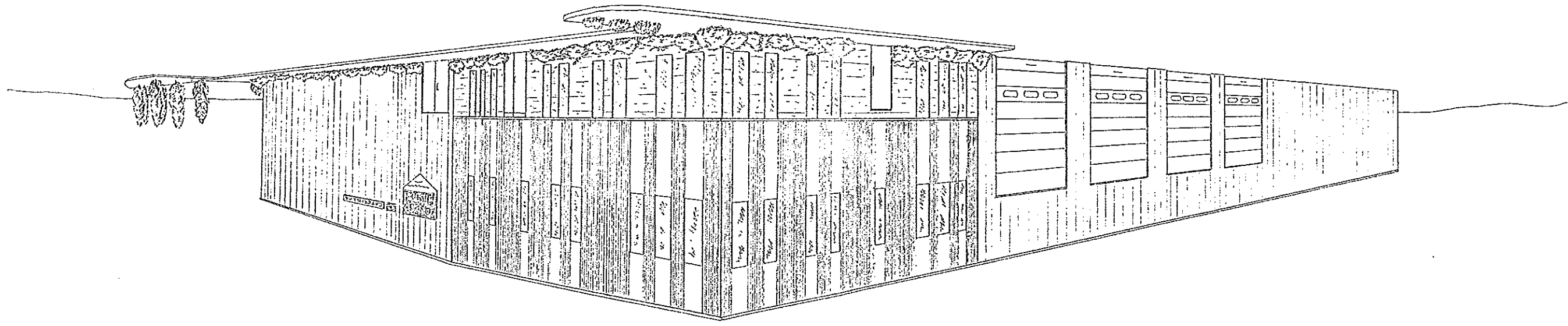


DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
JUL 25 2003

EXISTING BLDG.



DATE	REVISION
5-20-03	SUBMITTED FOR SITE PLAN REVIEW
	EST. NO.
	SIZE
	TYPE
	DRAWN BY PAH
	APPROVED BY
	SCALE
5-20-03	DATE

DRIPG DRYWAL ASSOC.
OLD JO RDAN MILTON-LOT #5
Mc ARISTEE FARM SUBDIVISION
PORTLAND, MAINE

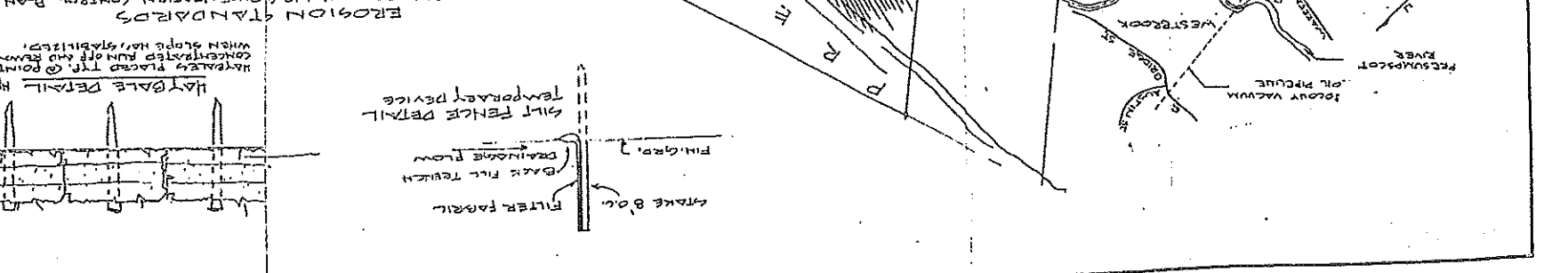
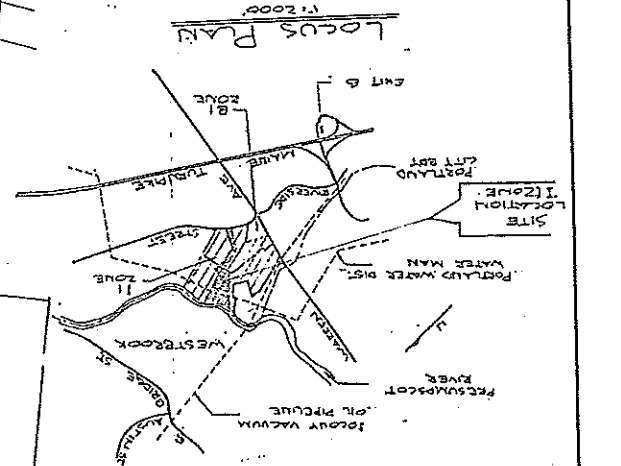
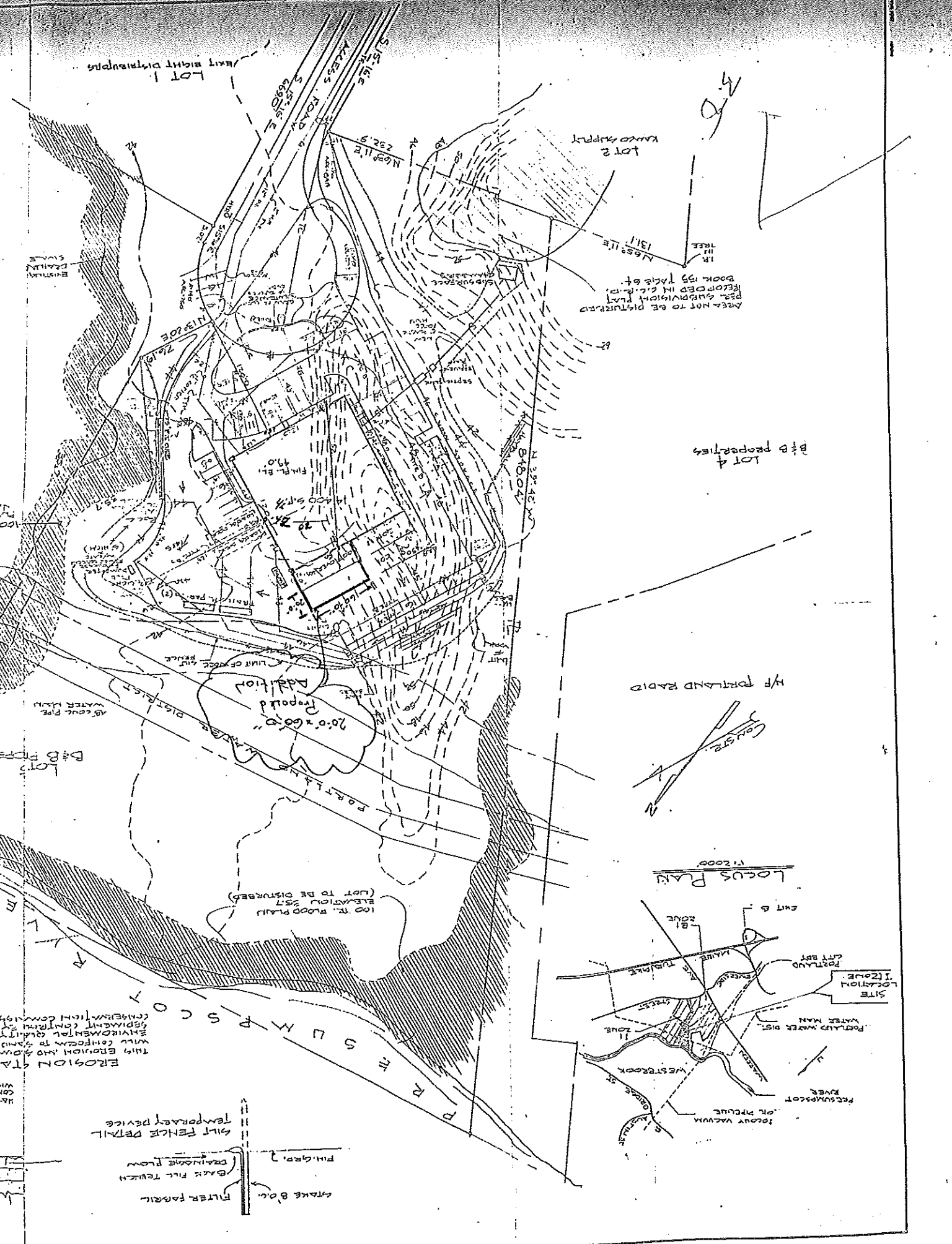
DWG. NO. 10
OF 10
RENDERING

