City of Portland, Maine - Building or Use Permit Application, 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

|  | File Ivory Card-Inspector   | -D.P.W. Pink-Public   | nit Desk Green-Assessor's Canary  | ne9–Peri   |
|--|---|---|---|--|
| PERMIT ISSUE <del>D</del> VEEL PISTRIFF INTS   | PHONE: V  | <del>2</del> 41 <u>1114 1</u>   | LILLE» :*   | KESPONSIBLE PERSON IN CHARGE OF WORK   |
| DEDITE TOOTED  | PHONE:  | DATE:   | ∀DDKE23:  | ZIGNATURE OF APPLICANT   |
| ☐ Does Not Require Review ☐ Requires Review ☐ Approved ☐ Approved ☐ Denied ☐ Date:               | vs of this jurisdiction. In addition,<br>hall have the authority to enter all | MIT is authorized by the ov<br>orm to all applicable lav<br>ihorized représentative s | CERTIFICATION  named property, or that the proposed work his authorized agent and I agree to confisioned. I certify that the code official's aut to enforce the provisions of the code(s) | I hereby certify that I am the owner of record of the a authorized by the owner to make this application as if a permit for work described in the application is is areas covered by such permit at any reasonable hou |
| Historic Preservation  Month in District or Landmark  Month Persisted System                     |   |   | Cull 50 799-5495  |  |
| Zoning Appeal  ☐ Variance ☐ Miscellaneous ☐ Conditional Use ☐ Inferpretation ☐ Approved ☐ Denied |   |   | tic or electrical work.<br>within six (6) months of the date of issua   | This permit application does not preclude the A     Building permits do not include plumbing, sep     Building permits are void if work is not started     tion may invalidate a building permit and stop              |
| amm⊓ ronim⊒ imm nel Pali≳⊟<br>Z\roll\\\  |   | 3 1666 K  | Date Applied For:   | Репліт Такеп Ву: 🦹   |
| Special Zone of Reviews:  Special Zone of Reviews:  Shoreland  Wetland  Flood Zone               | IVITIES DISTRICT (M.D.)  proved with Conditions:                              | Action: App   | *   | Proposed Project Description:  |
| 800-8-765 Zieuoz   | DLOAGG INSPECTION:  |   | smod Yilmei signis  | Vaceat   |
| 000S T - NAL   | фек.00<br>фек.00  | \$\\ 000000000000000000000000000000000000   | Proposed Use:   | Past Use:  |
| Permit Issued:   |   | Phone:  | Address:  | Contractor Name:   |
| 000012   | BusinessName:   | Phone:  | ressee/Buyer's Name:  | Owner Address:<br>183 Micchell ad Cape Elizabeth ME  |
| Permit No:   | 6.00 c c c c c c c c c c c c c c c c c c                                      | lose Inc  | Owner: E. Lydon/Paul  | Location of Construction:<br>100 Tucker Ave Lot 1  |



DALUCA-ROFEMÁN ASSOCIATES, INC. CONSULTING ENGINEERS

T78 MAIN STREET SOITES SOUTH FORTLAND, MAINT GA106 The Low 773 | 120 FAX 707 879 0496

ROADWAY DESIGN PAYTRONMENTAL ENGINEERING TRAFFIC STUDIES AND MANAGEMENT PERMITTING

HITE PLANNING MREORT ENGINEERING

CONSTRUCTION ADMINISTRATION

### MEMORANDUM

ö Code Enforcement Kandi Taibot, Planner

TROM: Gordon Smith, Director of Construction Services

Reviewed by Steve Bushey, P.E., Acting Development Review Coordinator

DAIE May 12, 2000

ΣI M Temporary Certificate of Occupancy - 100 Tucker Avenue

On May 9, 2000, the site was reviewed December 27, 1999. My comments are: for compliance with tte e conditions of approval dated

The jandscape work, including lawns and trees, could not be completed due to the time of year. This work must be completed by June 15, 2000.

- N Due to the condition of the site, the existing ourb and sidewalk in front of the house could not be inspected.
- ω Nancy Knauber of the City of Portland's inspection division, will need to inspect the driveway apron, roadway, and any other right-of-way work in the spring prior to issuance of a permanent certificate of occupancy.

and approved prior to the issuance of a permanent certificate of occupancy. It is my opinion that a temporary certificate of occupancy could be issued, assuming Code Enforcement has no outstanding issues. However, items 1 through 3 above must be reviewed



## HEATING OR POWER EQUIPMENT APPLICATION FOR PERMIT

**ယ** ႏ

SE SE

To the INSPECTOR OF BUILDINGS, PORTLAND, ME. 

