

PERMIT RECEIVED

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1289	Issue Date: DEC 01 2003	CBL: 318 A007001
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Location of Construction: 789 Warren Ave	Owner Name: Kevin Bosworth	Owner Address: 789 Warren Avenue	Phone: 828-0110
Business Name: Dahlgren Construction, Inc.	Contractor Name: Dahlgren Construction, Inc.	Contractor Address: 412 US Route 1 Yarmouth	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: Additions - Commercial	Zone: IM

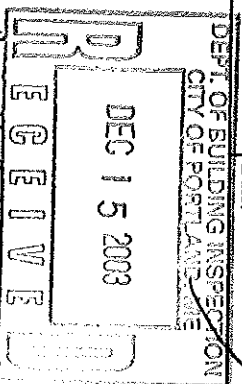
Past Use: Arbor Care Landscape/Commercial	Proposed Use: Arbor Care Landscape/Commercial	Permit Fee: \$285.00	Cost of Work: \$20,500.00	CEO District: 1
Proposed Project Description: 22' x 30' Addition to Existing 40' x 70' Metal Garage 32'6" x 30'	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: S1 Type: 2B	Signature: <i>[Signature]</i>	Date: 11/26/03

Permit Taken By: gad	Date Applied For: 10/20/2003	Zoning Approval	
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.		<input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied
2. Building permits do not include plumbing, septic or electrical work.		<input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision	<input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.		<input checked="" type="checkbox"/> Site Plan <input type="checkbox"/> Major <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MAM	<input type="checkbox"/> Denied <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.



SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK	TITLE	DATE	PHONE

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

September 26, 2003

Mr. Kevin Bosworth
Arbor Care and Landscape
789 Warren Avenue
Portland, ME 04103

RE: Arbor Care and Landscape Expansion, 789 Warren Avenue
ID #2003-0133, CBL #318-A-007

Dear Mr. Bosworth:

On September 24, 2003, the Portland Planning Authority granted minor site plan approval for the 675 sq. ft. expansion proposed at 789 Warren Avenue, as shown on the approved site plan with the following condition:

1. The applicant shall submit evidence of financial and technical capability to undertake and complete the development including a letter from a responsible financial institution stating that is has reviewed the planned development and would seriously consider financing it when approved.

Where submission drawings are available in electronic form, the applicant shall submit any available electronic CADD.DXF files with seven sets of final plans.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one-year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.
2. A performance guarantee in a form acceptable to the City of Portland and an inspection fee equal to 2.0% of the performance guarantee will have to be posted before beginning any site construction or issuance of a building permit.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.

4. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
6. Where submission drawings are available in electronic form, the applicant shall submit any available electronic CADD/DXF files with seven sets of final plans.
7. The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please note that no Certificates of Occupancy will be issued until all site improvements have been completed and inspected in the field by the Development Review Coordinator.

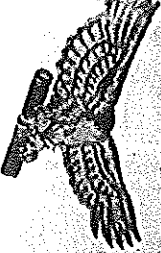
If there are any questions, please contact Kandice Talbot at 874-8901.

Sincerely,



Alexander Jaegerman
Planning Division Director

cc: Lee D. Urban, Planning and Development Department Director
Sarah Hopkins, Development Review Program Manager
Kandice Talbot, Planner
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Michael Bobinsky, Public Works Director
✓Karen Dunfee, Inspections
Larry Ash, Traffic Engineer
Tony Lombardo, Project Engineer
Eric Labelle, City Engineer
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Lt Gaylen McDougall, Fire Prevention
Don Hall, Appraiser, Assessor's Office
Approval Letter File
Correspondence File
Mr. Stephen Bushey, P.E., Senior Engineer, DeLuca-Hoffman Associates, Inc., 778 Main Street,
Suite 8, South Portland, ME 04106



Elite Inspection Services, Inc.