JOB NO. NEW DESIGN DEWAR ASSOC. BLDG.		DATE 5-22-31	
LOT 5, MATLISTER FARM SUBDIVISION, RIVERSIDE STREET PORTLAND, MAINE		REVISION	
PROPOSED SITE PLAN		DATE	
APPROVED BY S.P.D.		SCALE 1"=50'	
DRAWN BY (R.P.)		DATE 7-24-31	
TYPE		REVISION	
SIZE		DATE	
EST. NO.		DATE	

DATE	REVISION
5-22-31	SUBMIT TO PLAN.
6-23-31	FIELD CONTROL POINTS ADDED, DIVISION TO BE.
6-23-31	REVISIONS TO PLAN.
6-23-31	ADD FOUNDATION & APPROVAL CONT. BY S.P.D.
6-23-31	DATE FILING THE PLAN FOR APPROVAL.
6-23-31	PLANNING NO. 2020.
6-23-31	PLANNING NO. 2020.

SYMBOL	DESCRIPTION
(---)	EXISTING CONTOUR
(---)	PROPOSED CONTOUR
(---)	PROPOSED NEW FIRE HYDRANT
(---)	OVERHEAD TELEPHONE & ELECTRICAL
(---)	UNDERGROUND TEL & ELEC.
(---)	WATER
(---)	END USE: WATER AS DRAINAGE
(---)	EQUIPMENT GRAVITY
(---)	PAVING (TYPICAL AND
(---)	LAND MARK EXTENSION
(---)	CMD BOUNDARY WITH ADJACENT
(---)	SYSTEM WITH A TYPICAL
(---)	PROPOSED (1/2" FINISH & 2" FINISH)
(---)	PROPOSED (1/2" FINISH & 2" FINISH)
(---)	PROPOSED (1/2" FINISH & 2" FINISH)
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(---)	EQUIPMENT GRAVITY
(---)	PAVING (TYPICAL AND
(---)	LAND MARK EXTENSION
(---)	CMD BOUNDARY WITH ADJACENT
(---)	SYSTEM WITH A TYPICAL
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(---)	PROPOSED (1/2" FINISH & 2" FINISH)



OWNER: JORDAN MILTON HANDLING SYSTEMS SO, PORTLAND, MAINE

DESIGNER: THE STEWART CORP. 80, PORTLAND, MAINE

AREA OF LOT: 6.5 AC

LOT ZONE: II INDUSTRIAL

NOTES:

100 FT. FLOOD PLAIN (NOT TO BE DISTURBED) ELEVATION 257

250' SHORELAND ZONE TO BE MAINTAINED PER STATE OF MAINE REGULATIONS FOR PORTLAND, MAINE

100 YEAR FLOOD MAIN ELEV. 257 (NOT TO BE DISTURBED)

LOT 4

LOT 5

LOT 6

LOT 7

200 WILDLIFE ZONE

PAVING (TYPICAL)

TYPE "A" FINISH

TYPE "B" FINISH

TYPE "C" FINISH

18" GRAVEL

PAVING (TYPICAL)

TYPE "A" FINISH

1/2" FINISH COURSE

18" GRAVEL

PAVING (TYPICAL)

TYPE "B" FINISH

2" TYPE "B" FINISH

18" GRAVEL

PAVING (TYPICAL)

