



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>19 CHESTNUT STREET, PORTLAND, ME 04102</u>	
Total Square Footage of Proposed Structure/Area: <u>16,000 SF</u>	Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>27</u> Block# <u>C</u> Lot# <u>11</u>	Applicant *must be owner, Lessee or Buyer* Name <u>ANNE & PETER VERILL</u> Telephone: <u>712-8013</u> Address <u>220 WS ROUTE 1</u> <u>332-1108</u> City, State & Zip <u>PORTLAND, ME 04105</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip
Current legal use (i.e. single family) If vacant, what was the previous use? <u>CHURCH RESTAURANT</u>	Cost Of Work: <u>\$1,000,000</u> C of O Fee: \$ <u>75</u>
Proposed Specific use: <u>CHANGE OF USE, CHURCH TO RESTAURANT; EXTERIOR RESTORATION ACCESSIBLE ENTRANCE & BATHROOMS; NEW FITTING; MECHANICAL ELECTRICAL UPGRADE</u>	Total Fee: \$ <u>10,085.00</u> <u>PAID</u> <u>7/16/08 CLK</u>
Is property part of a subdivision? <u>No</u>	If yes, please name
Project description:	
Contractor's name: <u>E. W. DRAPER FIELD, INC. & SONS</u>	
Address: <u>2715 ATHENS ROAD</u>	
City, State & Zip: <u>PORTLAND, ME 04143</u>	Telephone: <u>938-2461</u>
Who should we contact when the permit is ready: _____	Telephone: _____
Mailing address: _____	

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

JUL 14 2008

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: P. Dean Boylen Date: July 14, 2008

This is not a permit; you may not commence ANY work until the permit is issued

R. Dean Bingham/Architect

■ 55 Roberts Street
■ Portland, ME 04102
■ (207) 774-7779
■ rdeanbingham@mac.com

July 14, 2008

Portland Fire Department
Portland, ME 04101

Re: Grace Restaurant (FKA Chestnut Street Church, Portland, ME)

Owner/Applicant:
Anne and Peter Verrill
270 US Route 1
Falmouth, ME 04105

Architect:
R. Dean Bingham AIA
55 Roberts Street
Portland, ME 04102

Area of Structure:
Ground Floor: 6695 SF
Main Floor: 6695 SF
Balcony: 2609 SF
Total Bldg Area 16,000 SF

There is no existing fire protection, except for a number of fire alarm pull stations. We are adding a supervised wet sprinkler system to all areas of the building. In addition there will be a voice evac system. Applications and documentation for these systems will follow.

Sincerely,

R. Dean Bingham, AIA



Accessibility Building Code Certificate

Designer:

R. DEAN BINGHAM / ARCHITECT

Address of Project:

19 CHESTNUT STREET, PORTLAND

Nature of Project:

CHANGE OF USE FROM CHURCH TO RESTAURANT,
EXTERIOR RESTORATION; ACCESSIBLE ENTRANCE &
BATH ROOMS; NEW KITCHEN; MECHANICAL &
ELECTRICAL UPDATES;

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

Signature:

R. Dean Bingham

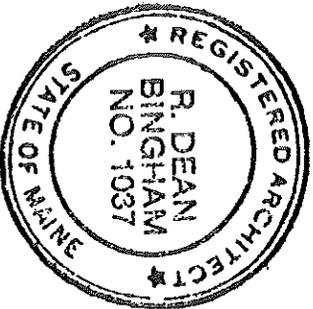
Title:

ARCHITECT

Firm:

R. DEAN BINGHAM / ARCHITECT

(SEAL)



Address:

55 ROBERTS ST.

PORTLAND, ME 04102

Phone:

201-774-7779

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

Date: July 14, 2008

From: R. DEAN BINGHAM

These plans and / or specifications covering construction work on:

19 CHESTNUT STREET, PORTLAND, ME
SPACE RESTAURANT (FKA CHESTNUT STREET CHURCH)

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.

Signature: R. Dean Bingham

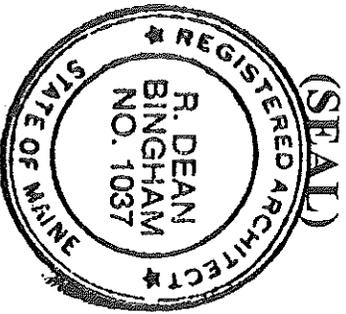
Title: ARCHITECT

Firm: R. DEAN BINGHAM / ARCHITECTS

Address: 55 ROBERTS ST

PORTLAND, ME 04102

Phone: 774-7779



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon
Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

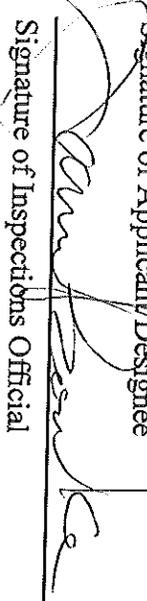
A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers
- Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.
NOTE: There is a \$75.00 fee per inspection at this point.
- A health inspection is required for the license approval

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

	<u> </u>	<u>8/8/08</u>
Signature of Applicant/Designee		Date
	<u> </u>	<u>8/8/08</u>
Signature of Inspections Official		Date

From: "R. Dean Bingham" <rdeanbingham@mac.com>
To: <gec@portlandmaine.gov>
Date: 7/30/2008 2:03:27 PM
Subject: Chestnut Street Church (Grace)

Hi Greg--

Thanks for your call.

In reviewing 12.3.2 regarding the limitation about having boilers and refrigeration machinery adjacent to means of egress:

I think we can accept a condition of the permitting that any refrigeration machinery associated with the walkin cooler on the basement level shall be remotely located, NOT adjacent to the stairwell; and that the "Mechanical" space shown on the first floor will not contain "high pressure boilers, refrigerating machinery...large transformers, or other service equipment subject to explosion..."

(It seems to me that a simple walkin cooler doesn't have anything explosive related to it, unless they let the tomatoes ferment...)

In any case, the stair wall and the mechanical room walls will all be one-hour rated, and all spaces in the building are sprinklered.

If this is not suitable, please advise.

I appreciate your careful review--
Dean Bingham.

R. Dean Bingham/Architect
55 Roberts Street
Portland, ME 04102
207-774-7779
www.deanbingham.com

BRACE

HISTORIC PRESERVATION
CERTIFICATION APPLICATION -
PART 2

NPS Office Use Only

Project Number:

Chestnut Street Church
Property Name
Portland, Maine

Property Address

5. DETAILED DESCRIPTION OF REHABILITATION / PRESERVATION WORK - Includes site work, new construction, alterations, etc. Complete blocks below.