220 INDUSTRIAL WAY UNIT 1
PORTLAND, MAINE 04103

TELEPHONE: (207)797-2496
FAX: (207)797-2284

Permit # 03-1989 CBI 318 A 7

VISUAL INSPECTION REPORT

CUSTOMER: ARBOR CARE JOB No. _____ CUSTOMER PO No. _____ DATE: 3-26-04
JOB LOCATION: PORTLAND, ME DRAWING No. _____ EISI WORK ORDER 140-04-VT
WELD PROCEDURE SPECIFICATION: AWS D.1 PROCESS: SAW STRUCTURE: BLD. ADDITION ACCEPTANCE CRITERIA: AWS D.1, 1

IDENTIFICATION AND/OR PART No.	FINAL VISUAL										REMARKS						
	ACCEPT	REJECT	FITUP	ALIGNMENT	CLEANLINESS	PREHEAT	ACCEPT	REJECT	SIZE	LENGTH		PROFILE	POROSITY	UNDERCUT	OVERLAP	SLAG	WELDER ID.
																	REMARKS Final Inspection AREA A-C # 1-3
																	ANCHOR BOLTS - COMPLETE AND acceptable
																	A325 BOLTED CONNECTIONS - complete AND acceptable
																	FULL-PEN ALIGNMENT CONNECTIONS - complete AND acceptable
																	ALL WORK MEETS AWS D1.1, DRAWINGS, AND AISC Requirements

TECHNICIAN Michael D. LEVEL _____

WE ACCEPT NO RESPONSIBILITY OF ANY KIND DUE TO OUR INTERPRETATION OF THE MATERIAL.

AMS QC 1
MICHAEL M. BREWER
99050211

CITY OF PORTLAND, ME
BUILDING INSPECTION
APR 14 2004
M. A. W. G. E. T. E.

FIELD SHOP AND LABORATORY SERVICES IN
RADIOGRAPHY * MAGNETIC PARTICLE INSPECTION * PENETRANT INSPECTION * VISUAL INSPECTION * TENSILE TEST
WELDING PROCEDURE QUALIFICATION * WELDER QUALIFICATION * FILM INTERPRETATION * QA-QC OVERVIEW

**FEDERAL EMERGENCY MANAGEMENT AGENCY
NATIONAL FLOOD INSURANCE PROGRAM
ELEVATION CERTIFICATE**

O.M.B. No. 3067-0077
Expires December 31, 2005

Important: Read the instructions on pages 1 - 7.

SECTION A - PROPERTY OWNER INFORMATION		For Insurance Company Use:	
BUILDING OWNER'S NAME Artorcate & Landscaping / Kevin Bosworth		Policy Number	
BUILDING STREET ADDRESS (Including Apt. Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO. 789 R Warren Avenue		Company NAIC Number	
CITY Portland	STATE ME	ZIP CODE 04103	

PROPERTY DESCRIPTION (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)
318A-007

BUILDING USE (e.g., Residential, Non-Residential, Addition, Accessory, etc. Use a Comments area, if necessary.)
None - residential

LATITUDE/LONGITUDE (OPTIONAL) (###-##-### or ##-####)
HORIZONTAL DATUM: NAD 1927 NAD 1983

SOURCE: GPS (Type): _____
 USGS Quad Map Other: _____

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP COMMUNITY NAME & COMMUNITY NUMBER Portland, Maine - 230051	B2. COUNTY NAME Cumberland	B3. STATE ME			
B4. MAP AND PANEL NUMBER 230051 0006	B5. SUFFIX C	B6. FIRM INDEX DATE 12/0898	B7. FIRM PANEL EFFECTIVE/REVISED DATE 12/0898	B8. FLOOD ZONE(S) AE	B9. BASE FLOOD ELEVATION(S) (Zone AO, use depth of flooding) 35

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in B9.
 FFS Profile FIRM Community Determined Other (Describe): _____
 NAVD 1988 Other (Describe): _____