TYPE "C" FINISH

2" TYPE "C" FINISH

18" GRAVEL

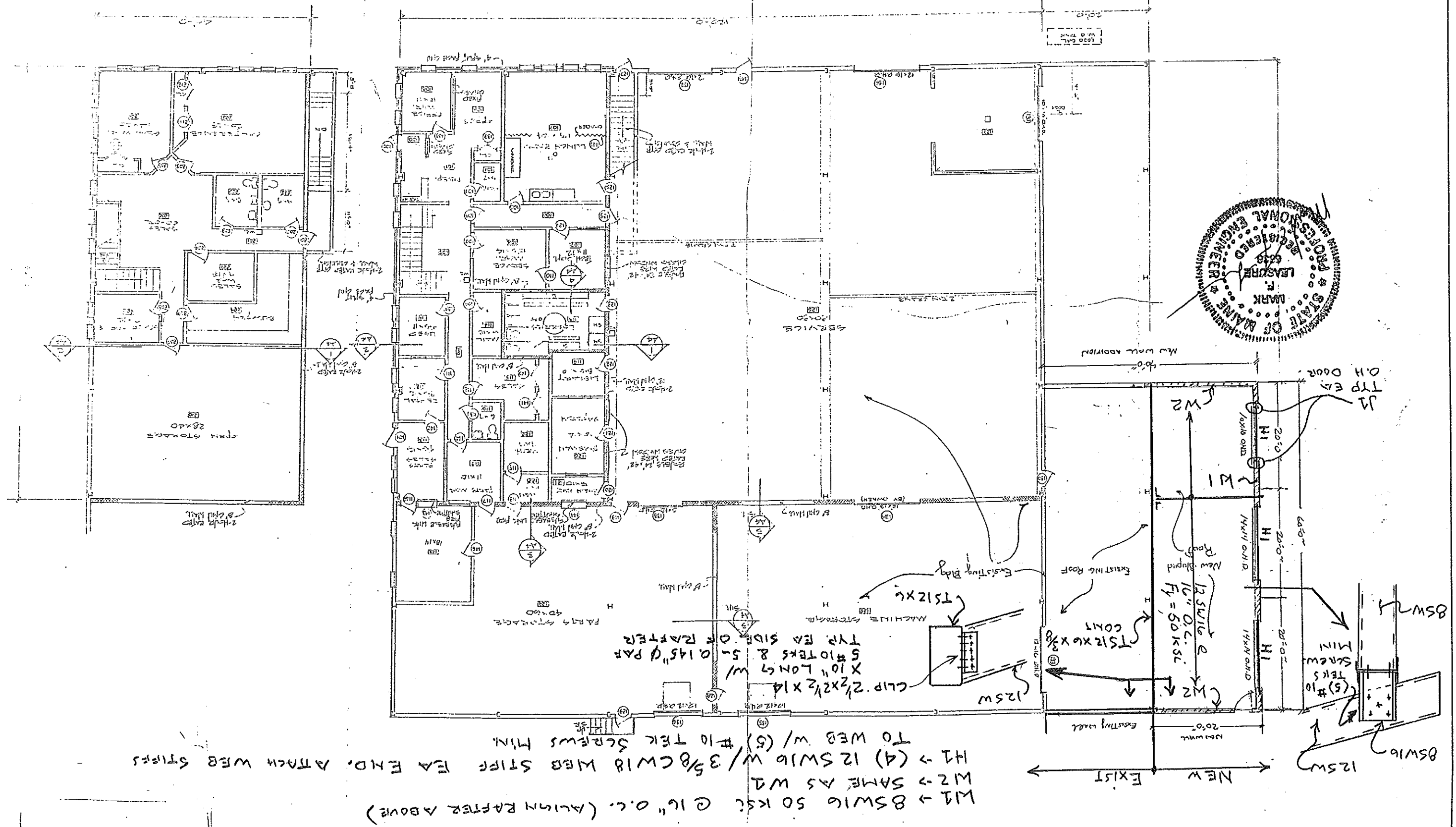
PAVING (TYPICAL)

REV 1
A 1 7-25-03

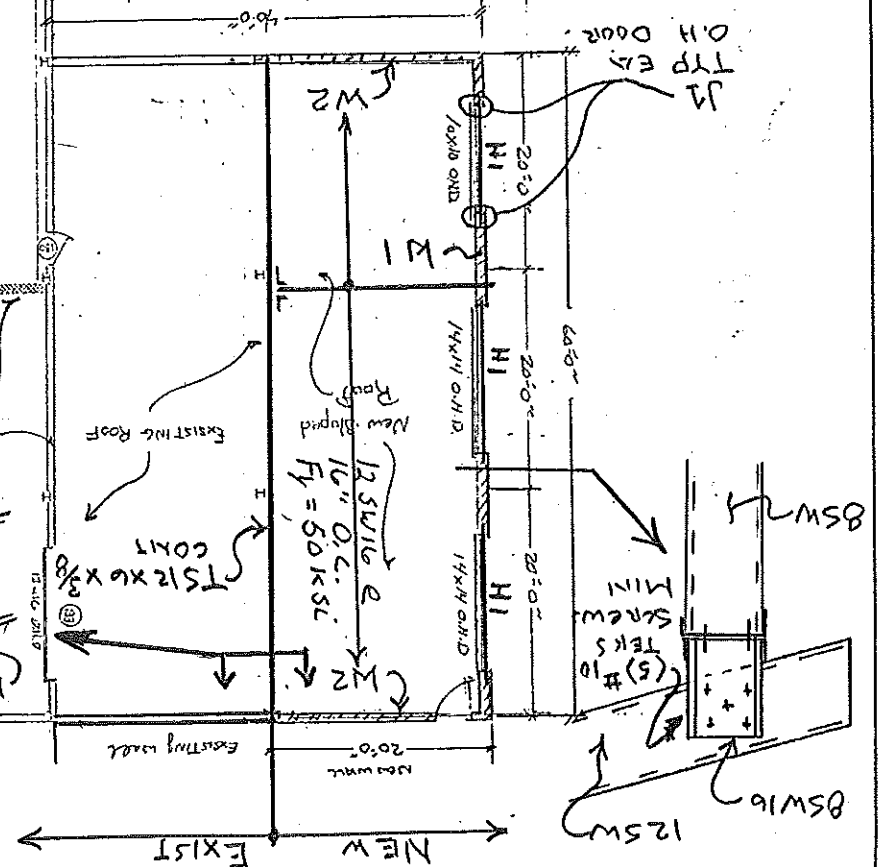
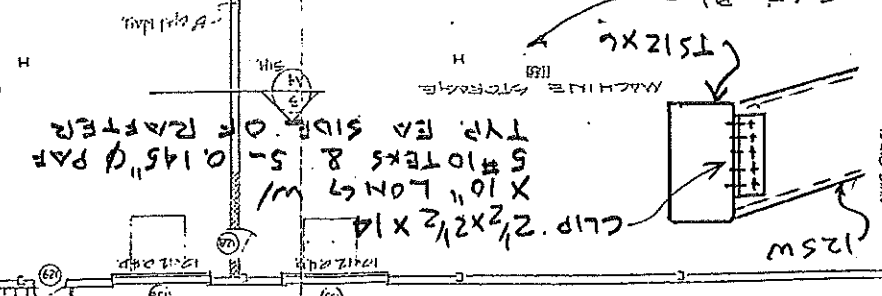
Dirigo Drywall Assoc
(c/o JORDAN MITTON)
PORTLAND, MAINE

