

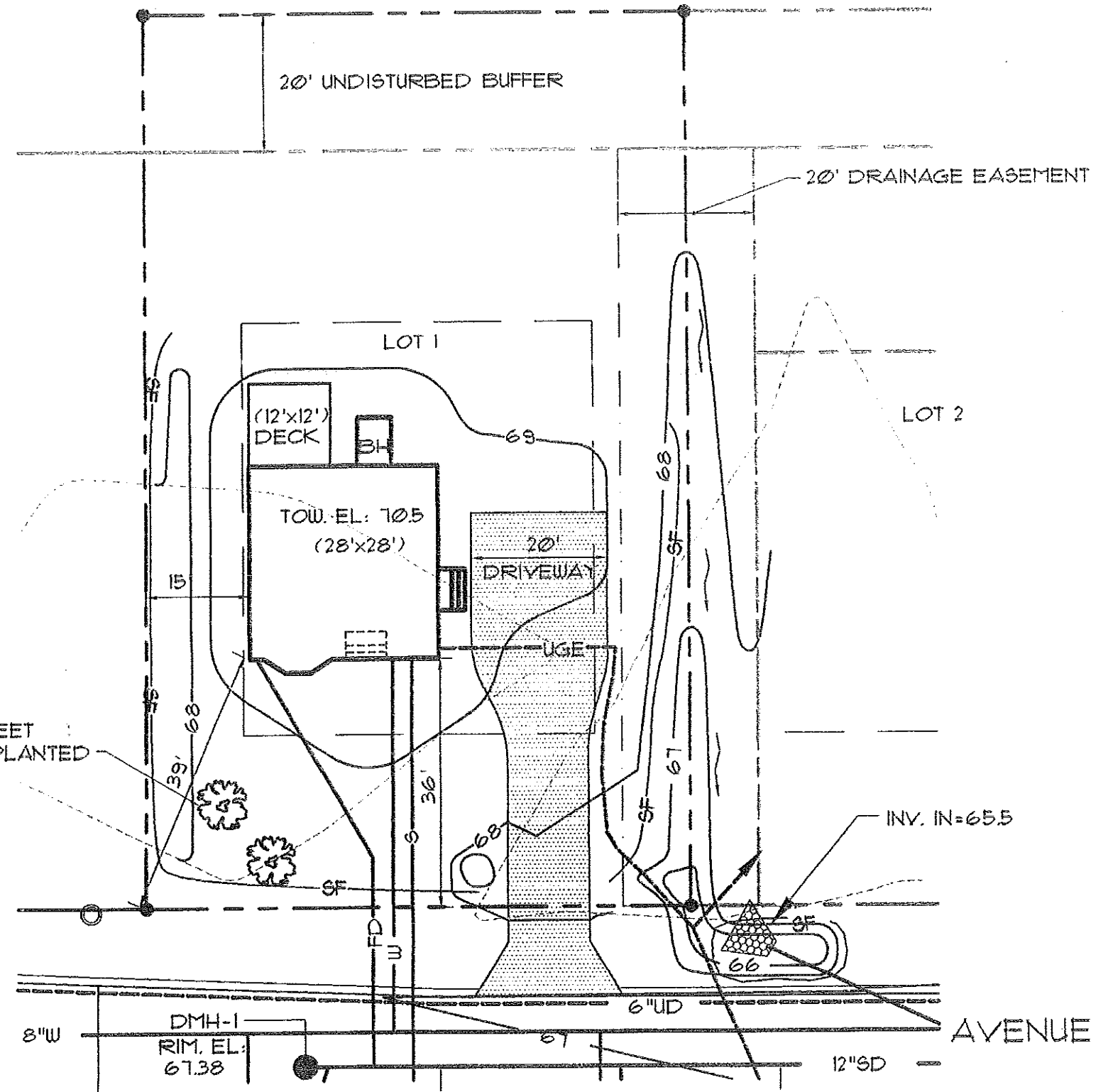
**NOTE:**

1. ELEVATION AND UTILITY LOCATION TAKEN FROM SHEET 3 OF 5 (GRADING PLAN) TUCKER AVENUE EXTENSION.
2. DURING CONSTRUCTION THE OWNER AND/OR CONTRACTOR SHALL UTILIZE ME. D.E.P. "BEST MANAGEMENT PRACTICES (B.M.P.'S) FOR EROSION CONTROL & SEDIMENTATION CONTROL.
3. IF TWO TREES EXIST WHICH ARE LARGER THAN 2" DIA. TRUNK, THEY MAY BE SUBSTITUTED FOR THE PROPOSED STREET TREES, AS LONG AS THE SPECIES IS ON THE CITY'S ACCEPTABLE TREE LIST.

**GRAPHIC SCALE**



( IN FEET )  
1 inch = 20 ft.



REQUIRED STREET TREES TO BE PLANTED SEE NOTE 3.

**Sebago Technics**  
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**SINGLE FAMILY RESIDENCE PLOT PLAN**  
OF:  
**LOT 1 TUCKER WOODS SUBDIVISION**  
TUCKER AVENUE  
PORTLAND, MAINE  
FOR:  
**PAUL VOSE**  
P.O. BOX 7543  
PORTLAND, ME. 04112

DESIGN BY:	
DRAWN BY:	PLS
CHECKED BY:	JRS
DATE:	12-22-99
SCALE:	1"=20'
FIELD BK:	-----
PROJ. NO:	99401
DRAWING:	99401LOT1
<b>SHEET 1 OF 1</b>	