> ろっている 000 000

> > 000154

| The undersigned hereby applies for a permit to install the following heating, cooking or power equipments of the with the I gave of Maine, the Building Code of the City of Portland, and the following specifications:   | l the following heating, cooking or power equipment in carry of Portland, and the following specifications: |
|---|---|
| ocation (1) to Ker Ave Use Use vame and address of owner of appliance Large Lyden   | Use of Building Single Family Date 3/2/10   |
| nstaller's name and address Sim Peth's  | 54592 Telephone \$54-1968   |
| Cocation of appliance:  El Basement   | Type of Chimney:  Masonry Lined Factory built   |
| Type of Fuel:  Gas C Oil C Solid  | Metal     Factory Built U.L. Listing #  |
| Appliance Name: Bunhami Volumbami V | É Direct Vent   Type   UL#  |
| Will appliance be installed in accordance with the manufacture's installation instructions? in Yes I No   | Type of Fuel Tank □ Oil ⊡ Gas   |
| IF NO Explain:  | Size of Tank  |
| The Type of License of Installer:  Master Plumber #  Solid Fire! #  |   |
| 1   | Pistance from Tank to Center of Flame OUTSILE feet.   |
| Approved Fire: Agm  | Approved with Conditions  See attached letter or requirement  |
| Ele.:  Bldg.:   | The Fronce So. So. of with  |
| Signature of Installer  | Manux   |

White - Inspection

Yellow - File

Pink - Applicant's

Gold - Assessor's Copy

### City of Portland, Me. ELECTRICAL PERMIT

To the Chief Electrical Inspector, Portland Maine:
The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland Electrical Ordinal

National Electrical Code and the following specifications: Fix extrsion

| グ CBL# んどく - の - Q / | Permit # 4 | Date 2-4-00 | CONT. MAN. |
|----------------------|------------|-------------|------------|
| ×                    |            |             |            |

| ■                 | n Kily                                |             |              |             |                  |        |       |               |        |
|-------------------|---------------------------------------|-------------|--------------|-------------|------------------|--------|-------|---------------|--------|
| WNER LYGOZ        |                                       |             | TENANT       |             |                  |        |       |               |        |
|                   | D D D D D D D D D D D D D D D D D D D |             |              |             |                  | ᅻ      | TOTAL | EACH FEE      | M      |
| o r               | neceptacies                           | 90          | Switches     | 3           | Smoke Detectors  | 6      |       | .20           | St. C. |
| FIXTURES          | incandescent                          | 2           | fluorescent  | V3          | Strips           |        |       | .20           | 3.00   |
| SERVICES          | Overhead                              | 1           | Underground  |             | TTL AMPS         | 8      |       | 15.00         |        |
|                   | Overhead                              |             | Underground  |             |                  | ×800   |       | 25.00         |        |
| Temporary Service | Overhead                              |             | Underground  |             | TTL AMPS         |        |       | 25.00         |        |
|                   |                                       |             |              |             |                  |        |       | 25.00         |        |
| MIT ITHU          | (number of)                           | · .         |              |             |                  |        |       | 1.00          | (20)   |
|                   | (riditibet of)                        | -           |              | _           |                  |        |       | 2.00          |        |
|                   | Electric units                        |             |              |             |                  |        |       | 1.00          |        |
|                   | oli/gas units                         |             | Interior     |             | Exterior         |        |       | 5.00          |        |
| AFFLIANCES        | Hanges                                | <b>-</b>    | Cook Tops    |             | Wall Ovens       |        |       | 2.00          | 00.C   |
|                   | Dryers                                |             | Disposals    |             | Dishwasher       |        |       | 200           | *      |
|                   | Compactors                            | -           | Spa          |             | Washing Machine  |        |       | 200           | いって    |
|                   | Others (denote)                       |             |              |             |                  |        |       | 2.00          | 100    |
|                   | Air Cond/win                          |             |              |             |                  |        |       | 3.00          |        |
|                   | HVAC                                  | $\parallel$ | TI MAN       |             | Thermostat       |        |       | 10.00         |        |
|                   | Signs                                 | 1           |              |             |                  |        |       | 20.00         |        |
|                   | Alarms/res                            | +           |              |             |                  |        |       | 5 OO          |        |
|                   | Alarms/com                            |             |              |             |                  |        |       | 15.00         |        |
|                   | Heavy Duty(CRKT)                      | J           |              |             |                  |        |       | 2.00          |        |
|                   | Alterations                           |             |              |             |                  |        |       | 25.00         |        |
|                   | Fire Renairs                          |             |              |             |                  |        |       | 5.00          |        |
|                   | E Lights                              | $\dagger$   |              |             |                  |        |       | 15.00         |        |
|                   | E Generators                          |             |              |             |                  |        |       | 3 1.8         |        |
| PANELS            | Service                               |             | 0            |             |                  |        |       |               |        |
| TRANSFORMER       | 0-25 Kva                              |             |              |             | IVIGIII          | 1      |       | 4.00          | 11:02  |
|                   | 25-200 Kva                            |             |              |             |                  |        |       | 0.00          |        |
|                   | Over 200 Kva                          |             |              |             |                  |        |       | 0 00<br>00 00 | ,      |
|                   | MINIMUM ERECOMMERCIAL 35 SO           |             | DOIN SE OO   |             | TOTAL AMOUNT DUE | E E    |       |               |        |
| INSPECTION:       | Will be ready                         |             | 11.057       | 악<br>¥<br>L | or will call     |        | 25.00 |               | JH-H   |
| ONTRACTORS NAME   | Bar F. S                              | ~6          | 200          |             | ,<br>5           |        |       |               | ,<br>, |
|                   | ٣                                     | Po          | Can 151,7    |             |                  | 11/150 | 00    | XX/9/10       |        |
| ELEPHONE H 79     | 2                                     |             | 28.65 - 85.8 | ~           |                  | 100    | 00/   | CM 200 16 788 |        |
|                   |                                       |             | メンダー じなかき    | ,           |                  |        |       |               |        |