DATE	REVISION
2 JUN 88	GENERAL REVISIONS
1-4-79	DRAWN BY P. S. P. (P. S. P.)
	APPROVED BY
	SCALE 1/8" = 1'-0"
	DATE 5-24-79

J1 → (4) 8 SWIG CONT W / (3) 8TIG + (2) 8 SWIG JACK STUDS TIED W / (2) 8TIG TRACKS. PROVIDE FULL BRACING ON JACK STUDS.



W1 → 8 SWIG 50 KSI @ 16" O.C. (ALIGN RAFTER ABOVE)
 W2 → SAME AS W1
 H1 → (4) 12 SWIG W / 3 8 CWB WEB STIFF EA END. ATTACH WEB STIFFS TO WEB W / (5) #10 TEK SCREWS MIN.



DATE	REVISION
5-18-81	SUBMITTED FOR SITE PLAN REVIEW
6-22-83	SUBMITTED TO DEP
6-23-83	REWORKED LOTS - SUBMITTED TO DEP
EST. NO.	EST. NO.
TYPE	TYPE
DRAWN BY	APPROVED BY
SCALE	SCALE
DATE 5-19-88	DATE 5-19-88

100 NO. JORDAN MILTON - LOT 4.1
 McALISTER FARM SUBDIVISION
 PORTLAND, MAINE

EXTERIOR ELEVATIONS

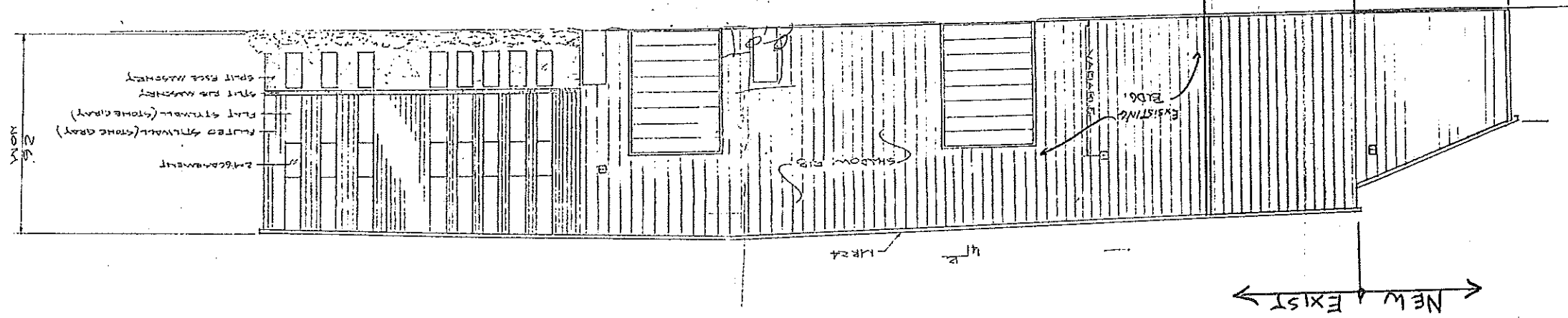
A2 OF

SEP 23 1988

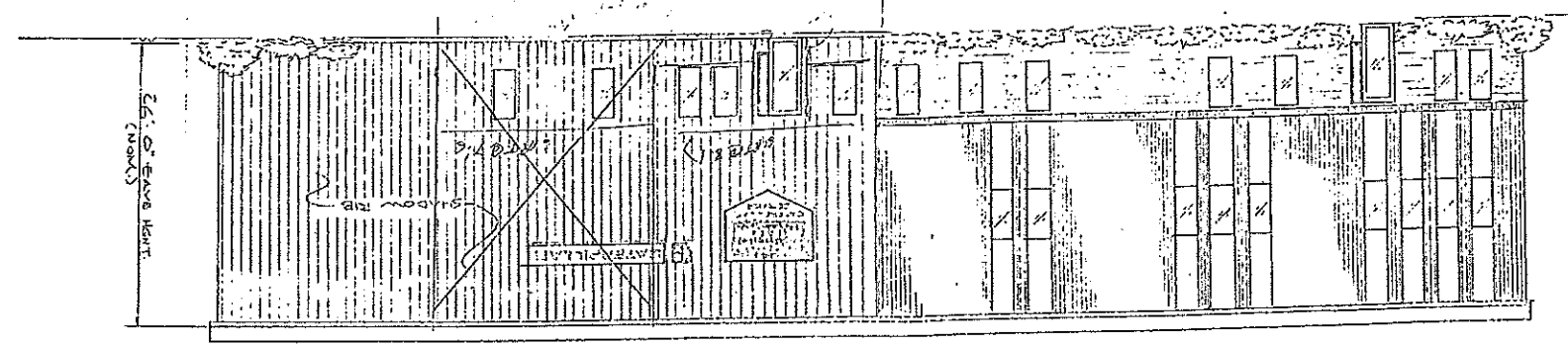
Dirigo Driveway Assoc.



