

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	08-0857	Date Applied For:	07/14/2008	CBL:	027 C011001
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Location of Construction:	17 CHESTNUT ST	Owner Name:	BOODILLY LLC	Owner Address:	158 WOODVILLE RD	Phone:	
Business Name:		Contractor Name:	E. W. Littlefield, Inc. & Sons	Contractor Address:	2715 Athens Road Harton	Phone	(207) 938-2661
Lessee/Buyer's Name		Phone:		Permit Type:	Alterations - Commercial		

Proposed Use:	Restaurant - Change of use from Church to restaurant interior and exterior renovations/restoration	Proposed Project Description:	Change of use from Church to restaurant interior and exterior renovations/restoration
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Dept: Historic Status: Approved with Conditions Reviewer: Deborah Andrews Approval Date: 07/17/2008

Note: Ok to Issue:

- 1) * Approved with understanding that all conditions of approval included in the Historic Preservation Board's June 30, 2008 decision letter are met. (Conditions are itemized below.) Note: work on the items identified below may not proceed without review and approval by HP staff.
 1. Electrical and gas meters shall be moved as far back from the Chestnut Street elevation as possible. Final proposed location to be reviewed and approved by historic preservation staff.
 2. Location and screening of waste storage to be reviewed and approved by HP staff.
 3. Section and elevation drawings for proposed door canopies to be submitted to HP staff. Detailing of proposed canopies to be distinguished slightly from that on existin bay windows to make a distinction between original details and later additions.
 4. If any roof penetrations are proposed, plans for such shall be submitted to HP staff for review and approval.
 5. Details for proposed storms for double-hung windows to be reviewed and approved by HP staff.
 6. If you elect to add protective panels in front of stained glass windows, details for such shall be submitted to HP staff for review and approval.
 7. Consideration shall be given to the feasibility of recessing vestry doors into the masonry opening.
 8. Final brick selection for rear corner to be approved by HP staff.
 9. Screening material for rooftop mechanicals at rear corner to be metal, rather than wood. Final details, finish and color for metal screen to be reviewed and approved by HP staff.
 10. Detail of new brownstone capital to be submitted to HP staff for review and approval.
 11. Signage and exterior lighting details to be submitted to HP staff for review and approval.

Dept: Zoning Status: Approved with Conditions Reviewer: Marge Schnuckal Approval Date: 07/17/2008

Note: Ok to Issue:

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 3) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.

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Lessee/Buyer's Name		Phone:		Permit Type:	Alterations - Commercial	

Dept: Building Status: Approved with Conditions Reviewer: Jeanine Bourke Approval Date: 08/07/2008

Note: Ok to Issue:

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 3) New restaurant, lounge or bar must meet the requirements of the City and State Food Codes
- 4) Approval of license is subject to health inspections per the Food Code.
- 5) A separate application for permit is required for the commercial hood system detailing all aspects of the hood and exhaust system.
- 6) Prior to work on the kitchen, detailed plans shall be submitted for review.
- 7) The CO shall not be issued until all conditions of the site plan exemption are met.
- 8) It is noted that there are areas of work that will require exploratory review prior to detailing the construction plans. Those plans must be submitted for review, and any structural work not noted on the approved plans shall be submitted for review prior to construction.
- 9) Prior to work on the reconstruction of the rear masonry wall, detailed plans shall be submitted for review

Dept: Fire Status: Approved with Conditions Reviewer: Capt Greg Cass Approval Date: 07/30/2008

Note: Ok to Issue:

- 1) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance
- 2) Emergancy lights and exit signs are required
- 3) Emergancy lights are required to be tested at the electrical panel.
- 4) Occupancies with an occupant load of 100 persons or more require panic hardware on all doors serving as a means of egress.
- 5) The fire alarm system shall comply with NFPA 72
- 6) Application requires State Fire Marshal approval.
- 7) The sprinkler system shall be installed in accordance with NFPA 13.

Comments:

7/16/2008-ldobson: Held until 7/16/2008

7/17/2008-mes: I checked with Barbara as to what is the site plan exemption number for this project. I don't see it in the system.