SIGNATURE OF CONTRACTOR



DeLUCA-HOFFMAN ASSOCIATES, INC. CONSULTING ENGINEERS

778 MAIN STREET SUITE 8 SOUTH PORTLAND, MAINE 04106 TEL. 207 775 1121 FAX 207 879 0896

ROADWAY DESIGN
ENVIRONMENTAL ENGINEERING
TRAFFIC STUDIES AND MANAGEMENT

AIRPORT ENGINEERING SITE PLANNING

CONSTRUCTION ADMINISTRATION

## MEMORANDUM

Ö Code Enforcement

Kandi Talbot, Planner

FROM:

Chris Earle, Construction Representative Reviewed by Steve Bushey, P.E., Acting Development Review Coordinator

DATE: August 2, 2000

Z III Certificate of Occupancy - 100 Tucker Avenue

On July 27, 2000, the site was reviewed for compliance with the conditions of approval.

Enforcement has no outstanding issues It is our opinion that a permanent certificate of occupancy could be issued, assuming Code

# THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

# Minor/Minor Site Review, Building or Use Permit Pre-Application

# Detached Single Family Dwelling

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

| · ·            | B & 8 5  | <u></u>  | •                         | • •   | ➣  | • •  | •   | • •   | •   |   | • 9  | 2 >   |   | ×   |  | 9 ~                                    |                          |  |  | Ī.,  | 1.                                |
|----------------|--|--|---------------------------|---|--|--|---|---|---|---|--|---|---|---|--|--|--------------------------|--|--|--|-----------------------------------|
| Sionstant of a | owner to make this application as hisher authorized agent. I agree to conform to all application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit for work described in this enforce the provisions of the codes applicable to this permit.  | e H  | វ 🖈                       | ভ   | 4) Building Plans (Sample complete set of construction drawings showing all of the following elements of construction: | ਸ਼ ੮   | · [-  | בי א  | d Va  | מִ סְּי   | • The shape and dimension of the lot, all existing buildings (if any)  | A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed surveyor (2 conice are required). A complete plat the 10th District of the Site plan must be prepared and sealed surveyor (2 conice are required). | •   | <ul> <li>All Electrical Installation must c</li> <li>HVAC(Heating, Ventilation and A</li> <li>You must include the following with you application:</li> </ul> | •All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II. •All plumbing must be conducted in compliance with the State of Maine Plumbing Code.  | Contractor's Name, Address & Telephone | Mcw - wood frome Single  | Lessee Buyer's Name (If Applicable)  L. E. Lydon Jr. Conet. I          | Tax Assessor's Chart, Block & Lot Number Chart# 33 | Total Square Footage of Proposed Structure | Location/Address of Construction: |
| annikont.      | this applica<br>saucd, I cert<br>visions of th   | Foundation plans with required drainage and dampproofing Electrical and plumbing layout. Mechanical drawings for an equipment, HVAC equipment (air handling) or other types.  Certification the Communication of the commun | Window and door schedules | Cross sections w/r raining details (including porches, decks w/railings, and accessory stru<br>Floor Plans & Elevations | of construc  | Location of areas on the site that will be used to dispose of surface water.  Existing and proposed grade contours | Location and size of both existing utilities in the street and the proposed utilities serving the building. | r IISt r loor still elevation (based on mean sea level datum);<br>Location and dimensions of parking areas and driveways: | Scale and North arrow; Zoning District & Setbacks | property lines. Structures include decks porches, pools, garages and any other accessory structures   | The shape  | unor" site  | •   | Electric<br>C(Heatin<br>ude the follo   | truction   | Name, Addres                           | J - W                    | 's Name (If  | T's Chart.   | Footage of                                 | tress of Con                      |
| \              | tion as his/lify that the  | nd plumi<br>md plumi<br>HVAC   | nd door so                | s & Eleva   | tion drawin  | fareas on<br>id propos   | nd size of  | siii eieva<br>nd dimen  | North arr   | nes. Struc<br>iges and a  | and dim  | plan revi   |   | al Install<br>19, Ventil<br>19, wing with 1   | must be<br>All plun  | ess & Telephone                        | wood +                   | Applicable<br>Const.   | t, Block & Lo                                      | Proposed S                                 | struction:                        |
| `              | crecord of the control of the contro | th require<br>bing layor<br>equipmen   | chedules                  | tions de  | ga showing   | the site ted grade   | both exi  | sions of p  | ow: Zonir   | ny other  | ension of  | iew is req  |   | ation mu<br>lation an<br>you applica  | paracepen<br>conducto<br>bing mu   | shone                                  | from c                   | The The  | D in Number  | tructure                                   | lot                               |
| ٧              | he named pi<br>ed agent. I<br>al's authori<br>is permit.   | ed draina;<br>ut. Mecha<br>it (air han   |                           | лаціз (mol  | all of the fo  | hat will b   | sting utili   | ed on me<br>earking ar  | ng Distric  | lude deck<br>accessory  | the lot, al  | luired pri  | 1) A C<br>2) A  | ist compl<br>d Air Co<br>tion:  | nus are request to the contract of the contrac | The                                    | ific as possible) Sin9/e |  | Lot# OO  | 1494                                       | 7                                 |