SOUTH ELEVATION



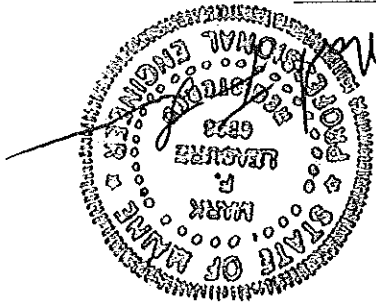
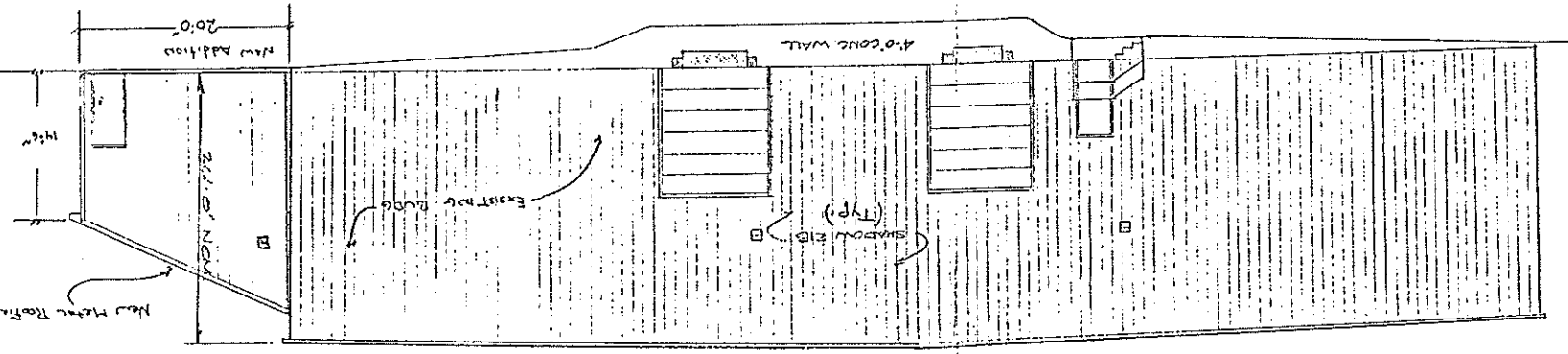
Existing EAST ELEVATION



DATE	REVISION	EST. NO.	2-15-88	SUBMITTED FOR SITE PLAN REVIEW
		SIZE		
		TYPE		
		DRAWN BY	VMC	
		APPROVED BY	SFD	
		SCALE	8"=1'-0"	
		DATE	9-13-88	
JOB NO.	104	JORDAN MILTON Lot 4A		
DWG NO.	A3	McAUSTEE FARM SUBDIVISION PORTLAND, MAINE		
		North & West Elevations		
		of		