B11. Indicate the elevation datum used for the BFE in B9: NGVD 1929 NAVD 1988 Other (Describe): _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No Designation Date _____

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

C2. Building Diagram Number 1 (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)

C3. Elevators - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, ARIA, ARIA/E, ARIA1-A30, ARIA/H, ARIA/O
 Complete Items C3-1 below according to the building diagram specified in Item C2. State the datum used. If the datum is different from the datum used for the BFE in Section B, convert the datum to that used for the BFE. Show field measurements and datum conversion calculation. Use the space provided or the Comments area of Section D or Section G, as appropriate, to document the datum conversion.
 Datum NAVD88 Conversion/Comments Used Consson VA.11

Elevation reference mark used _____ Does the elevation reference mark used appear on the FIRM? Yes No

a) Top of bottom floor (including basement or enclosure) 38 ft.(m)
 b) Top of next higher floor _____ ft.(m)
 c) Bottom of lowest horizontal structural member (V zones only) _____ ft.(m)
 d) Attached garage (top of slab) _____ ft.(m)
 e) Lowest elevation of machinery and/or equipment servicing the building (Describe in a Comments area) _____ ft.(m)
 f) Lowest adjacent (finished) grade (LAG) 37.4 ft.(m)
 g) Highest adjacent (finished) grade (HAG) 37.1 ft.(m)
 h) No. of permanent openings (flood vents) within 1 ft. above adjacent grade _____
 i) Total area of all permanent openings (flood vents) in C3.h _____ sq. in. (sq. cm)

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information in Sections A, B, and C on this certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

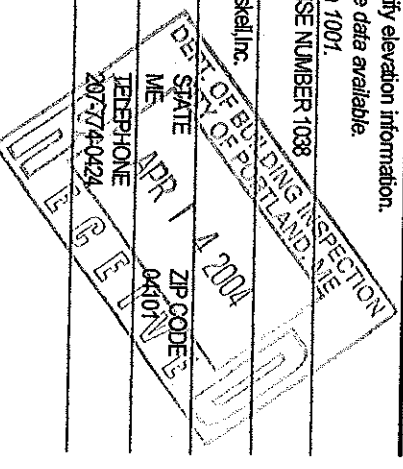
CERTIFIER'S NAME John W. Swan LICENSE NUMBER 1038

License Number, Embossed Seal, Signature, and Date

TITLE Professional Land Surveyor COMPANY NAME Owen Haskell, Inc.

ADDRESS 16 Casco Street CITY Portland

SIGNATURE DATE 04/05/04



IMPORTANT: In these spaces, copy the corresponding information from Section A			For Insurance Company/Use
BUILDING STREET ADDRESS (including Apt, Unit, Suite and/or Bldg. No.) OR P.O. ROUTE AND BOX NO. 789 R. Warren Avenue			Policy Number
CITY Portland	STATE ME	ZIP CODE 04103	Company NAIC Number

SECTION D - SURVEYOR, ENGINEER OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

COMMENTS

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zone AO and Zone A (without BFE), complete items E1 through E4. If the Elevation Certificate is intended for use as supporting information for a LOMA or LOMRF, Section C must be completed.

- E1. Building Diagram Number ___ (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)
- E2. The top of the bottom floor (including basement or enclosure) of the building is ___ ft.(m) ___ in.(cm) above or below (check one) the highest adjacent grade. (Use natural grade, if available).
- E3. For Building Diagrams 6-8 with openings (see page 7), the next higher floor or elevated floor (elevation b) of the building is ___ ft.(m) ___ in.(cm) above the highest adjacent grade. Complete items C3.h and C3.i on front of form.
- E4. The top of the platform of machinery and/or equipment servicing the building is ___ ft.(m) ___ in.(cm) above or below (check one) the highest adjacent grade. (Use natural grade, if available).
- E5. For Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?
 Yes No Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, C (Items C3.h and C3.i only), and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, C, and E are correct to the best of my knowledge.*