| 1              | agree to con   | ge and dan<br>mical drav<br>dling) or  |                           | nding poi   | 4) Buil<br>llowing elen  | e used to  | ties in the   | eas and d   | t & Setb  | s porches   | l existing   | or to perm  | <ol> <li>A Copy of Your Deed or Purchase and Sale Agreement</li> <li>A Copy of your Construction Contract, if available</li> <li>A Plot Plan (Sample Attached)</li> </ol> | y with th<br>nditionin  | equive permis are required for internal & External Plumbing, HVAC and Electrical installation.  *All plumbing must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by   | 183 1                                  | 6                        |  | Owner  | # 4  | Toch                              |
|                | hat the prop<br>iform to all<br>tative shall   | mpproofi wings for other type  |                           | rches, dec  | 4) Building Plans (Sample Attached) ing elements of construction:  | dispose o  | street an   | vel datum<br>riveways:  | acks  | s, a bow w  | building   | nit issuano   | of Your Deed or Purchase and Sale<br>of your Construction Contract, if<br>3) A Plot Plan (Sample Attached)  | ne 1996 N<br>ng) instal   | emal & Ext<br>with the<br>n compli   | mitche                                 | family                   | Owner's/Purchaser/Lessee Address:<br>183 M;†ehell Rd.<br>Cope Ehie ME. | Paul Paul  |  | 6/                                |
|                | osed work i<br>applicable I<br>have the au   | roofing s for any spec types of worl certification   |                           | ks w/ rai   | (Sample A struction:   | of surface   | d the proj  | ·   |   | indows c  | meiudes:<br>s (if any),  | e. The S  | Purchase a<br>action Con<br>Sample Att  | ational l   | amal Plumb<br>1996 B.O   | 11 Ad:                                 | hon                      | ic/Lessee !<br>I/c// /z<br>i/i/e.                                      | hyden  | Square F                                   | Yve 1                             |
|                | s authorized<br>aws of this j<br>thority to en   | ialized eq   |                           | lings, and  | ttached)   | water.   | osed util   |   |   | antilever   | the propo  | ite plan n  | nd Sale Ag<br>tract, if ava<br>ached)   | Electrical<br>ust comp  | ing HVAC   | Cape                                   | 40                       | WE. O  | In Coust   | Square Footage of Lot                      | # <i>[</i> 8                      |
|                | l by the own<br>jurisdiction.<br>iter all areas  | uipment :  |                           | accessor  |  |  | ities servi   | _   | $\tilde{}$  | sections:   | osed struc   | nust be pr  | reement<br>ùlable   | Code as   | and Electri<br>uilding C   | Ehz                                    |                          | 4107   | st. The  | ot /C                                      |                                   |
|                | er of record<br>In addition<br>covered by  | such se fe<br>special re   | , E                       | y structor  | distriction of the second  | آڙ   | ng the bu   | $\subset$   | )<br>/  | and roof o  | iture and  | epared ar   | ١   | amende<br>he 1993   | cal installat<br>ode as ar   | z ME.                                  |                          | 5A C   |  | ,400 A                                     |                                   |
|                | l and that Il, if a permit this permit   | view mus   | ,                         |   |  |  |   | 2   |   | werhangs  | the distan   |   | Ofa   | d by Sec<br>BOCA N  | nended b   | 0110                                   |                          | Cost Of Work:<br>\$70,000  | Telepho  | 9  |                                   |
|                | have been a for work d   | Foundation plans with required drainage and dampproofing  Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as hards specialized equipment such as hards special review must be included equipment. HVAC equipment (air handling) or other types of work that may require special review must be included.  Certification   | 6661 / 7 5                | ر<br>ان<br>ان   | BUILDING INSPECTION  |  |   | グーンイン   | $\bigcup_{i \in \mathcal{I}} \mathcal{I}_i$       | property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures. | The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual | by a registered land  |   | 율호  | y Section  | 7                                      | lω                       | 9  | one#:<br>- 5495<br>- 2737                          |  |                                   |
|                | nave been authorized by the for work described in this at any reasonable hour to   | Eas?   | 999                       | in the sales arranged   | AND, ME  |  |   | 7   | <u>、</u> こここと                                     | as, sheds   | he actual  | stered lan  | 10 the  | rt III.<br>al Code.   | n 6-Art ]  | Rec'd By:                              | 1<br>8<br>8              | Fee: \$442   |  |  |                                   |
|                | ot.<br>Studio  | The state of the s | j                         |   | ş  |  |   |   | `)  | •   |  | 다   | 6   | i   | H  | $\cup$                                 | 7 5                      | 72   |  |  |                                   |