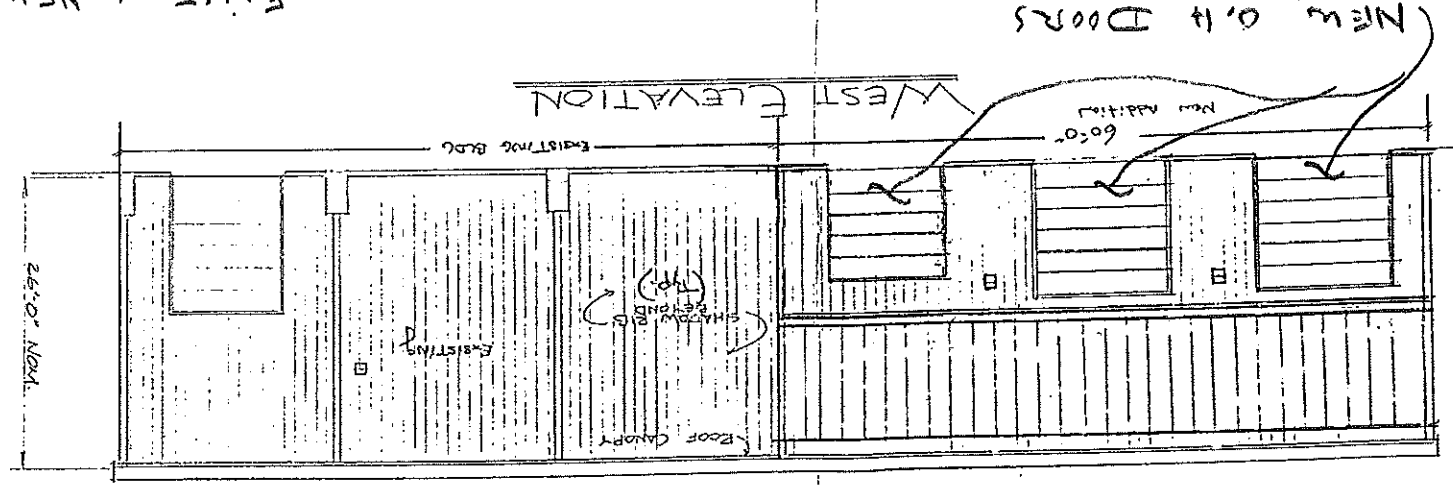
DIRIGO Drywall Assoc
SEP 28 1988

NORTH ELEVATION



← EXIST →
← NEW →

WEST ELEVATION



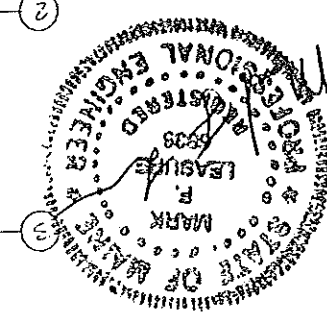
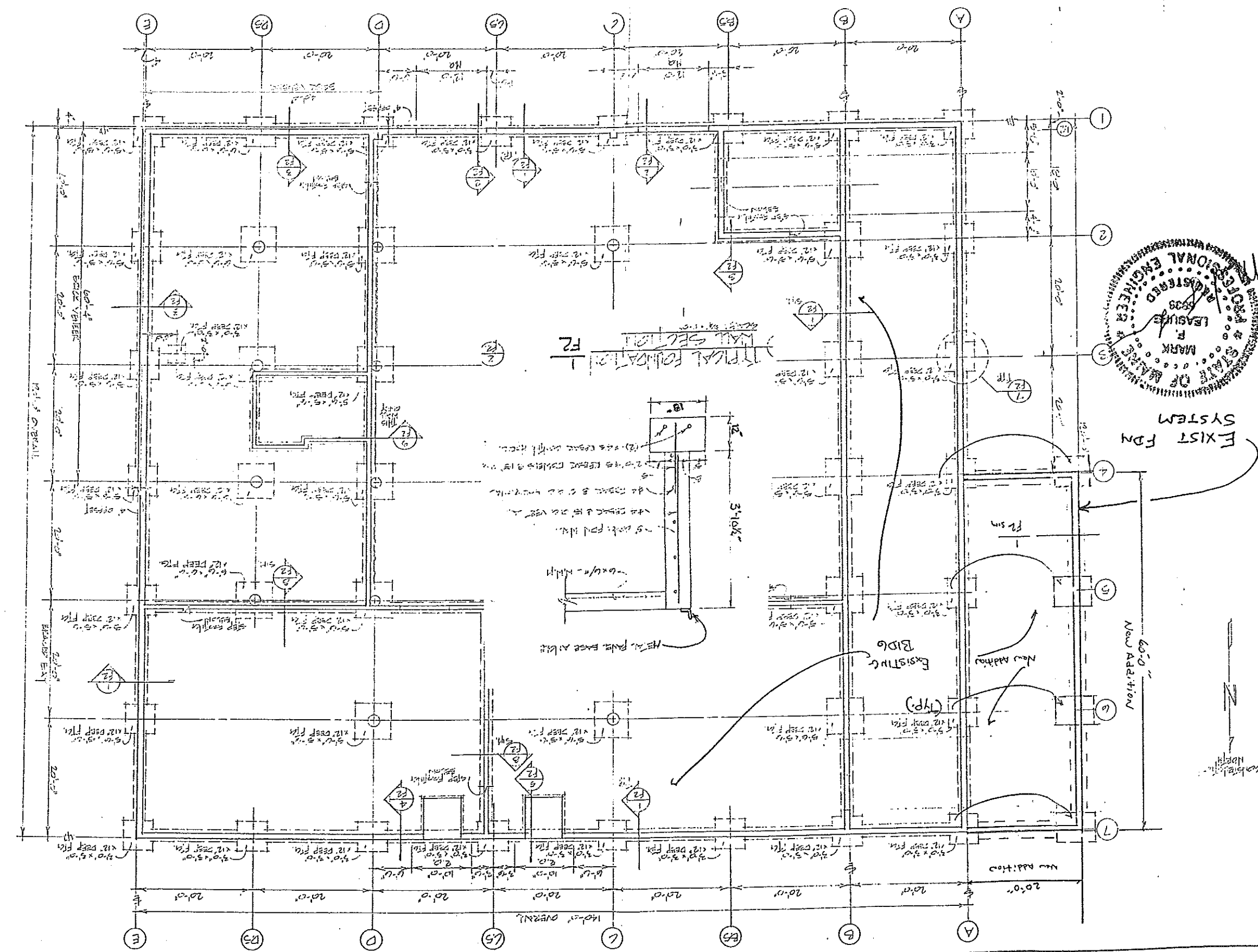
JORDAN MILTON
 RIVERSIDE FARM SUBDIVISION
 LOT 6, MAALISTER STREET, PORTLAND, MAINE

JOB NO. 0806
 DWG. NO. F 1

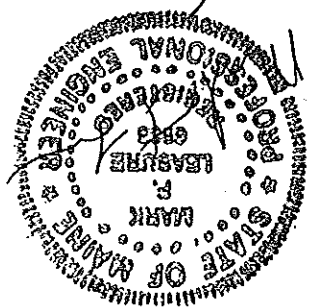
DATE	REVISION
11-15-12	1.4 (1) ISSUED FOR PERMIT
12-12-12	1.5 (1) REVISED FOR PERMIT
12-12-12	1.6 (1) REVISED FOR PERMIT
12-12-12	1.7 (1) REVISED FOR PERMIT
12-12-12	1.8 (1) REVISED FOR PERMIT
12-12-12	1.9 (1) REVISED FOR PERMIT
12-12-12	2.0 (1) REVISED FOR PERMIT
12-12-12	2.1 (1) REVISED FOR PERMIT
12-12-12	2.2 (1) REVISED FOR PERMIT
12-12-12	2.3 (1) REVISED FOR PERMIT
12-12-12	2.4 (1) REVISED FOR PERMIT
12-12-12	2.5 (1) REVISED FOR PERMIT
12-12-12	2.6 (1) REVISED FOR PERMIT
12-12-12	2.7 (1) REVISED FOR PERMIT
12-12-12	2.8 (1) REVISED FOR PERMIT
12-12-12	2.9 (1) REVISED FOR PERMIT
12-12-12	3.0 (1) REVISED FOR PERMIT