PROPERTY OWNERS OR OWNERS AUTHORIZED REPRESENTATIVE'S NAME

ADDRESS _____ CITY _____ STATE _____ ZIP CODE _____

SIGNATURE _____ DATE _____ TELEPHONE _____

COMMENTS

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

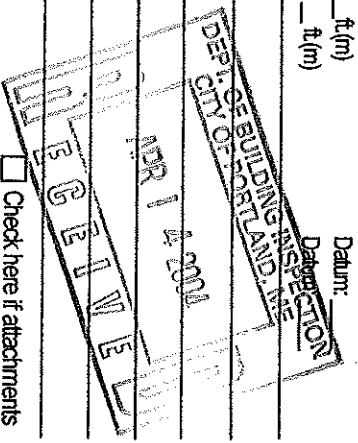
The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below.

- G1. The information in Section C was taken from other documentation that has been signed and embossed by a licensed surveyor, engineer, or architect who is authorized by state or local law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. PERMIT NUMBER	G5. DATE PERMIT ISSUED	G6. DATE CERTIFICATE OF COMPLIANCE/OCCUPANCY ISSUED
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- G7. This permit has been issued for: New Construction Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building is: _____ ft.(m) Datum: _____ ft.(m)
- G9. BFE or (in Zone AO) depth of flooding at the building site is: _____ ft.(m)

LOCAL OFFICIAL'S NAME	TITLE
COMMUNITY NAME	TELEPHONE
SIGNATURE	DATE
COMMENTS	



Check here if attachments



allied engineering, inc.

Structural

Mechanical

Electrical

Technology

3/18/04

Kevin -

February 11, 2004

Mr. Kevin Bosworth
Arbor Care Tree & Landscaping
789 Warren Avenue
Portland, ME 04103

YOU LEFT A MESSAGE SAYING
YOU NEED MORE INFO TO
REISSUE PERMIT.
I NEED TO KNOW
WHAT YOU NEED.

RE: BUILDING ADDITION FOUNDA

Dear Kevin:

I have had the opportunity to discuss
and based on that conversation feel
drawings we developed for this additio
cast and have reviewed the preliminar
conformance with the contract documen

Please keep in mind that the steel conn
welds and bolt application. A report v
prior to receiving occupancy for this sp;

Thank you
Kevin Bosworth
789 Warren Ave
Portland, ME
C: 653-6339
D: 828-0110

Please let me know if I can be of furthe

Respectfully,
allied engineering, inc.
William P. Faucher, P.E.
Principal

M:\Projects\2003\03072 - Precision Welding - KamehArbor Care\20 Correspondence\Client - Owner\KBWF_02-11-04_tr.doc

3/1/04
OK TO COMMENCE + FINISH
STRUCTURE.

MIKE MCGENT



allied engineering, inc.

Structural

Mechanical

Electrical

Technology

February 11, 2004

Mr. Kevin Bosworth
Arbor Care Tree & Landscaping
789 Warren Avenue
Portland, ME 04103

RE: BUILDING ADDITION FOUNDATION

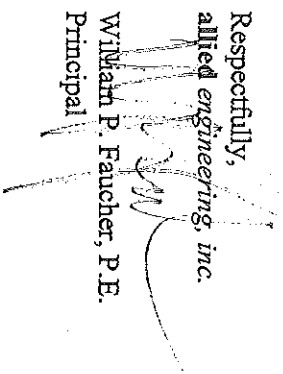
Dear Kevin:

I have had the opportunity to discuss the installation of the foundation with your foundation contractor and based on that conversation feel comfortable that he has adhered to the intent and content of the drawings we developed for this addition. I have also visited the property to review the condition of the cast and have reviewed the preliminary installation of the building frame. All appears to be headed for conformance with the contract documents.