Site Review Fee: \$300.00/Building Permit Fee: \$30,000 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

| 05/08/00                | 12:47 PAX 2077808802 GTS POR                              | PORTY AND                          |  |
|-------------------------|---|------------------------------------|--|
| Danz                    |   |                                    | ₹ 005/003  |
| Saller                  |   |                                    |  |
|                         |   | Burn                               |  |
| Seller                  |   | Dayer                              |  |
| onatruction, in Sever   | Pout Yose, Inc. and L.E. Lydon, Jr. Constr                | Enyer                              | Money A. Ireland   |
| 100 LOC                 | מצע לופריסו,  | ĝ:                                 | we merry are now ledge recept of this Sendement Statement  |
| 477                     | 408. CYZB[X 10] [ PXOVI SETTER,                           | 45,507,67                          |  |
| 6.674.00                | 602. Less ment reductions to achopin due seller line 520) | 705,000.00                         | 302. Less amounce paid by/fer borrower(line 220)   |
|                         | 601. Cross semant due to reflection ASSI (Etc.)           | 150,507_67                         | G7089 amoun  |
| 6,414.00                | STO. TOTAL REDUCTION IN AMOUNT:                           | 165,000.00                         | 300. CASH AT SETT EMENT FROM TO BORROWED.  |
|                         | 317,  |                                    | 220. TOTAL PAID BY/FOR BORROWER.   |
|                         | 518.  |                                    | 219  |
|                         | 317.  |                                    | 217.   |
|                         | 516.  |                                    | 216.   |
|                         | 5.4   |                                    | 215.   |
|                         | 513.  |                                    | 214  |
|                         | 512. Autocomony   |                                    | ZL1. Assessments (c  |
|                         | 310. Cly/Dwn extel  |                                    | 211. County taxes  |
|                         | Adjustments for hems unpaid by seller:                    |                                    | 210. Onymora gazes   |
| 1,000.00                | 380 manuscaping early                                     |                                    | 330.   |
|                         | Sa Landson  |                                    | 208  |
|                         | 306,  |                                    | <b>107</b> ,   |
|                         | \$05. Payoff of second morrows: Joan                      |                                    | 406.   |
|                         | 504. Payoff of first mortgage loan                        |                                    | 374  |
| 414.00                  | 502. Settlement charges to seller(Une 1400)               | 00.00                              | 103. Extended toact(s) taken subject to  |
| 2 000                   | 501. Excess depositione castractions)                     | 5,000.00                           | 192. Erracipal amount of new lounts  |
| 145,000,00              | 500. REDUCTIONS IN AMOUNT DUTE TO SELVED.                 |                                    | 101. Provided Francis of the Behalf of Borbower.   |
|                         | 420. GROSS AMOUNT DUE TO SELLER:                          | 150,507.67                         | WARDEN AMOUNT DUB FROM BORROWER:   |
|                         | 43.2.   |                                    | SO CEOUR CONTRACTOR OF THE CON |
|                         | 411.  |                                    | 12.  |
|                         |   |                                    | 10.  |
|                         |   |                                    |  |
|                         | 407. Compay maxas   |                                    | So. Assessments  |
|                         | 405. CityTourn Tayen                                      |                                    | 07 Company trans   |
|                         | Adjustments for farms said for seller in whenever         |                                    | withouteness for frame puise by seller to advance  |
|                         | 403   |                                    |  |
|                         | 432   | 20- 30-02                          | 04   |
| (45,300,00              | ┫   | 27 CU3 55                          | 03. Saciement charges to borrower (time 1400)  |
|                         | Ш   | 145,000.00                         | 02. Persons procesty   |
|                         | 400. GEOSS AMOUNT DIFF TO SELLER'S TRANSACTION            |                                    | 01. Contract sales with DUE FROM BORROWER.   |
| Constion date: 05/09/00 | Proret  |                                    | I. SUMMARY OF BORROWER'S TRANSACTION   |
| VI DATE                 | TO THE MEN  | in Fort                            | Portion as of the  |
| 02-0508066              | SETTLEMENT AGENT TIN: 02-0505066                          | Services                           | ADDRESS.   |
| MUNICIPAL NOT ON FILE   |   | 34101<br>34101                     |  |
|                         |   | 686<br>6                           | ADDRESS: Granite Title Services  |
|                         | アイドのでは、他の一つくよう。   | LOT 41, Turker Joods Extension Po  |  |
|                         |   | 1923                               | PROFERTY LOCATION: Nap 332 Let 8   |
|                         |   | 175 ANDONER STREET, SUITE 105      |  |
| •                       | H, NE 04:07   | JES Mitchell Road, Cape Elizabeth, | NAME OF LENDER: CHASE MANHATT  |
| 國002                    | PAUL VOSE INC.  | B. and C.E. Lydon, Jr.             | And Andrew (200)   |