<p>Number 1</p> <p>Architectural feature <u>Chestnut Street Church</u></p> <p>Approximate Date of feature <u>1856</u></p>	<p>Describe work and impact on existing feature:</p> <p>The Chestnut Street Church Society resided at this location from 1808 until the existing 1856 National Register listed church building was deconsecrated in January 2006. The entire church parcel was purchased by a developer who demolished the attached 1924 gymnasium, redeveloped the now free-standing 1924 community house and constructed a new eight story left-style condominium building and parking lot. Plans to convert the church building into office space were not executed.</p>
<p>Describe existing feature and its condition:</p> <p>The Chestnut Street Church is located on the north side of Chestnut Street with the gable end facade fronting on the street. It is located between Portland City Hall on the east (City Hall faces Congress Street) and the former church community house on the west. True north for the church is actually the rear left facing corner of the building, however, for ease of description for this application the rear wall will be referenced as the north elevation, the front facade as the south elevation and the two side walls referenced as east and west. As such, the two side alleys run north/south and the sidewalk in front of the church east/west. See attached National Register Nomination form for detailed description of the physical appearance of the church.</p> <p>Photo no. <u>1-10</u> Drawing no. _____</p>	<p>The church building has been sold as a separate parcel to restaurateurs who are applying to do a certified historic rehabilitation of the building as a restaurant and meeting/banquet space. The proposed rehabilitation maintains the character defining features of both the exterior and interior of the building with only minor modifications to accommodate modern amenities and code required alterations for use of the building as a restaurant.</p>
<p>Number 2</p> <p>Architectural feature <u>site work</u></p> <p>Approximate Date of feature <u>unknown</u></p> <p>Describe existing feature and its condition:</p> <p>The south (front) of the church is directly on the city sidewalk, which is paved in brick with a granite curb this sidewalk is in good to fair condition. The west alley between the church and the former community house is paved with concrete. The alley between the north elevation and auditorium of the City Hall is asphalt. The east alley between the church and City Hall is concrete on the south half and asphalt on the north half. The paved alley surfaces are in fair to poor condition.</p> <p>Photo no. <u>11-14</u> Drawing no. _____</p>	<p>Describe work and impact on existing feature:</p> <p>No work is planned for the north and east alleys. In kind repair work will be undertaken on the south brick sidewalk if necessary after construction. Minimal re-grading and re-paving will be undertaken as necessary on the west alley for the new accessible entrance at the southwest corner and at the north end for the lower level entrances.</p> 
<p>Number 3</p> <p>Architectural feature <u>roof and gutters</u></p> <p>Approximate Date of feature <u>unknown</u></p> <p>Describe existing feature and its condition:</p> <p>The center steeply pitched roof is shingled with Vermont semi-weathering gray slate (historically called sea green slate). The roof has had some patching with dark unflashing gray or Monson slate, the coursing alternates between approximately 7 rows of short shingles to approximately 9 rows of longer shingles, and the peak is covered with a plain metal ridge cap. The lower sloped side aisle roofs are covered with standing seam copper and the rear gable roof has asphalt shingles. The roof is in fair to good condition. The church has ogee shaped copper gutters in fair to poor condition. Some of the downspouts are missing and the remaining ones are a mix of fluted steel and square pvc downspouts in fair to poor condition.</p> <p>Photo no. <u>15-17</u> Drawing no. <u>A4, A5</u></p>	<p>Describe work and impact on existing feature:</p> <p>Flashing and slate shingles will be repaired in kind as necessary. The copper gutters will be repaired or replaced as necessary with 20oz copper matching the existing profiles. Rectangular dark bronze finished aluminum downspouts will be installed with neoprene membrane separation between the copper and aluminum to prevent deterioration of the aluminum through galvanic action. Aluminum downspouts are being proposed due to concerns about the potential for theft of copper downspouts.</p>
<p>Number 4</p> <p>Architectural feature <u>brick masonry walls</u></p> <p>Approximate Date of feature <u>1856</u></p> <p>Describe existing feature and its condition:</p> <p>The brick masonry walls are laid almost entirely in stretcher (running) bond, which was considered fashionable in the mid-nineteenth century in America. The north (rear) wall with gable is laid in common bond. The walls of the church are in remarkably good condition especially given that stretcher bond (without metal ties) has not proven itself to be a very strong wall type. The front and side walls of the building were built with a high quality patent pressed brick of very uniform color and texture. The rear wall and connector were built with a common water-struck brick with a light flash.</p> <p>Photo no. <u>17-23</u> Drawing no. <u>A4, A5</u></p>	<p>Describe work and impact on existing feature:</p> <p>Damaged brickwork will be repaired and rebuilt as necessary. Missing, broken or deteriorated units will be replaced with bricks that match the size, color, texture and flash of the original bricks. The original coursing, joint width and adjacent mortar color will be matched in all repair work. The ASTM C-270 proportion specification for Type O Cement-Lime mortar with sand that is graded to match the original sand in color, texture and particle size distribution will be used for all repairs and repointing. All work will follow <i>Preservation Brief #2</i>.</p>

See continuation sheet.

Chestnut Street Church

HISTORIC PRESERVATION
CERTIFICATION APPLICATION -
PART 2

NPS Office Use Only

Property Name

Portland, Maine

Project Number:

Property Address

Number
5

Architectural feature brownstone trim

Approximate Date of feature 1856

Describe existing feature and its condition:

The front facade is extensively ornamented and detailed with Portland Connecticut brownstone that is in poor condition. This facade has a brownstone base course and stairs leading to the three Gothic arch entrances with brownstone architraves. There is a brownstone belt course that is at the sill level of the lowest lancet windows in the towers. The lancet windows and trefoil windows have highly deteriorated brownstone architraves. The center entrance is visually set apart by the field of honed ashlar that rises above the door to a molded corbel table that defines the base of the soaring stained glass rose window set in a brownstone architrave. The cornice on this facade is also molded brownstone. See continuation sheet.

Describe work and impact on existing feature:

The Portland Connecticut brownstone trim will be repaired and rebuilt as necessary. Brownstone units in good structural condition will be honed or retooled where possible to re-establish an appropriate surface appearance. Units in fair condition will be patched with Jahn M-70 to re-establish original profiles and surface appearance. Missing units or units in poor condition will be cast and replaced with Jahn M-150 to re-establish original profiles and surface appearance. All work undertaken using Jahn will follow the manufacturer's specifications for material handling, application and finishing. All repaired and replaced brownstone units will match the original size, shape, profile, color and texture of the original brownstone units in good condition. Where there is no representative stone remaining with an original profile intact, a compatible design will be submitted for review and approval to the SHPO prior to casting and installation. Original joint width and locations in the rebuilt work will be maintained unless otherwise approved by the SHPO.

Photo no. 24-37

Drawing no A4, A5

Number
6

Architectural feature windows

Approximate Date of feature 1856

Describe existing feature and its condition:

The front (south) facade of the building has one large center stained glass rose window and two trefoil stained glass windows. Each tower has three lancet windows with leaded diamond shaped glass. All stained and leaded glass windows are set in wooden frames in fair to poor condition. Much of the protective plexiglass is missing from the windows on this facade. The lower level (vestry / church hall) of the east and west facades each has wooden double hung windows and two wooden bay windows. These are in fair to good condition and have protective plexiglass in place.

See continuation sheet.

Photo no. 38-42

Drawing no A4, A5

Number
7

Architectural feature front (south facade) doors

Approximate Date of feature 1856

Describe existing feature and its condition:

One of the character defining features of the south (front) facade of the building are the three entrance doors. Set in a Gothic arch brownstone architrave, these double leave diagonal boarded doors have stunning decorative iron hinges, escutcheon plates and door knobs. The east and west entrances have wooden moided infill in the arch of the door, and the center entrance has stained glass in a molded wooden frame. All the doors are in good condition.

Describe work and impact on existing feature:

The doors will be repaired and painted as necessary. The only change that will be made is that the east and west doors will be secured in the closed position and will have weather stripping and caulk installed to minimize air leakage.

Photo no. 3, 26, 28, 43, 44, 52

Drawing no A4

Number
8

Architectural feature basement window / new accessible entrance

Approximate Date of feature 1856

Describe existing feature and its condition:

There is a blocked up basement window or service entrance at the south end of the west elevation directly behind the southernmost buttress. Currently this opening leads into the basement underneath the entrance foyer. It is a basic opening with a brownstone lintel in poor condition.

Describe work and impact on existing feature:

This opening will be made taller to accommodate an accessible entrance. The walkway will be re-graded and repaired as necessary for an accessible entrance and necessary lighting and automatic door hardware will be installed. Additionally, a canopy will be added over the door. The canopy will be the width of the existing brownstone lintel, extend out to the edge of the brick buttress (2 feet 9 inches) and will be constructed with a similar shape and trim as the bay window roofs.