Please keep in mind that the steel connections will need to be tested by someone like Elite for quality of welds and bolt application. A report will need to be submitted to AEI and to Mike Nugent at the City prior to receiving occupancy for this space.

Please let me know if I can be of further assistance.

Respectfully,
allied engineering, inc.


WILLIAM P. FAUCHER, P.E.
Principal

M:\Projects\2003\03072 - Precision Welding - Kennecott\Arbor Care\20 Correspondence\Client - Owner\KBW\F_02-11-04_1tr.doc

2/25/04
789 Warren

Needs

- ① Physical Copy of Manufacturer's elevation certificate
- ② Surveyor Certification of floor elevations
- ③ Attachment of Special Inspection for Steel
- ④ Design Report Attachment of Code Compliance for work performed w/0 brackets - of concrete form of steel erection

Inspection Services
Michael J. Nugent
Manager

Housing & Neighborhood Services
Mark Adelson
Director



CITY OF PORTLAND
STOP WORK NOTICE

December 17, 2003

Kevin Bosworth
789 Warren
Portland, ME 04103

RE: 789 Warren Ave.
CBL: 318 a007

CERTIFIED MAIL: #7001 2510 0003 2550 9602

Dear Mr. Bosworth:

An evaluation of the property at 789 Warren Ave. December 17, 2003 revealed that the structure fails to comply with Section 111.3 of the 1999 BOCA Building Code of the City of Portland.

Failure to comply with required inspection.

This is a **STOP WORK ORDER** pursuant to Section 117.1 of the 1999 BOCA Building Code. All construction activity at the above referenced property must **STOP** immediately.

Work already performed must be certified as code compliant & approved construction document complaint.

Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code and in Title 30-A M.R.S.A. Ss 4452.

This constitutes an appealable decision pursuant to Section 121.5 of the City of Portland Code of Ordinances. Please feel free to contact me at 874-8708, if you wish to discuss the matter or have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Kevin Carroll".

Kevin Carroll, Code Enforcement Officer
cc- Certified Mail, Dahlgren Construction Inc., 41 US Route 1, Yarmouth, ME

Inspection Services
Michael J. Nugent
Manager

Housing & Neighborhood Services
Mark Adelson
Director



CITY OF PORTLAND
STOP WORK NOTICE

December 17, 2003

Kevin Bosworth
789 Warren
Portland, ME 04103

RE: 789 Warren Ave.
CBL: 318 a007

CERTIFIED MAIL: #7001 2510 0003 2550 9602

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Sincerely,

Kevin Carroll, Code Enforcement Officer
cc- Certified Mail, Dahlgren Construction Inc., 41 US Route 1, Yarmouth, ME

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initialzing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

✓ Footing/Building Location Inspection:

Prior to pouring concrete

✓ Re-Bar Schedule Inspection:

Prior to pouring concrete

✓ Foundation Inspection:

Prior to placing ANY backfill

✓ Framing/Rough Plumbing/Electrical:

Prior to any insulating or drywalling

✓ Final/Certificate of Occupancy:

Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

↙ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

↙ CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of applicant/designee

Date

Signature of Inspections Official

Date

Signature of applicant/designee

Building Permit #:

03-1299

Signature of Inspections Official

Building Permit #:

03-1299

call
starting

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	03-1289	Date Applied For:	10/20/2003	CBI:	318 A007001
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Location of Construction:	789 Warren Ave	Owner Name:	Kevin Bosworth	Owner Address:	789 Warren Avenue	Phone:	() 828-0110
Business Name:		Contractor Name:	Dahlgren Construction, Inc.	Contractor Address:	412 US Route 1 Yarmouth	Phone:	
Lessee/Buyer's Name		Phone:		Permit Type:	Additions - Commercial		

Proposed Use:	Arbor Care Landscape/Commercial	Proposed Project Description:	22'6" x 30" Addition to Existing 40' x 70' Metal Garage
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 11/10/2003
Note: **Ok to Issue:**