| en be disburned in   | Litave caused or will cause the fineds to | For will 1. Sectional Supercont which I have prepared is a and and accurate economy of this transaction. I have content  |                        |
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| TO TO THE TOTAL PARTY OF THE TOT | the statement of the so                   | ements pade on my vectoria or by me in this manachor. I further estatly the  | 100                    |
| Department of all  | remains pur sum e si v '                  | ADD. TOTAL SETTLEMENT CHANGES COMMENT OF THE MET SECTION OF THE PROPERTY OF TH |                        |
| 414. OD  | 5 507.67                                  | 305.   | ķ                      |
|  |   |  | ij                     |
|  |   | 1303   | Įį,                    |
|  |   | Specion  | 뛶                      |
|  | 150.00                                    | ]  | ij                     |
|  |   | ADDITIONAL SETTLEMENT CHARGES  | iğ.                    |
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| 270 00   | 345 00                                    | Chy/county maybranesh: Date 3  |                        |
|  | 61.00                                     | 21. Recording See: Deed S (5.00 borg \$ 46.00 Rel. \$  | II,                    |
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|  |   | B  | 113                    |
|  |   | Owner's coverage 145,000.00 \$   | H                      |
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| 50.00<br>50.00   |   |  | 밁                      |
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|  | 575,00                                    | Title insurance (circles   | ្ត<br>ខ្ល              |
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|  | 00-69                                     | CHASE MANHATTAN MORTGAGE DORP  | ] E                    |
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|  | 79.000                                    | utase cranium for one, so  | iye i                  |
|  |   | 991. Interest from 05/09/00 to 06/01/00 ths 21, 29000 /day 23 days   | <br>  \( \rac{1}{2} \) |
|  |   | 900. HEAG REQUIRED BY LENDER TO BE PAID IN ADVANCE.  | (ga ji                 |
|  | 20.00                                     | CHASE MANHATTAN MORTGAGE   | Da 12                  |
|  | 7,00                                      | TO CHASE MANATTAN HORTGAGE   | zo iá                  |
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|  | 125,00                                    | CHASE MANHATTAN NORTGAGE   | ı ları                 |
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|  | 275.00                                    | ,  | 69 1                   |
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Sedement Agent

WARNING: If it a crime to knowingly stake take sparsers to the United States on this or any other similar form. Impresonment. For demile see: Table 18: U.S. Code Section 1991 and Section 1910.