Photo no. 45-47

Drawing no A5

**HISTORIC PRESERVATION
CERTIFICATION APPLICATION -
PART 2**

Chestnut Street Church

Property Name

Portland, Maine

Property Address

NPS Office Use Only

Project Number

<p>Number 9</p> <p>Architectural feature <u>church hall entrance</u></p> <p>Approximate Date of feature <u>1856</u></p>	<p>Describe work and impact on existing feature:</p> <p>The wooden doors and transom will be repaired and repainted if it is possible to do so and achieve a weather tight enclosure. Panic hardware and an aluminum threshold will be installed. If the existing doors cannot be made serviceable for this exterior application, wooden replacement doors that match the size and configuration of the existing doors will be installed. An entrance canopy will be constructed over the door in the same manner as the accessible entrance. The canopy will only extend out to the edge of the buttresses and will have a similar shape and trim as the bay window roofs.</p>
<p>Number 10</p> <p>Architectural feature <u>rear stair enclosure</u></p> <p>Approximate Date of feature <u>1856 or 1870s, 1920s</u></p>	<p>Describe work and impact on existing feature:</p> <p>The applicant is proposing to reuse the existing exterior walls of the stair enclosure and construct a new west wall with a brick veneer to enclose this space. An egress door for the proposed new interior fire rated stair will be located at the south end of the stair enclosure, adjacent to the northernmost buttress of the west wall of the church. The egress door will be flush metal painted dark bronze with no hardware. Mechanical units will be located on the roof of the stair enclosure and will be screened by a five foot privacy fence. There is a panel door stored inside the building that may be able to be reused as the secondary egress door for the banquet room. If this door cannot be reused a new four panel door with matching panel proportions will be used instead.</p>
<p>Number 11</p> <p>Architectural feature <u>lighting and signage</u></p> <p>Approximate Date of feature <u>unknown</u></p>	<p>Describe work and impact on existing feature:</p> <p>Light fixtures will be added to the exterior of the building only to achieve adequate lighting for pedestrian entrance and egress and to limit dark spots in the vicinity of the building. See attachments for proposed locations and fixtures. The proposed signage for the building is simply a flush mounted sign in the location of the recently removed plaque on the left side of the front center entrance door on Chestnut Street.</p>
<p>Number 12</p> <p>Architectural feature <u>interior of the Chestnut Street Church</u></p> <p>Approximate Date of feature <u>1856, 1959</u></p>	<p>Describe work and impact on existing feature:</p> <p>The historic features and finishes of the interior of the Chestnut Street Church are largely intact and will remain so in the proposed rehabilitation of the church into a restaurant and banquet hall. Modern code requirements for restaurant and banquet hall occupancies will have the greatest impact on the building in terms of accessibility, life safety and kitchen and bathroom requirements.</p>

Describe existing feature and its condition:
The exterior entrance to the lower level church hall (proposed banquet room) is on the west elevation. It is made up of wooden double four panel doors and transom with five lights. This entrance was enclosed until the recent demolition by the previous owner of the connector and gymnasium addition. The doors and door frame are in fair to poor condition and the adjacent masonry was left in an unfinished condition. This door will serve as the primary entrance for the banquet space and will be the accessible entrance for the lower level.

Photo no. 48-49

Drawing no A5

Describe existing feature and its condition:
The rear stair enclosure currently has a temporary wood stud and tar paper wall on its west side because the demolition of the gymnasium resulted in this structure being open to the weather. The masonry that was formerly connected to the gymnasium addition was left in an unfinished condition. There currently is also a rough opening in the masonry at the northwest corner of the church hall that may have originally been a door. This opening will be rebuilt and reused as a second egress door for the banquet room.

Photo no. 7, 13, 50, 51

Drawing no A5

Describe existing feature and its condition:
There are currently two modern lights on the front of the building and a Methodist Church sign box on the southeast corner of the building.

Photo no. 3, 14, 19, 33

Drawing no _____

Describe existing feature and its condition:
The interior of the Chestnut Street Church is made up of the following spaces: entrance foyer, sanctuary, class rooms and offices, church hall, kitchen, and rear stair. All of these spaces are in good to fair condition and have a high percentage of historic materials and finishes intact, as well as some modern alterations.

Photo no. _____

Drawing no _____

**HISTORIC PRESERVATION
CERTIFICATION APPLICATION -**

PART 2

Chestnut Street Church

Property Name

Portland, Maine

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NPS Office Use Only

Project Number:

Number 13	Architectural feature <u>entrance foyer</u> Approximate Date of feature <u>1856</u>	Describe work and impact on existing feature: The center stairs leading down to the banquet hall will be shifted back towards the entrance to allow for the construction of a mid-level landing with doors that will separate and secure the restaurant space from the banquet hall below. The southwest entryway will be altered by the removal of the stair treads for the installation of the accessible entrance door and lift that will service the restaurant. The southeast entryway will be altered by the removal of the stair treads for the installation of a floor to support a space for a coat check. The center entranceway will be altered by the removal of the stair treads and installation of an interior glass vestibule and new stair treads. All existing historic stairway walls, molded paneled guardrails and newel posts will remain. The mid-level platforms may need to be lowered for new stair heights. All historic interior doors will be either re-used in place or fixed in place. The single fixture bathrooms will remain in the octagonal towers and will have new plumbing fixtures installed.
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Photo no. S2-62

Drawing no A2, A6, A7

Number 14	Architectural feature <u>sanctuary</u> Approximate Date of feature <u>1856, 1959</u>
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Describe existing feature and its condition:

The nave of the church is wide open with two side aisles delineated by a row of columns that support both the front of the side balconies and the roof framing. All of these structural elements, as well as the Gothic arched paneling, have original grain painted finish in excellent condition. The side balconies are accessed by, and continuous with, the south gallery that is built above the entrance foyer. The side balconies stop short of the north wall by 20 feet, creating the appearance of a transept, which is emphasized by the fully visible triple lancet stained glass windows in the exterior walls.

See continuation sheet

Photo no. 63-78

Drawing no A2, A6, A7, A8

Number 15	Architectural feature <u>chancel</u> Approximate Date of feature <u>1856</u>
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Describe existing feature and its condition:

The hexagonal chancel is outlined by a Gothic chancel arch decorated with gold leaf stenciling. The chancel screen was designed by the architect of the church to replicate the front facade of the building. This screen contains details, such as the carved English Decorated Style finials, that are now missing on the exterior of the building. The space behind the chancel screen is mostly filled with remnants of the pipe organ.

Photo no. 79-81

Drawing no A2, A6

Number 16	Architectural feature <u>balconies and gallery</u> Approximate Date of feature <u>1856</u>
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Describe existing feature and its condition:

The east and west balconies and south gallery are accessed by stairs in the southeast and southwest corners of the nave. Like the entrance foyer, the stairs and railings of the balconies and gallery are constructed with the Gothic arched panels. There are three continuous stepped levels with pews and a fourth level along the perimeter of the wall without pews. The south gallery is built around the two front towers and has doors that access them.

Photo no. S2-37

Drawing no A3, A6, A7

Describe work and impact on existing feature:
The balconies will be dining and cocktail space and the gallery will have a bar spanning the south wall between the towers. The towers will be wine cellars. The floor of the third level will be extended out to the balcony and gallery railing to create a flat space wide enough for tables. A 42" high cable rail guardrail will be attached to the new floor inset from the existing wooden guardrail. The stained glass windows may need to have interior guard panels added over them adjacent to the eating areas.

Describe work and impact on existing feature:

The nave of the church is going to be the primary dining space for the restaurant. The only alterations to this open space will be the addition of a men's and a women's bathroom on the south wall, the construction of a free standing bar (modular unit not permanently affixed to floor) in the center of the nave, the construction of a bar at the north end of the nave in the location of the 1959 platform, and the addition of a service stair connecting the east balcony to the food prep area behind the north bar. The existing light fixtures will be re-used and supplemented with unobtrusive modern lighting.

Describe work and impact on existing feature:

The chancel will be the main kitchen for the restaurant. The chancel screen will remain in place and will have all of the large kitchen equipment behind it. The multi-level chancel floor will be reconstructed to be one level with food preparation counters placed between the chancel screen and the bar. Horizontal board wainscoting will be added to cover the area exposed by the removal of the upper levels of the raised chancel floor. See attached letter from architect Dean Bingham for detailed description of this work.