COLLECTIVE NOTES

1. Foundation & slab concrete to be 3000 psi @ 28 day.
2. All exterior walls to be 8" concrete masonry with 1/2" steel reinforcement.
3. All interior walls to be 8" concrete masonry with 1/2" steel reinforcement.
4. All exterior doors to be 1 1/2" thick solid core doors.
5. All exterior windows to be 1/2" thick solid core windows.
6. All exterior doors to be 1 1/2" thick solid core doors.
7. All exterior windows to be 1/2" thick solid core windows.
8. All exterior doors to be 1 1/2" thick solid core doors.
9. All exterior windows to be 1/2" thick solid core windows.
10. All exterior doors to be 1 1/2" thick solid core doors.
11. All exterior windows to be 1/2" thick solid core windows.
12. All exterior doors to be 1 1/2" thick solid core doors.
13. All exterior windows to be 1/2" thick solid core windows.
14. All exterior doors to be 1 1/2" thick solid core doors.
15. All exterior windows to be 1/2" thick solid core windows.
16. All exterior doors to be 1 1/2" thick solid core doors.
17. All exterior windows to be 1/2" thick solid core windows.
18. All exterior doors to be 1 1/2" thick solid core doors.
19. All exterior windows to be 1/2" thick solid core windows.
20. All exterior doors to be 1 1/2" thick solid core doors.



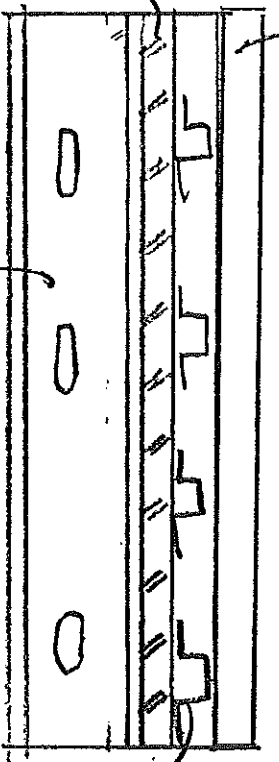
Dirigo Drywall
1 McAlister Farm Rd
Map 319, Lot A-2
7/8" 18g girts 24" c



FOR SK-1,2,3

8" stud 16" c

1/2" exterior sheathing (gyp)



New Wall

New Metal Siding to match existing

Existing Metal Siding

EXISTING WALL

COMMERCIAL BATT

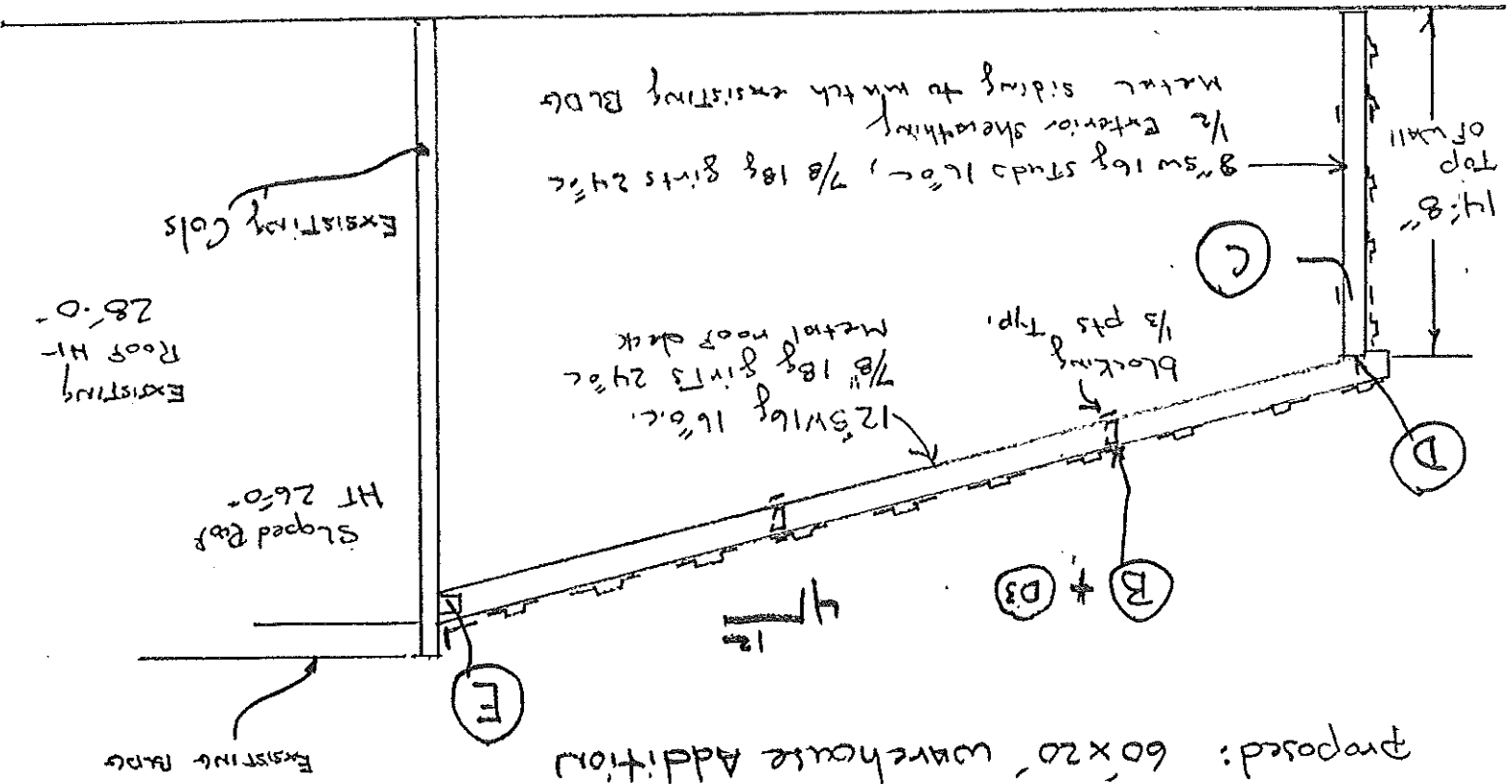
MTR. 3106 girts 4" c

SK-1

6-25-03

Name: Dirigo Drywall Assoc.
1 McAlister Farm Rd
Map 319, Lot A2

Proposed: 60x20' Warehouse Addition



EXISTING ROOF HT 28'-0"