7/23/2008-gg: received from historic on July 17, 2008, permit got routed to building by mistake on July 17, 2008, Captain Cass now has permit as of July 23, 2008. //gg

7/23/2008-jimb: Left a voicemsg with Dean B. (architect) to call. Plan review items: stair and railing details, canopy details, wall types, detail all new masonry openings or repair of existing, full kitchen, bar and service area layout with fixture locations, exterior work details, photos and typical anchoring specs, gender ID on the turret bathrooms.

7/28/2008-jimb: Spoke with Dean B. About required details, he will submit. The kitchen layout will be done by others and reviewed separately. The rear wall construction (25'-30") will need an ska detail once the area is investigated.

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7/28/2008-jmb: Left voice msg. With Anne V. For kitchen and service area layout details. She called back to say she has a kitchen designer drawing plans, these will need to be submitted as a condition of approval

7/31/2008-jmb: Received revised plans....need pdf or reduction of the large plans

8/7/2008-gg: received partial granted site exemption as of 8/07/08, with issued permit. /gg

From: McLoon, Christopher <cmcloon@verrilldana.com>
Subject: Chestnut St Church/Grace Restaurant - Placed in Service Date
Date: June 26, 2009 12:52:49 PM EDT
To: Lisa Lyons , Anne Verrill
Cc: jeff.gaulin@hklaw.com , edarling@carlisletaxcredits.com Eric Darling

Lisa,

As I mentioned in our conversation earlier, the City is making the Certificate of Occupancy provisional, subject to final approval and possibly inspection before issuance of a letter finalizing the certificate. The sole purpose of issuing the provisional certificate is to allow the restaurant to obtain the licenses it needs to begin operating next week.

Also, there will be a practice session at the restaurant facility on one or two days next week at which friends and staff will be served. The event is not a public event. Further, nobody will be paying for any of the food or service. The restaurant will not be open for business until it gets the certificate is finalized on Tuesday or Wednesday next week.

I'll keep you posted.

Christopher McLoon
Verrill Dana, LLP
cmcloon@verrilldana.com
207.253.4536

From: llyons@carlisletaxcredits.com [mailto:llyons@carlisletaxcredits.com]
Sent: Thursday, June 18, 2009 11:14 AM
To: Anne Verrill; McLoon, Christopher
Cc: michelle.fonseca@hklaw.com; jeff.gaulin@hklaw.com; Eric Darling
Subject: Chestnut St Church/Grace Restaurant - Due Diligence Checklist and forms

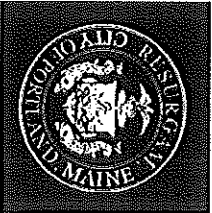
Ann and Chris -

Please find attached a Checklist, Exhibits and some legal forms (memo on Landlord Operating Agreement and SNDA) to begin our due diligence process.

5/19/09 INSPECTION for 1 day occupancy 5/14/09

June + Kate (managers) Merlin - contractor

1. Hallway - both sides
2. 30" wide stairs - OK
3. Bathroom - toilet flush
4. Good Hk 42" Rep
5. Test Report on Sprinkler
6. Alarm system functional.
7. Drycleaner Area - Exit lights
8. Not an exit sign by exit doors
9. Heat Pector Cover off after cleaning
10. Change smoke Dets to heat in Bathroom
11. Gully on Hk.
12. Misc. wire - Boxed + Cover
13. Cover - All elect. Boxes
14. All Smoke Dets - for HVAC - supervisory Alarms only
15. Pull Head Permit
16. Pull Alarm Permit
17. Pull Sprinkler Permit
18. Basement level - Door locked - Not exit sign
19. Table and Chair
20. Reduce Sign
21. Wire Guards - Hk
22. Confirm vent - Bathroom exit.
23. Key for Bkgs. + Fire Alarm System.
24. Doors - locked to basement level
25. Exit lights.



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Director of Planning and Urban Development
Penny St. Louis Littlell

Christopher McLoon
Verrill Dana, LLP
One Portland, Me. 04101

Dear Sir,

This letter is to confirm our discussion on 06/26/09. I issued a conditional Temporary Certificate of Occupancy for 15 Chestnut St. on 6/24/09, which expires on 8/24/09. Generally the City doesn't issue Certificate of Occupancies until the project is 100% complete, but there are some issues that can't be resolved until the Historic Preservation Board meets in July. In the interest of the success of this restaurant and the economic development of the City of Portland, the City determined that a conditional Certificate was appropriate. I will issue a permanent Certificate of Occupancy when the project work is 100% complete.