**HISTORIC PRESERVATION
CERTIFICATION APPLICATION –**

PART 2

NPS Office Use Only

Project Number: _____

Chestnut Street Church

Property Name _____

Portland, Maine

Property Address _____

<p>Number 17</p>	<p>Architectural feature <u>lower level classrooms and offices</u> Approximate Date of feature <u>1856</u></p>	<p>Describe existing feature and its condition: The lower level classrooms are accessed from the interior via the center stair from the front entrance foyer. There is a center hall with two doors off each side leading into four separate offices and classroom spaces. The door frames in the hallway are defined by engaged colonettes and the hall walls are vertical beaded board on the bottom with 1 5/9 double hung windows above. The classroom and office spaces are separated by vertically sliding dividers that originally could have been opened up to create one space via double hung triple panel dividers. The bottom section of the divider is wood and made with eight vertical panels and the middle and top sections are glazed with 24 lights of translucent textured obscure glass.</p>
<p>Number 18</p>	<p>Architectural feature <u>church hall</u> Approximate Date of feature <u>1856, 1950s</u></p>	<p>Describe existing feature and its condition: The church hall is an open room with a wooden floor, a plaster ceiling and clustered colonnette columns. The exterior walls have vertical beaded board wainscoting with plaster walls above, bay windows and Gothic arched lights in the double hung windows. The south wall of the room is made up of the folding doors to the original classroom and office spaces. The arched opening to the center hall has been infilled with doors and panels to match the original folding door partitions. The 20th century kitchen protrudes into the northeast corner of the room and the northwest corner of the room has doors leading into the kitchen, rear entry, and service space and former connector to the gymnasium addition. The church hall room is generally in fair to good condition.</p>
<p>Number 19</p>	<p>Architectural feature <u>church hall kitchen</u> Approximate Date of feature <u>c. 1959</u></p>	<p>Describe existing feature and its condition: The church hall kitchen is located in the lower level of the apse and in the northeast corner of the church hall. The kitchen appears to date from the mid-20th century.</p>
<p>Number 20</p>	<p>Architectural feature <u>rear stairway</u> Approximate Date of feature <u>1856 or 1870s, 1920s</u></p>	<p>Describe existing feature and its condition: The rear stair enclosure is comprised of two spaces, the stairway on the east and service space on the west. Both spaces are finished with wooden flooring, beaded board wainscoting with plaster walls above, four paneled doors and plaster ceilings.</p>

Describe work and impact on existing feature:
The center hall and perimeter walls of the classroom and office space will remain in place and the interior spaces will be rehabilitated into bathrooms, office space and a conference room.

Describe work and impact on existing feature:
The only alterations to this room will be on the north wall where the doorways to the rear stair enclosure will be modified for the new layout and the kitchen provision will be rebuilt and refaced, if possible with beaded board wainscot removed from the rear stairway. Also, the fluorescent tube lights on the ceiling will be replaced with recessed lights.

Describe work and impact on existing feature:
A modern kitchen geared towards banquet events will be built in the location of the current kitchen. This kitchen will also support the restaurant kitchen above.

Describe work and impact on existing feature:
This is the only space in the building where the proposed work necessitates the removal of all the historic finishes. The east half of this space needs to be made into a walk-in cooler and the level above needs to be mechanical space to be adjacent to the kitchens. The west half of the space needs to be a fire-rated stairway as a second means of egress for the restaurant kitchen. The beaded board wainscoting and trim will be salvaged in the demolition, and will be re-used as much as possible for the re-finishing of the kitchen where it protrudes into the banquet room.

See continuation sheet for No. 21.

Photo no. 100L104

Drawing no A1.A6.E1

Photo no. 97-99 Drawing no A1.A6.E1

CONTINUATION / AMENDMENT SHEET

Chestnut Street Church
Property Name
Portland, Maine
Property Address
**Historic Preservation
Certification Application**

Instructions. Read the instruction carefully before completing. Type, or print clearly in black ink. Use this sheet to continue sections of the Part 1 and Part 2 application, or to amend an application already submitted. Photocopy additional sheets as needed.

This sheet: Continues Part 1 Continues Part 2 Demands Part 1 Demands Part 2 NPS Project Number: _____

No. 4 cont: The brickwork has been repointed and appears to have been aggressively cleaned given the original mortar and brick surface revealed by the recent removal of a plaque next to the front center entrance door. The front facade has two prominent eight sided towers with lancet windows and corner buttresses. The east and west elevations each have 10 buttresses. A number of the buttresses have been repaired over time, and at least three of them are currently in poor condition. The side buttresses have metal covers acting as copings, the front corner buttresses have brownstone coping stones that are covered with the same type metal covers. The north, east and west elevations have a simple denticulated brick cornice. The segmental arch and Gothic arch window openings on the north, east and west elevations are made with a single wythe header course.

No. 5 cont: To varying degrees, the brownstone on the front facade has had previous repairs with cement based patching mortars and renders, waterproof coatings, and tooling back to remove loose stone. The southernmost window on the west facade has an entire brownstone frame in similarly poor condition. Other than this one window, however, the side and rear facades only have brownstone window sills on the upper windows and both sills and lintels on the lower windows, which are all in fair to good condition.

No. 6 cont: The upper level (sanctuary level) has tall Gothic arched windows with stained glass set in wooden frames. These too are in fair to good condition and have protective plexiglass in place. The rear (north) wall has wooden double hung windows on both levels of the stair enclosure (northwest corner) and at the lower level of the apse. There are small lancet shaped stained glass windows at the top of the apse. The windows on the north wall are in fair to good condition.

No. 13 cont: At mid-level platforms on the exterior wall are doors into the octagonal towers, each of which has been turned into a small single fixture restroom. The edges of the tower platforms are established and secured by Gothic arched quartrail paneling. There are various styles of metal and wooden handrails throughout the tower appearing to date from different time periods from 1886 to 2006. The floors are covered with red carpeting, the ceilings are plaster and the walls are finished with a mix of vertical beaded board and plaster. Doors, trim and paneling are finished variously with black paint, grain painting, or stained varnish. The interior doors have four panels and rounded top corners.

No. 14 cont: Extending out from the chancel are the remaining portions of the platform, pulpit and lectern installed in 1959. It appears that the door in the northwest corner also dates to the 1959 renovation work, and possibly the chandelier and drop pendant light fixtures as well. Two 1870s gas light sconces remain on the south wall. The floor is wood with carpet, the walls have horizontal board wainscoting with plaster above and the ceiling is plaster.

No. 17 cont: The southeast room was converted into a bathroom sometime in the 20th century. Some permanent walls were also constructed between the southwest rooms sometime in the 20th century.

No. 21

Architectural feature: mechanical systems

Approximate Date of feature: 1856

Description existing feature and its condition: All of the mechanical systems of the building have reached the end of their service life and will need to be upgraded and replaced.

Describe work and impact on existing feature: All levels of the building will be fully covered by an NFPA 13 sprinkler system. The sprinkler piping will be painted to match the adjacent woodwork or plaster. The exact HVAC system has not been determined yet. An amendment will be submitted to the SHPO and NPS with documentation of the proposed HVAC system when this information is available.

Name _____ Signature _____ Date _____

Street _____ City _____

State _____ Zip _____ Daytime Telephone Number _____

NPS Office Use Only

- The National Park Service has determined that these project amendments meet the Secretary of the Interior's "Standards for Rehabilitation."
- The National Park Service has determined that these project amendments will meet the Secretary of the Interior's "Standard for Rehabilitation" if the attached conditions are met.
- The National Park Service had determined that these project amendments do not meet the Secretary of the Interior's "Standards for Rehabilitation."

Date _____ National Park Service Authorized Signature _____ National Park Service Office/Telephone No. _____

See Attachments

SPACE: SELECTED PHOTOS, AS MARKED

Chestnut Street Church, Portland, Maine
Historic Preservation Certification Application Part 2 Photo List

Historic Photos – Chestnut Street Church, Portland, Maine

1. Chestnut Street Church, exterior. Courtesy Maine Historic Preservation Commission.
2. Chestnut Street Church, interior. Courtesy Maine Historic Preservation Commission.