- 1) All outside materials shall be protected from flooding by means of elevation of alternative methods. Please advise this office of means of protection.
- 2) The attached floodplain elevation certificate and floodplain application shall be completed and returned to the Code Enforcement Officer PRIOR to any occupancy permit. The first floor elevation leve is required to be a minimum ov 37 feet. Your plans show a first floor elevation of 37.36' is shown.
- 3) Separate permis shall be required for any new signage.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 11/26/2003
Note: **Ok to Issue:**

- 1) PART 1 Floodplain permit, Must have a registered land surveyor certify the floor elevation prior to the erection of steel.
- A statement of Special Inspections is required prior to the erection of steel.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Lt. MacDougal **Approval Date:** 10/23/2003
Note: **Ok to Issue:**

- 1) fire extinguishers shall be installed in accordance with NFPA 10 standards

Comments:
 11/14/2003-mjn: Left a message with the designer to indicate use group and type of construction, also special inspections of steel fasteners

PERMITS

PERMITS

PERMITS

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, if Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 031289

This is to certify that Kevin Bosworth/Dahlgren Construction has permission to 22' x 30' Addition to Existing 40' x 70' Metal Garage 03/27/2003 318 A007001
At 789 Warren Ave

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification and work in progress shall be posted in accordance with the provisions of the City of Portland. A permit shall not be issued or renewed unless a notice is required.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. W.M.
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

PENALTY FOR REMOVING THIS CARD

[Signature]
Director - Building & Inspection Services

03-1289

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

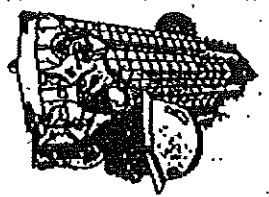
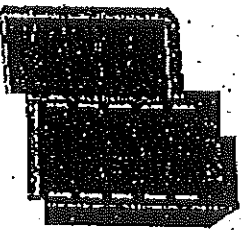
Location/Address of Construction: <u>789 WARREN AVE</u>	
Total Square Footage of Proposed Structure <u>67580 FT. Single Story Addition</u>	Square Footage of Lot <u>1.2 ACRES</u>
Tax Assessor's Chart, Block & Lot Chart# <u>318</u> Block# <u>A 009</u> Lot# <u>9</u>	Owner: <u>KEVIN BEAUBERTH</u> Telephone: <u>267-828-0110</u>
Lessee/Buyer's Name (if Applicable) <u>N/A</u>	
Applicant name, address & telephone: <u>789 WARREN AVE ROSTWAD, ME</u>	
Cost Of Work: \$ <u>20500</u> Fee: \$ <u>210.00</u>	
Current use: <u>Garage</u>	<u>Summer car</u>
If the location is currently vacant, what was prior use: <u>N/A</u>	
Approximately how long has it been vacant: _____	
Proposed use: <u>EXTRA STORAGE</u>	<u>22.5' X 30'</u>
Project description: <u>to expand garage</u>	
Contractor's name, address & telephone: <u>Call #</u>	
Who should we contact when the permit is ready: <u>KEVIN BEAUBERTH</u>	
Mailing address: <u>789 WARREN AVE</u>	
Who should we contact when the permit is ready: <u>KEVIN BEAUBERTH</u>	
Mailing address: <u>789 WARREN AVE</u>	
We will contact you by phone when the permit is ready. You must come to and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>828-0110</u>	

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT. WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Kevin Beaubert Date: 10/13/03

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



CITY OF PORTLAND
 BUILDING CODE CERTIFICATE
 389 Congress St., Rm 315
 Portland, ME 04101

TO: Inspector of Buildings City of Portland, Maine
 Department of Planning & Urban Development
 Division of Housing & Community Service