# CITY OF PORTLAND, MAINE DEVELOPMENT REVIEW APPLICATION PLANNING DEPARTMENT PROCESSING FORM

19990175 I. D. Number

| expiration date  | amount  | submitted date   | ☐ Defect Guarantee Released   |
|--|---|--|---|
|  | signature   | date   | Defect Guarantee Submitted  |
|  |   |  | Performance Guarantee Released  |
|  | signature   | dane   | Certificate Of Occupancy  |
|  |   |  | Final Inspection  |
|  | Conditions (See Attached)   | pancy date   | ☐ Temporary Certificate of Occupancy  |
| signature  | remaining balance   | ced date   | Performance Guarantee Reduced   |
|  |   | date   | Building Permit Issued  |
|  | amount  | date   | Hispacuor nacinalo  |
| expiration date  | amount  | ted date   | ☐ Performance Guarantee Accepted ☐ Increation Fee Boild   |
|  | mitted as indicated below   | * No building permit may be issued until a performance guarantee has been submitted as indicated below | * No building permit may be issued  |
| ***************************************                                | ☐ Not Required  | Required*  | Performance Guarantee   |
|  | <b>6</b>  | signature date   | Condition Compliance  |
| Additional Sheets  Attached  | Extension to  | Approval Expiration  | Approval Date 1/6/00  |
|  | ☐ Denied  | Approved w/Conditions     see attached   | Approved  |
|  | Reviewer Marge Schmuckal  | l-Status:  | Inspections Approval Status:  |
| Date: 12/27/99   | Engineer Review   | \$300.00 Subdivision   | Fees Paid: Site Plan  |
| Other  |   | Zoning Variance  | Zoning Conditional Use (ZBA/PB)   |
| □ DEP Local Certification  | HistoricPreservation  | Shoreland  | Flood Hazard  |
| 14-403 Streets Review  | PAD Review  | Subdivision # of lots  | Site Plan (major/minor)   |
|  |   |  | Check Review Required:  |
| X  Residential  fy  lot 1- NO garage- 12x12 deck   R-2 zone     Zoning | ilding Addition   Change Of Use   Other (specifice)               | ning Warehouse/Distr   | Proposed Development (check all that apply):    Office   Retail   Manufacturi   1494 sf   Proposed Building square Feet or # of Units |
|  | s Reference: Chart-Block-Lot                                      | ]  | Applicant or Agent Daytime Telephone, Fax   |
|  | Address of Proposed Site 332-B-008                                |  | Consultant/Agent<br>799-5495  |
| Single tamily home Project Name/Description e 04103                    | Single to Single 1 Project I 100 Tucker Ave. Portland Maine 04103 | , MIE 04107  | Applicant's Mailing Address   |
| ation Date   | Application   |  | Applicant   |
|  |   |  | F I vdon/Danil Voca   |

19990175 I. D. Number

## CITY OF PORTLAND, MAINE DEVELOPMENT REVIEW APPLICATION PLANNING DEPARTMENT PROCESSING FORM

|                                     | signature   | date Defect Guarantee Submitted  |
|-------------------------------------|---|--|
|                                     |   | Performance Guarantee Released   |
|                                     | Silvanio  | Certificate Of Occupancy   |
|                                     | cionatiro   | Final Inspection   |
|                                     | Conditions (See Attached)                                   | Temporary Certificate Of Occupancy date  |
| signature                           | remaining balance   | Performance Guarantee Reduced date   |
|                                     |   | Building Permit date   |
|                                     | amount  | Inspection Fee Paid date   |
| expiration date                     | amount  | Performance Guarantee Accepted date  |
|                                     | en submitted as indicated below                             | * No building permit may be issued until a performance guarantee has been submitted as indicated below   |
|                                     | Not Required  | Performance Guarantee Required*  |
|                                     | date  | signature  |
| Attached                            | 1/6/00  | Condition Compliance Gordon Smith for Steve Bushey   |
| Additional Sheets                   | 1/6/01 Extension to   | Approval Date 1/6/00 Approval Expiration   |
|                                     | ☐ Denied  | ☐ Approved w/Conditions see attached   |
| hey                                 | Reviewer Gordon Smith for Steve Bushey                      | DRC Approval Status:   |
| Date: 12/27/99                      | Engineer Review   | Fees Paid: Site Plan \$300.00 Subdivision  |
| Other                               |   | ☐ Zoning Conditional ☐ Zoning Variance Use (ZBA/PB)  |
| ☐ DEP Local Certification           | ☐ HistoricPreservation                                      | ☐ Flood Hazard ☐ Shoreland   |
| 14-403 Streets Review               | ☐ PAD Review  |  |
|                                     |   | Check Review Required:   |
| Zoning                              | Acreage of Site   | Proposed Building square Feet or # of Units Acrea  |
| ⊠ Residential fy) lot 1             | lding Addition ☐ Change Of Use ☐ Parking Lot ☐ Other (speci | Proposed Development (check all that apply): New Building Building Office Retail Manufacturing Warehouse/Distribution  10,400  |
|                                     | Assessor's Reference: Chart-Block-Lot                       | Applicant or Agent Daytime Telephone, Fax  |
|                                     | Address of Proposed Site 332-B-008                          | Consultant/Agent<br>799-5495   |
| 33                                  | 100 Tucker Ave, Portland Maine 04103                        | Afternoon of a comment of a com |
| Project Name/Description            | Project   | Applicant's Mailing Address  |
| Application Date Single family home | Application Single fam                                      | Applicant  |
| 199                                 | 12/27/199   | E. Lydon/Paul Vose   |