Exterior Photos – Chestnut Street Church, Portland, Maine

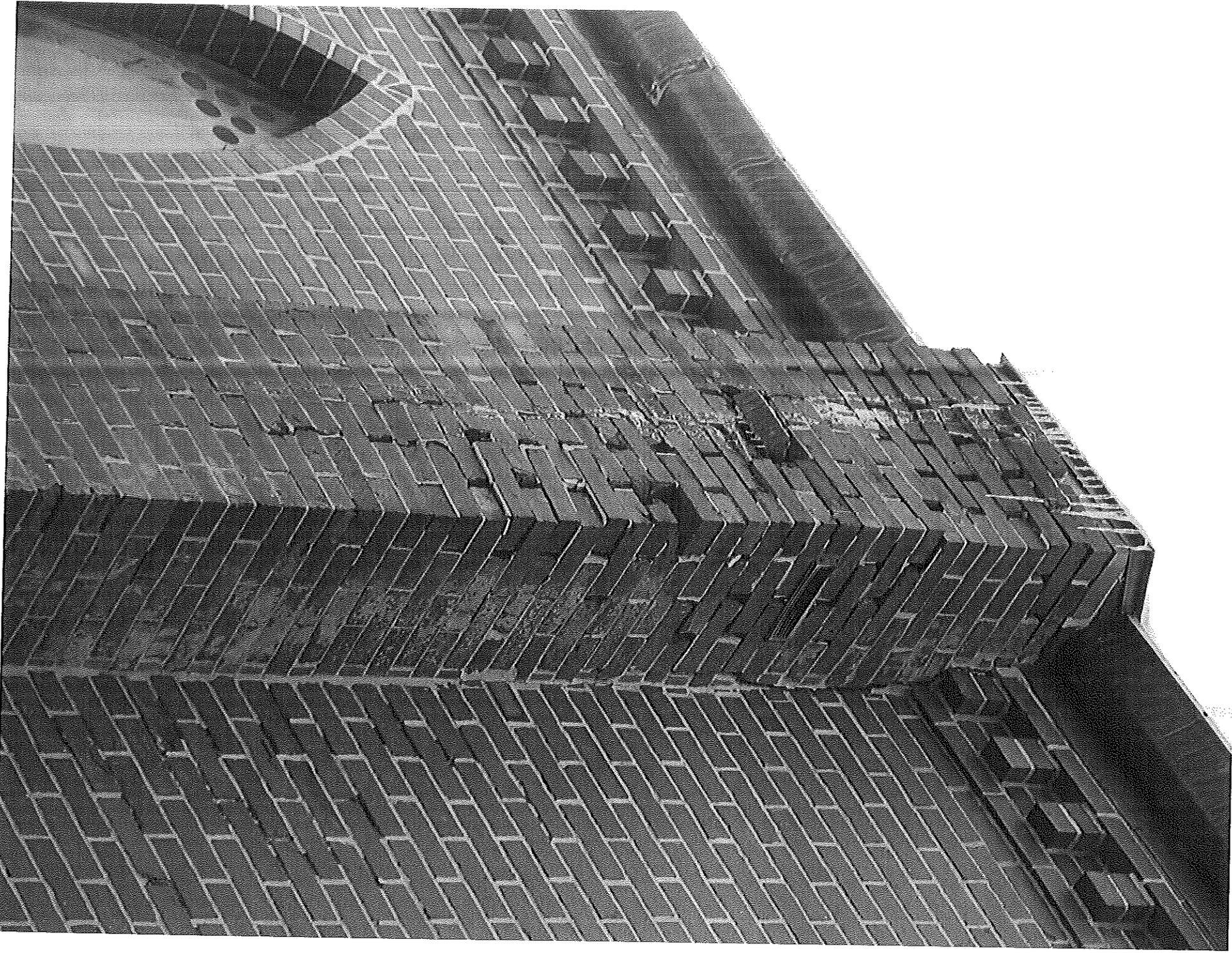
3. Front (south) facade. February 2008.
 4. Chestnut Street, view northwest. February 2008.
 5. Chestnut Street, view northeast. February 2008.
 6. West elevation. Parking lot location of demolished gymnasium. February 2008.
 7. West elevation. February 2008.
 8. North elevation. Northeast side of rear apse. February 2008.
 9. View west from City Hall clock tower down towards north half of church, parking lot and new loft building. February 2008.
 10. View south down east alley, City Hall on left. February 2008.
 11. View west at brick sidewalk on Chestnut Street in front of church. March 2008.
 12. View north up west alley, former church community house on left. March 2008.
 13. View east down north alley, City Hall Auditorium on left. February 2008.
 14. View north up east alley, City Hall on right. March 2008.
 15. East side of roof from City Hall clock tower. February 2008.
 16. South end of roof from City Hall clock tower. February 2008.
 17. East elevation, copper gutter and missing downspout, brick buttresses, denticulated brick cornice, running bond brickwork. February 2008.
 18. Northeast corner of building, common bond brickwork on north elevation. February 2008.
 19. South facade, location or removed church sign with original condition brickwork revealed. February 2008.
 20. South facade detail: cleaned and repointed brickwork on left, original brickwork on right. February 2008.
 21. East elevation, deteriorated brick buttress that will have to be rebuilt at the top. February 2008.
 22. East elevation, brick buttress with metal cap. February 2008.
 23. Southeast corner buttresses with brownstone coping with metal cap. February 2008.
 24. South facade, detail: southeast tower brownstone base. Note deteriorated cement based parging and column bases.
-

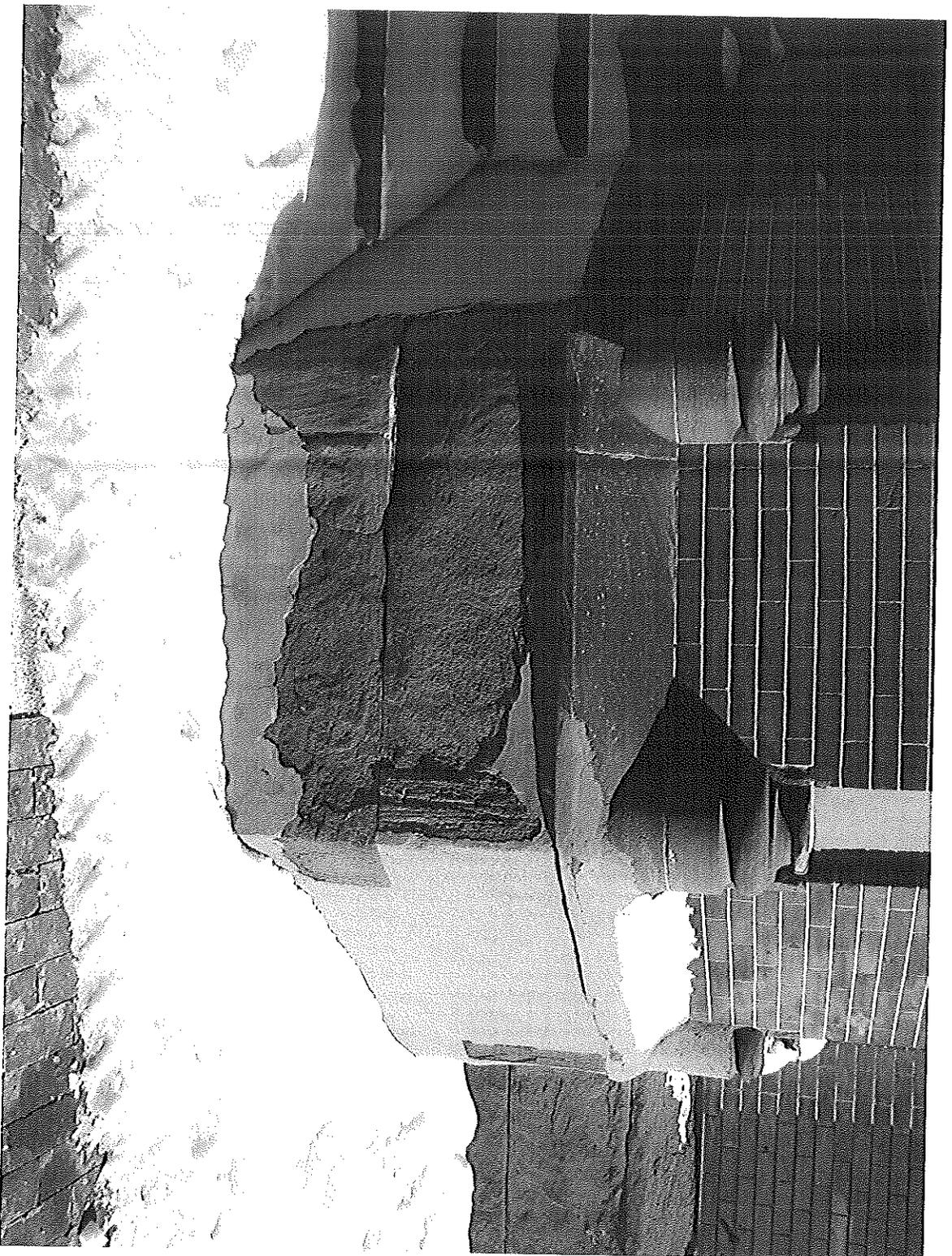
Chestnut Street Church, Portland, Maine
Historic Preservation Certification Application Part 2 Photo List

