATE	DESCRIPTION
1	2-12-14	ISSUED FOR PERMIT ONLY LAST FOR OWNER'S USE

**THIRD FLOOR & ROOF FRAMING PLAN**

NO.	DATE	DESCRIPTION
1	2-12-14	ISSUED FOR PERMIT ONLY LAST FOR OWNER'S USE

**32 TURNER ST**  
32 TURNER ST  
**BUILDING RENOVATION**

**CASCO BAY**  
444 Elm Street  
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Tel: 207.633.8288  
www.cascobayframing.com

**CLIENT:**  
WHIPPLE CALLENDER  
ARCHITECTS  
1000 HIGHLAND AVE  
PORTLAND, ME 04101

**PORTLAND**