Sloped Roof HT 26'-0"

EXISTING COLS

8" SW 16g studs 16" c, 7/8 18g girts 24" c
1/2 exterior sheathing
New metal siding to match existing BRDG

12" SW 16g 16" c
7/8 18g girts 24" c
Metal roof deck

1/3 pts top

B + D3

4" 1/2

E

EXISTING BRDG

EXISTING METAL ROOF ABOVE

NEW SLOPED ROOF ABOVE

shear wall

Roof Plan

A

Shear wall see

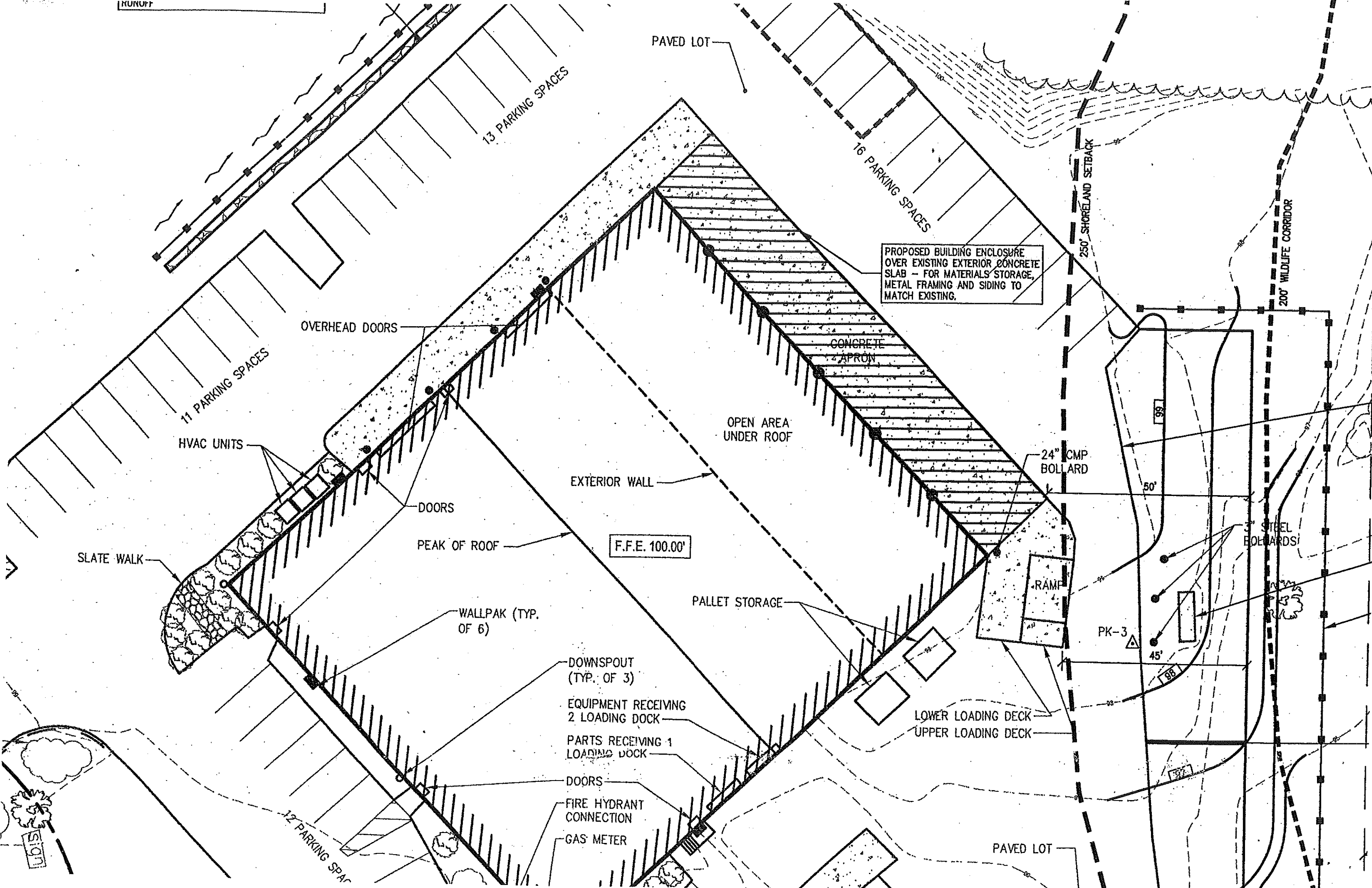
EXISTING METAL ROOF ABOVE

NEW SLOPED ROOF ABOVE

60'-0"

20'-0"

RUNOFF



13 PARKING SPACES

PAVED LOT

16 PARKING SPACES

PROPOSED BUILDING ENCLOSURE OVER EXISTING EXTERIOR CONCRETE SLAB - FOR MATERIALS STORAGE, METAL FRAMING AND SIDING TO MATCH EXISTING.

OVERHEAD DOORS

CONCRETE APRON

OPEN AREA UNDER ROOF

11 PARKING SPACES

H.V.A.C. UNITS

EXTERIOR WALL

24" CMP BOLLARD

DOORS

PEAK OF ROOF

F.F.E. 100.00'

SLATE WALK

PALLET STORAGE

WALLPAK (TYP. OF 6)

RAMP

PK-3

DOWNSPOUT (TYP. OF 3)

EQUIPMENT RECEIVING 2 LOADING DOCK

PARTS RECEIVING 1 LOADING DOCK

DOORS

FIRE HYDRANT CONNECTION

GAS METER

LOWER LOADING DECK
UPPER LOADING DECK

3" STEEL BOLLARDS

250' SHORELAND SETBACK

200' WILDLIFE CORRIDOR

12 PARKING SPACES

PAVED LOT