25. South façade, detail: southeast entrance deteriorated architrave base. February 2008.
26. Southeast entrance doors. February 2008.
27. Southeast entrance detail: deteriorated architrave capital. February 2008.
28. South façade, center entrance doors. February 2008.
29. Center entrance detail: deteriorated architrave capital. February 2008.
30. Center entrance detail: ashlar above door and corbel table. February 2008.
31. South façade, detail: rose window with brownstone architrave and partially missing protective glazing panels. February 2008.
32. South façade, detail: molded brownstone cornice. February 2008.
33. South façade, detail: tower lancet window with brownstone architrave. February 2008.
34. South façade, detail: upper tower lancet window with brownstone architrave. February 2008.
35. South façade, detail: trefoil window with brownstone architrave. February 2008.
36. West elevation, detail: south window with brownstone architrave. February 2008.
37. East elevation, lower level sash windows with brownstone lintels and sills. February 2008.
38. South façade, detail: tower lancet window with diamond leaded glass in wooden frame. February 2008.
39. South façade, detail: deteriorated wooden frame of rose window. February 2008.
40. East façade, bay windows. February 2008.
41. East façade, triple stained glass transept windows. February 2008.
42. Rear apse, stained glass windows. February 2008.
43. South façade, detail: decorative door hinge. February 2008.
44. South façade, detail: decorative escutcheon plate and door knob. February 2008.
45. Southwest corner, location of proposed accessible entrance. February 2008.
46. View north of location of proposed accessible entrance. February 2008.
47. View south of location of proposed accessible entrance. March 2008.
48. West elevation entrance door. February 2008.
49. West elevation, detail: entrance door. February 2008.
50. West elevation, north end showing rear stair enclosure. February 2008.
51. West elevation, detail: rear stair enclosure with temporary wall where gymnasium used to be attached. February 2008.

GRACE.

P457D #21





SPACE

PHOTO # 24



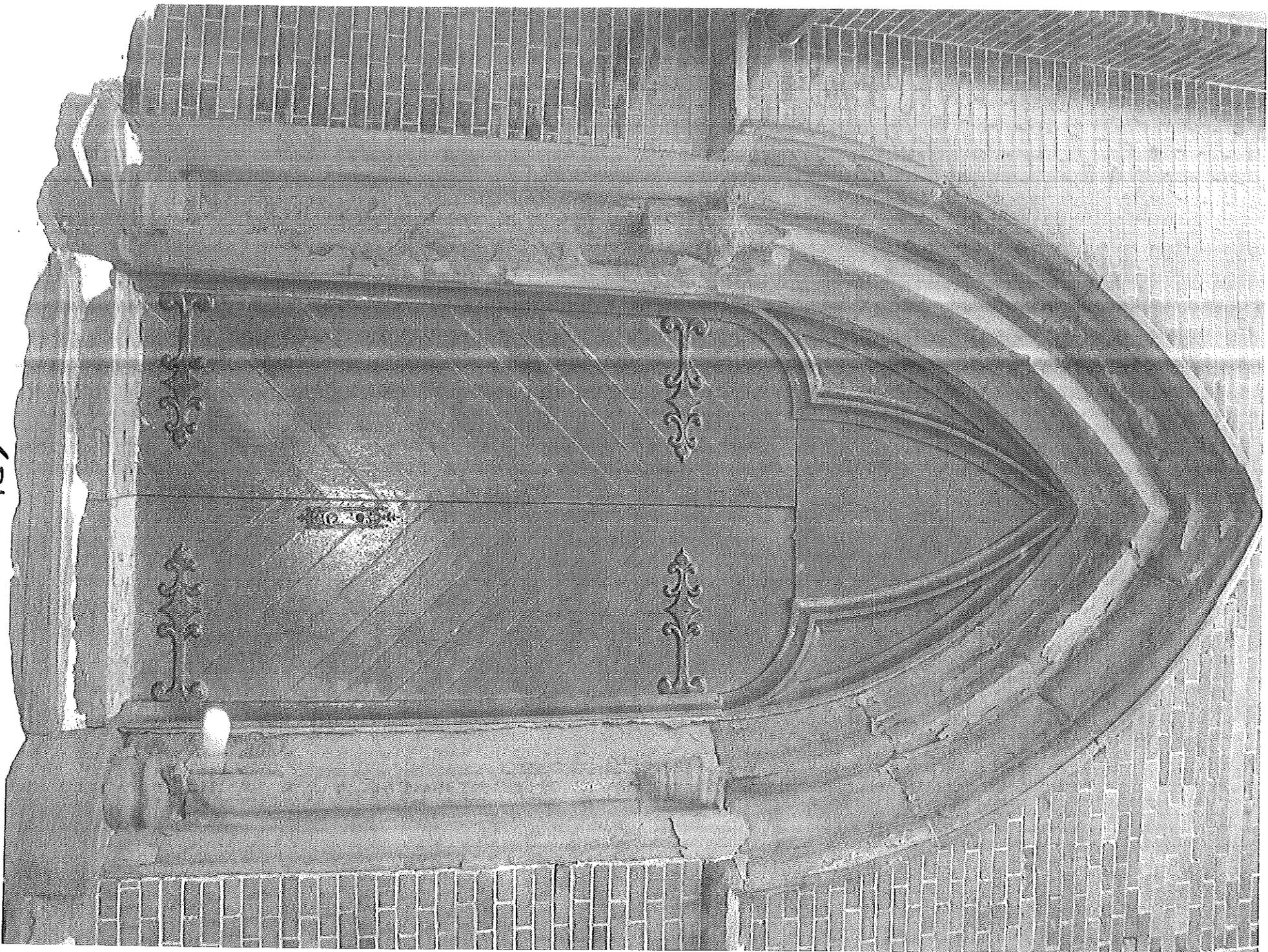
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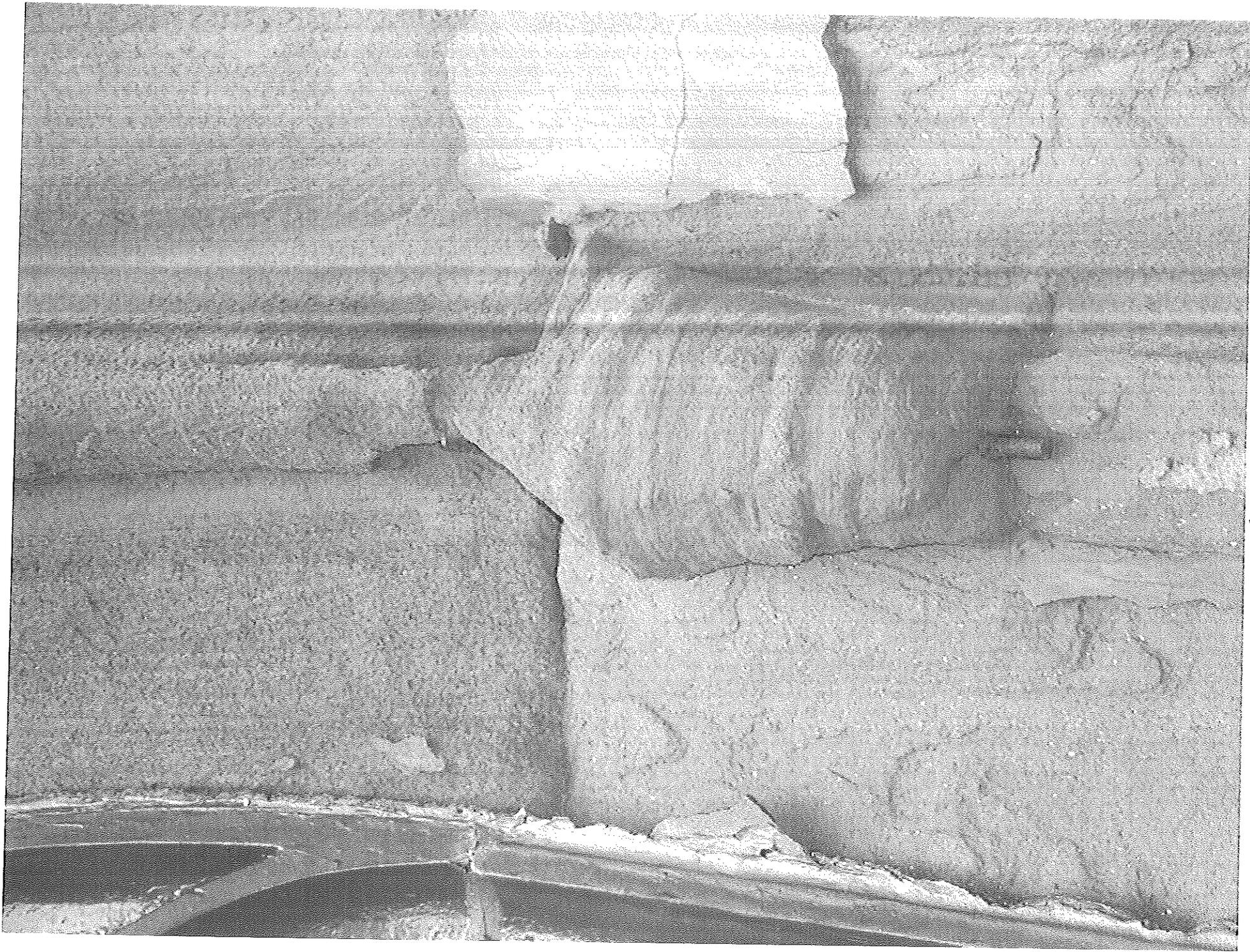
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PHOTO