Sincerely,

Christopher Hanson
Code Officer/Plan Reviewer
City of Portland, Me.

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

Permit Number: 080857

PERMIT ISSUED

PERMIT ISSUED	
AUG	8 2008

This is to certify that BOODILLY LLC/E-W. Life has permission to Change-of-use-from Church at 17 CHESTNUT ST provided that the person or persons of the provisions of the Statutes of the construction, maintenance and this department.

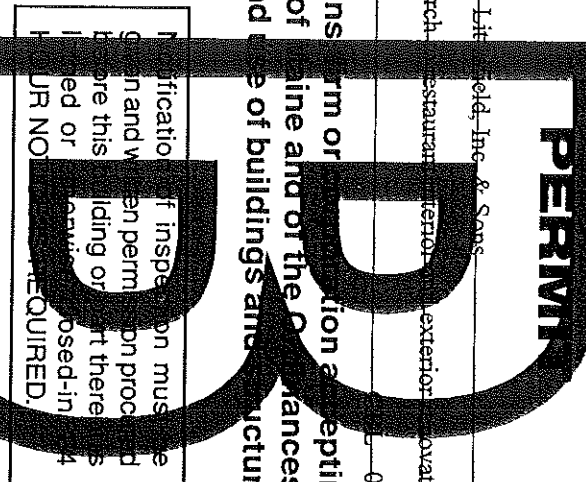
Apply to Public Works for street line and grade if nature of work requires such information.

OTHER REQUIRED APPROVALS

Fire Dept. See Mass
 Health Dept. _____
 Appeal Board _____
 Other _____
 Department Name _____

BUILDING INSPECTION

PERMIT



A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

PENALTY FOR REMOVING THIS CARD

David Hauke
 Director - Building & Inspection Services

Scanned

Jeanie Bourke - Re: Chestnut Street Church--Grace Restaurant

From: Jeanie Bourke
To: R. Dean Bingham
Subject: Re: Chestnut Street Church--Grace Restaurant

27-C-11

Dean,

I have reviewed the floor plan and fixture count information you submitted on 10/16/08. I approve the elimination of one wc each in the basement based on the occupant load. The restaurant complies with the required wc/urinal and lav fixture count of 5 each for male and female and 3 lavs.

I will insert this information with the approved permit.
Thanks

>>> "R. Dean Bingham" <rdeanbingham@mac.com> 10/15 9:23 AM >>>
Hi Jeanie--

I called yesterday to ask about plumbing fixture requirements, so thought I'd elaborate to maybe make it easier to answer.

When I submitted the permit application I showed fixtures based on each level separately. Due to some significant load bearing wall constraints it would be desirable to reduce the WCs by one each for the women and men. If I calculate the fixture requirements based on total building occupancy, this would still be in line with the code.

Is this a reasonable change? I can provide the calculations and a drawing that shows this modification.

Thanks--
Dean Bingham.

R. Dean Bingham/Architect
55 Roberts Street
Portland, ME 04102
207-774-7779
www.deanbingham.com

R. Dean Bingham / Architect

■ ■ ■ ■ ■
55 Roberts Street
Portland, ME 04102
(207) 774 7779
rdleanbingham@mac.com

October 16, 2008

Jeanie Bourke
City of Portland
389 Congress Street
Portland, ME 04101

Re: Grace (Chestnut Street Church)

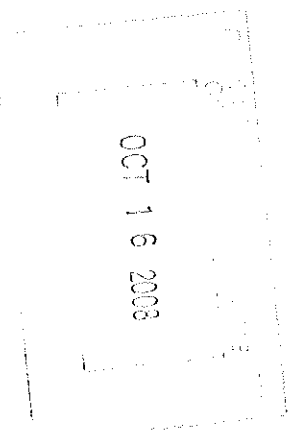
Jeanie:

Attached is SK9 showing revised layouts for the basement level HCP bathrooms. I have reduced each of these by one WC due to space limitations caused by a brick bearing wall. Also attached is a tally sheet showing the original calculated occupancy with number of fixtures required by the Maine Plumbing Code as modified by Portland to reflect the correct number of Women's WC's, followed by the number of fixtures provided.

Let me know if you have any questions.