☐ Defect Guarantee Released

submitted date

amount

expiration date

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10 monstanded with & Buffer drawer of exserci
                                                                                                                                                                                                                                                                                                                                                                          From Yard - 25' Feg - 25 33.2' Shown (to outside of BAY & Low
Rear Yurd - 75 8 + 20' Feg - 25' + 20' + extra Show
                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 Proposed Use Work- Comostruct i family dwell
                                                                            # 19990 175
Shoreland Zoning/Stream Protection -
                                                                                                                                                                                                                                                                                                      Projections - Front Cantilovered Day - Front porch FeA & 12/12 Deck
                                                                                                                                                                                                                                                                                                                                            Side Yard- 14 1-4-15/2201+ Show
                                                                                                                                                                                                                                                                                                                                                                                                                              Loi Street Frontage - 50' Reg - 80' 8ho
                                                                                                                                                                                                                                                                                                                                                                                                                                                                  Servage Disposal - Ct
                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        Interior or corner lot-
                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            Zone Location - K-Z
                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              Date - NEW
                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       Applicant: Uddon / Vose Inc
                                               Flood Plains - JAnd 4/ Zone C
                                                                                                         Site Plan - mmor/mmay
                                                                                                                                                                              Area per Family - 10,000 #
                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     Address: 100 Tucker Ave (6+41)
                                                                                                                                               Off-street Parking - 2529 - 2 Show
                                                                                                                                                                                                      Lot Coverage/Impervious Surface - 20% A 2076,6th max
                                                                                                                                                                                                                                                                     Height - 24mis Show - 35/max - shows 26' to ridge
                                                                                                                                 Loading Bays - NA
                                                                                                                                                                                                                                       Lot Area - 10,000 Rey - 10,383 + Show
                                                                                                                                                                                                                                                                                           Width of Lot - 80' (eg - 80' Show
                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          CHECK-LIST AGAINST ZONING ORDINANCE
                                                                               z
Z
                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            Date: 1/6/
                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  C-B-L: 332
                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         28×28
                                                                                                                                                                                                                                                                                                                                                                                                                                                                         12/x17/ feck
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# CITY OF PORTLAND, MAINE DEVELOPMENT REVIEW APPLICATION PLANNING DEPARTMENT PROCESSING FORM

19990175 I. D. Number

| Ownersting date                     | Amount  | or themittened plates                  |  |
|-------------------------------------|---|--|--|
|                                     | signature   | date                                   | ☐ Defect Guarantee Submitted   |
|                                     |   |  | ☐ Performance Guarantee Released   |
|                                     | <u>અં</u> ધાતામાં વ   | date                                   | Certificate Of Occupancy   |
| ,                                   | cimah   | date                                   |  |
|                                     |   | date                                   | Final Inspection   |
|                                     | ☐ Conditions (See Attached)   |  | Temporary Certificate of Occupancy   |
| signature                           | remaining balance   | date                                   |  |
|                                     |   | date                                   |  |
| ,                                   | amount  | date                                   |  |
| expiration date                     | amount  | are                                    | ☐ Inspection Fee Paid  |
|                                     |   |  | Performance Guarantee Accepted   |
|                                     | litted as indicated below   | performance guarantee has been subm    | * No building permit may be issued until a performance guarantee has been submitted as indicated below |
|                                     | ☐ Not Required  | ☐ Required*                            | Performance Guarantee  |
|                                     | 63  | signature date                         |  |
| Attached                            | Anna Anna Anna Anna Anna Anna Anna Anna                                       |  | Condition Compliance   |
| ☐ Additional Sheets                 | Extension to  | Approval Expiration                    | Approval Date  |
|                                     | □ Denied  | ☐ Approved w/Conditions see attached   | Approved   |
|                                     | Reviewer  | ţus:                                   | Inspections Approval Status:   |
| Date: 12/27/99                      | Engineer Review   | 00 Subdivision                         | Fees Paid: Site Plan \$300.00  |
| Other                               |   | ☐ Zoning Variance                      | ☐ Zoning Conditional I Use (ZBA/PB)  |
| □ DEP Local Certification           | ☐ HistoricPreservation  | Shoreland                              | ☐ Flood Hazard   |
| 14-403 Streets Review               | ☐ PAD Review  | Subdivision # of lots                  |  |
|                                     |   |  | Check Review Required:   |
| Zoning                              | tre   |  | Proposed Building square Feet or # of Units  |
| ☑ Residential ecify) lot 1          | ☐ Building Addition ☐ Change Of Use ☑ ibution ☐ Parking Lot ☒ Other (specify) | ☐ New Building ☐ Warehouse/Dist  10,40 | Proposed Development (check all that apply):  Office    Retail    Manufacturing  1494 sf               |
| .ot                                 | Assessor's Reference: Chart-Block-Lot   | *                                      | Applicant or Agent Daytime Telephone, Fax  |
|                                     | Address of Proposed Site 332-B-008  |  | Consultant/Agent<br>799-5495   |
| Project Name/Description e 04103    | Project i   |  | Abbucant a maint & vegicos   |
| Application Date Single family home | App   | 1107                                   | 183 Mitchell Rd, Cape Elizabeth, ME 04107  |
| 12/27/99                            | 12/   |  | LE. Lydon/Paul Vose  |
|                                     |   |  |  |