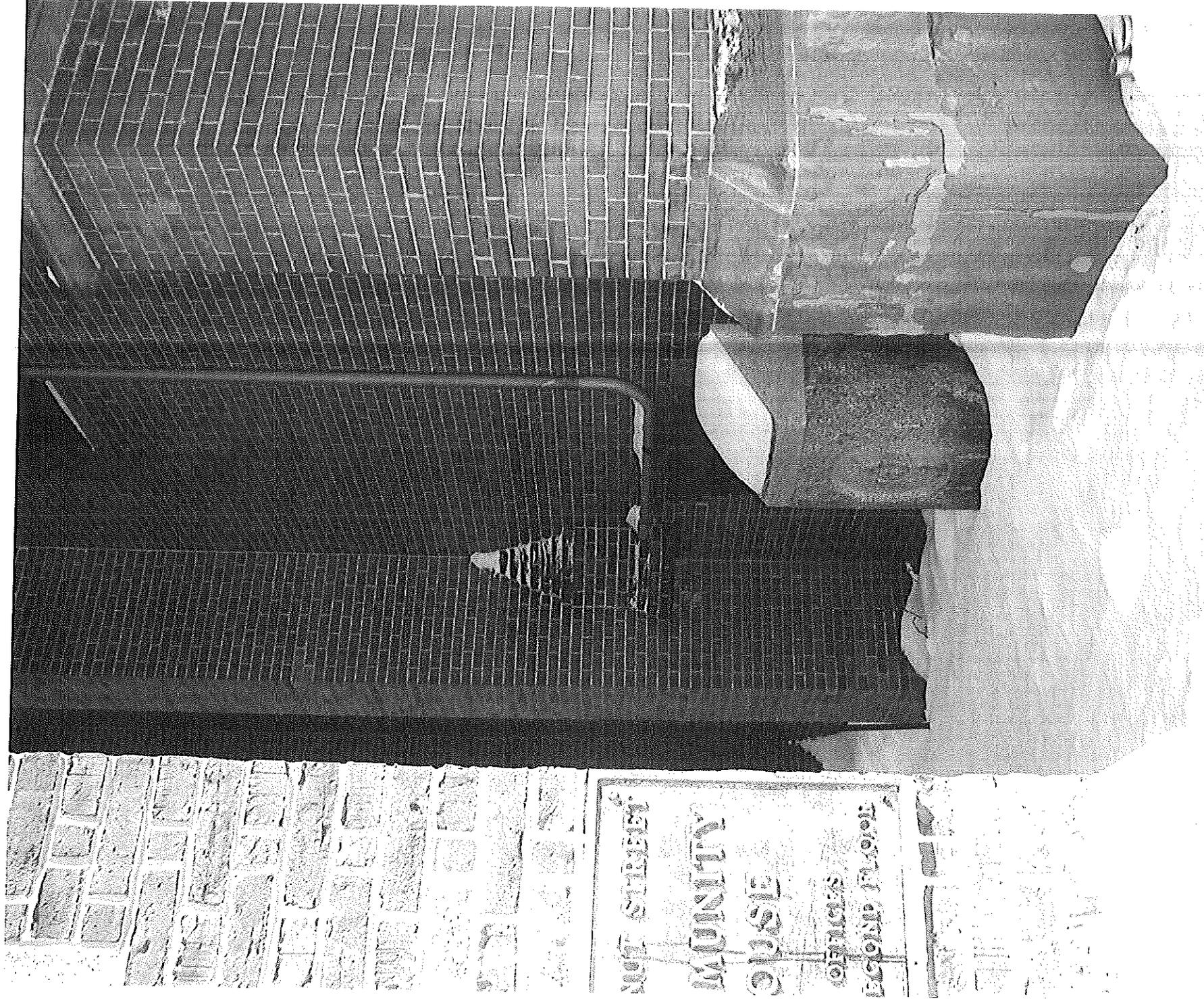
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GRACE

PHOTO #27



107 STREET
COMMUNITY HOUSE
OFFICE
SECOND FLOOR

GRACE.

PHOTO # 46



· GARAGE ·

PHOTO # 47

GRACE.

PHOTO #17



CITY OF PORTLAND, MAINE HISTORIC PRESERVATION BOARD

John Turk, Chair
Rick Romano, Vice Chair
Otis Baron
Martha Deprez
Michael Hammen
Ted Oldham
Cordelia Pitman

June 30, 2008

Anne and Peter Verrill
158 Woodville Road
Falmouth, ME 04105

Re: Certificate of Appropriateness for Exterior Alterations to former Chestnut Street Church, including revisions to previously-approved plans

Dear Mr. and Mrs. Verrill:

On June 18, 2008, the City of Portland's Historic Preservation Board reviewed your proposal for exterior alterations and repairs to the former Chestnut Street Church at 17 Chestnut Street. The proposal, prepared by architect Dean Bingham and preservation consultant Amy Cole-Ives, included revisions to previously-approved plans for alterations at the rear of the church as well as additional exterior work. Following deliberations, the Historic Preservation Board voted 6-0 (Oldham absent) to approve the project, based on findings that the proposed scope of work met the historic preservation ordinance's Standards for Review of Alterations.