Sincerely,


R. Dean Bingham, AIA



Grace
10.14.08

Assignment

Basement. 221

Main floor + Balcony 2915

Total - 516

Males - 258 - 3 WZ + 2 Wwms + 3 Lvs.
Females - 258 - 5 WZ + 3 Lvs.

First floor -

Males	Females
2 WZ	3 WZ.
1 Wwms	
3 Lvs.	3 Lvs.

Basmt.

1 WZ.	2 WZ.
1 Wwms.	1 Lvs.

Total - 3 WZ. 5 WZ.
Provided. 2 Wwms
3 Lvs. 4 Lvs.

1920/08

SK Still meets DC

Fixture requirements
JMB

- * Final brick selection for rear corner to be approved by staff.
- * Screening material for rooftop mechanicals at rear corner to be metal, rather than wood. Final details, finish and color for metal screen to be reviewed and approved by staff.
- * Detail of new brownstone capital to be submitted to staff for review and approval.
- * Signage and exterior lighting details to be submitted to staff for review and approval.

All improvements shall be carried out as shown on the plans and specifications submitted by your consultant team for the June 18, 2008 public hearing and/or as described above. Changes to the approved plans and specifications and any additional work that may be undertaken must be reviewed and approved by this office prior to construction, alteration, or demolition. If, during the course of completing the approved work, conditions are encountered which prevent completing the approved work, or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work.

This Certificate is granted upon condition that the work authorized herein is commenced within twelve (12) months after the date of issuance. If the work authorized by this Certificate is not commenced within twelve (12) months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such Certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding ninety (90) days each may be allowed in writing by the Department.

Note: This approval does not constitute a building permit. Please contact Building Inspections (874-8703) to apply for a permit

Sincerely,

Deborah Andrews
Historic Preservation Program Manager

cc: Dean Bingham, AIA
Amy Cole-Ives, Sutherland Preservation & Consulting

227-C-11

9/1/09

August 24, 2009

Prior to Issuance of CO.

Exterior Work Yet to be Completed to Satisfy
Historic Preservation Board Approvals for 17 Chestnut Street

North elevation (facing parking lot)

- * Paint exterior doors/trim.
- * All mechanical equipment attached to building, security lights and flush utility doors to be painted out to match color of brick. Paint specification to match that of recently-painted conduit.
- * Remove fragments of obsolete building addition near rear corner of building.

Mechanical Screen

- * Screen to be completed as approved: 5/4" x 6" cap rail to be installed.

Front Elevation

- * Remove unapproved security lights flanking front entrance.

South Elevation (facing alleyway)

- * Remove obsolete parking sign.

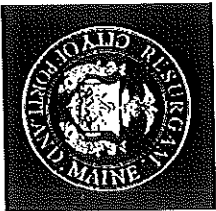
Alleyway

- * City to install gates at sidewalk line. (Drawings for gate have been approved.)

From: Deb Andrews
To: Chris Hanson
Date: 8/25/2009 11:52:11 AM
Subject: 17 Chestnut Street

Chris: Based on a site visit conducted this morning, I've prepared the attached list of items that still need to be addressed in order to meet Historic Preservation approvals. Thanks!

Deb



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Director of Planning and Urban Development
Penny St. Louis Littell

Christopher McLoon
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Sincerely,

A handwritten signature in black ink, appearing to read "Chris Hanson".

Christopher Hanson
Code Officer/Plan Reviewer
City of Portland, Me.

List to do for CO.

712-8613

6/23/09

- ✓ 1. Alarm - connected and voice enunciator working.
- ✓ 2. Powerhouse - Sealed thru-outs
- ③ 2 security lights on front removed.
- ✓ 4 elect panels labeled.
- ✓ 5. heat detector covers removed.
- ✓ 6. Tamper resistance valve must be wired
- ✓ 7. seal around wires @ elect panels
- ✓ 8. Sneezeback ceiling and Arch ways
- ✓ 9. Label covers on fire Alarm / sprinkler boxes
- ✓ 10. label on e-lights (which breaker they are on)
- ✓ 11. Two exterior exits - must have a hand surface not Bark mulch.
- ✓ 12. Label A. Elect Room + fire Service.
B. Sprinkler Room
- ✓ 13. All Alarm junction boxes must be marked Red.
- ✓ 14. Cut induct chain pipe higher in kitchen above flood rim of floor drain.
- ⑮ Move Rill station by Anvil system.

Babara - B.