Board approval was made subject to the following conditions:

- * The electrical gas meters shall be moved as far back from the Chestnut Street elevation as possible. Final proposed location to be reviewed and approved by historic preservation staff.
- * The location and screening of waste storage to be reviewed and approved by staff.
- * Section and elevation drawings for proposed door canopies to be submitted to staff. Detailing of proposed canopies to be distinguished slightly from that on existing bay windows to make a distinction between original details and later additions.
- * Any roof penetrations to be submitted to staff for review and approval.
- * Details for proposed storms for double-hung windows to be reviewed and approved by staff.
- * If you elect to add protective panels in front of stained glass windows, details for such shall be submitted to staff for review and approval.
- * Consideration shall be given to the feasibility of recessing vestry doors into the masonry opening.

ELECTRICAL PERMIT City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland Electrical Ordinance, National Electrical Code and the following specifications:

Date 9-3-08
Permit # 2008-4623
CBL # 92-C-11

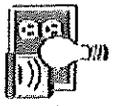
LOCATION: 19 Chestnut St METER MAKE & # _____
CMP ACCOUNT # _____ OWNER _____
TENANT _____ PHONE # _____

				TOTAL EACH FEE
OUTLETS	Receptacles	Switches	Smoke Detector	.20
FIXTURES	Incandescent	Fluorescent	Strips	.20
SERVICES	Overhead	Underground	TTL AMPS	<800 15.00
	Overhead	Underground	>800	25.00
Temporary Service	Overhead	Underground	TTL AMPS	25.00
METERS	(number of)			25.00
MOTORS	(number of)			1.00
RESID/COM	Electric units			2.00
HEATING	oil/gas units	Interior	Exterior	1.00
APPLIANCES	Ranges	Cook Tops	Wall Ovens	5.00
	Insta-Hot	Water heaters	Fans	2.00
	Dryers	Disposals	Dishwasher	2.00
	Compactors	Spa	Washing Machine	2.00
MISC. (number of)	Others (denote)			2.00
	✓ Air Cond/win		Pools	3.00
	Air Cond/cent	EMS	Thermostat	10.00
	HVAC			5.00
	Signs			10.00
	Alarms/res			5.00
	Alarms/com			15.00
	Heavy Duty(CRKT)			2.00
	Circus/Carnv			25.00
	✓ Alterations			5.00
	Fire Repairs			15.00
	E Lights			1.00
	E Generators			20.00
PANELS	Service	Remote	Main	4.00
TRANSFORMER	0-25 Kva			5.00
	25-200 Kva			8.00
				10.00

Handwritten notes:
 1. No 3 phase service at this location.
 2. 150 amp service at this location.
 3. 150 amp service at this location.
 4. 150 amp service at this location.
 5. 150 amp service at this location.



P.O. Box 445, 767 Main St
MORRISSEY, ME 04229



Barry Johnson
President

MERCIAL 55.00	TOTAL AMOUNT DUE	45.00
MINIMUM FEE		

MASTER LIC. # 12562203238
LIMITED LIC. # _____
No. 6001470

Office • Yellow Copy - Applicant

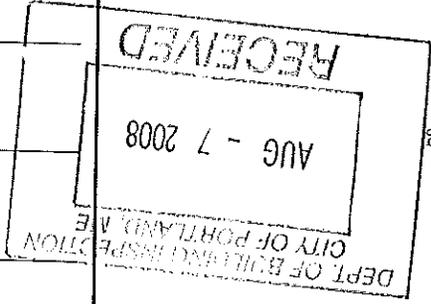
d) Curbs and Sidewalks in Sound Condition/Comply with ADA

e) No Additional Parking/ No Traffic Increase

f) No Stormwater Problems

g) Sufficient Property Screening

h) Adequate Utilities



yes	yes
yes	yes/dumping
yes	yes
no/condition	see
yes	yes

yes	yes
yes to location 50	yes
yes	yes
yes	yes

Planning Division Use Only

Exemption Granted

Partial Exemption

Exemption Denied

Prior to the issuance of a certificate of occupancy the following conditions must be met:

1. Funding of \$500,000 for 50 spaces for curbside disposal
2. Plans for the location and source of waste disposal
3. Load schedule will be coordinated to minimize impacts

Planner's Signature: Barbara Bachyall
Date: Aug 7, 2008

White - Planning Office

Pink - Inspections

Yellow - Applicant

**CITY OF PORTLAND
DEPARTMENT OF PLANNING & URBAN DEVELOPMENT**

389 Congress Street
Portland, Maine 04101

ELECTRICAL PERMITS INVOICE

Application No: 2008-4883	Applicant: BOODILLY LLC
Project Name:	Location: 17 CHESTNUT ST
CBL: 027 C011001	Electrician: Don's Electric-MC60016470
Invoice Date: 12/02/2008	License #: MS000060003238

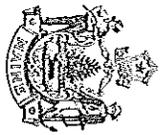
Previous Balance	Payment Received	+	Current Fees	-	Current Payment	=	Total Due	Payment Due Date
\$0.00	\$0.00		\$339.60		\$339.60		\$0.00	On Receipt

Previous Balance \$0.00

Fee Description	Qty	Fee/Deposit Charge
Outlets Receptacles	112	\$22.40
Misc HVAC	1	\$5.00
Misc EMS	1	\$5.00
Misc Thermostat	15	\$75.00
Outlets Switches	41	\$8.20
Misc Alarms Commercial	1	\$15.00
Misc E Lights	52	\$52.00
Outlets Smoke Detector	96	\$19.20
Fixtures Incandescent	34	\$6.80
Fixtures Strips	8	\$1.60

<p>Bill to: BOODILLY LLC 158 WOODVILLE RD FALMOUTH, ME 04105</p>	<p align="center">CBL 027 C011001 Application No: 2008-4883 Invoice Date: 12/02/2008 Invoice No: 33260 Total Amt Due: \$0.00 Payment Amount: \$339.60</p>
---	---

Make checks payable to the *City of Portland*, ATTN: Inspections, 3rd Floor, 389 Congress Street, Portland, ME 04101.



State of Maine
Department of Public Safety
Construction Permit



Reviewed
for Barrier
Free

17918

Sprinkled
Sprinkler Supervised

GRACE RESTAURANT
Located at: 17-19 CHESTNUT STREET
PORTLAND
Occupancy/Use: ASSEMBLY CLASS B

027 COL

Permission is hereby given to:

PETER & ANNE VERRILL

270 US ROUTE 1
FALMOUTH, ME 04105

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved.
No departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F.

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

This permit will expire at midnight on the 18 th of February 2009

Dated the 19 th day of August A.D. 2008


Commissioner

Copy-3 Code Enforcement Officer

Comments: OWNERS TO PROVIDE DETAILS ON HOOD & SUPPRESSION SYSTEM

Code Enforcement Officer
PORTLAND, ME

R. Dean Bingham/Architect

■ ■ ■ ■ ■
55 Roberts Street
Portland, ME 04102
(207) 774.7779
rdeanbingham@mac.com

July 31, 2008

Jeanie Bourke
City of Portland
389 Congress Street
Portland, ME 04101

Re: Grace (Chestnut Street Church)

Jeanie:

Attached are revised copies of Drawings A1, A2, A3, A6 and A7, plus revised SK3 and 4, and new SK6 and SK7; with additional stair, stair wall and canopy information, as requested.

Let me know if you have further questions.

Sincerely,


R. Dean Bingham, AIA