FROM: WALTER SAWYER-BALL ME

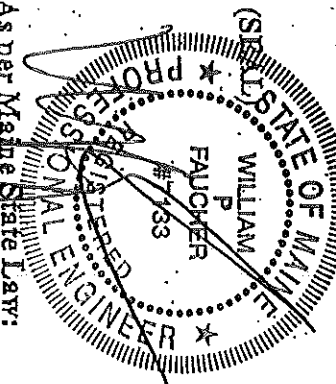
RE: Certificate of Design

DATE: 12-14-03

These plans and/or specifications covering construction work on:

Basement Addition 12x30'

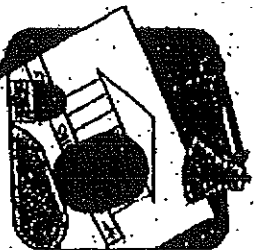
Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition; and local amendments.



Signature: [Signature]
 Title: Principal
 Firm: Atland Engineers Inc
 Address: 101 Westbrook Corporate
Westbrook ME 04092

As Per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



CITY OF PORTLAND MAINE

389 Congress St., Rm 315
Portland, ME 04101
Tel. - 207-874-8704
Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

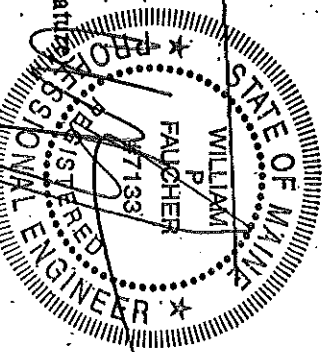
FROM DESIGNER: Allen Evansburg, LLC
ONE Westbrook Commons Westbrook ME 04092

DATE: 10/14/03
100 Ross Avenue Addition (20,000 sq ft)

Job Name: ARBOR LAKE BUSINESS ADDITION
Address of Construction: _____
THE BOCA NATIONAL BUILDING CODE/1999 FOURTEENTH EDITION
Construction project was designed according to the building code criteria listed below:

Building Code and Year: 1999 + Portland Supplement Bldg. Height: 15-1/2 FT. Bldg. Sq. Footage: 26,000 sq. ft.
Type of Construction: _____ Bldg. Height: _____ Group Class: I Reference: Category C
Seismic Zone: A_s = 0.10 A_s = 0.10 Group Class: _____
Roof Snow Load Per Sq. Ft.: 60 psf Dead Load Per Sq. Ft.: 20 psf
Basic Wind Speed (mph): 95 MPH Effective Velocity Pressure Per Sq. Ft.: _____
Floor Live Load Per Sq. Ft.: 60 psf 60 psf Alarm System? Yes _____ No X
Structure has full sprinkler system? Yes _____ No _____
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building? Yes _____ No X
If mixed use, what subsection of 313 is being considered _____
List Occupant loading for each room or space, designed into this Project.



(Designer's Stamp & Signature)

ALLIED.



CITY OF PORTLAND
ACCESSIBILITY CERTIFICATE

Designer: Allied Engineering Inc

Address of Project 789 WALLEN AVE. PORTLAND ME

Nature of Project Building Addition

Date 10-14-83

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

(SEAL) Signature William P Faucher

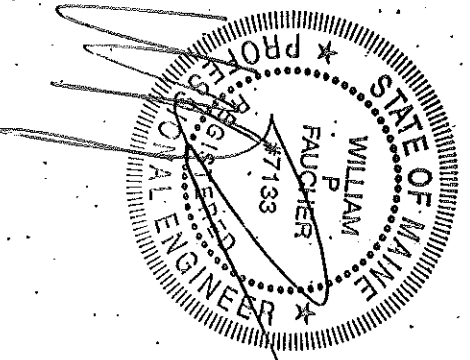
Title Principal

Firm Allied Engineering Inc

Address ONE WESTBROOK TOWNSHIRE

Westbrook ME 04092

Telephone 207-854-8122



COVER LETTER



ArborGene
TREE & LANDSCAPE
789 WARREN AVE
PORTLAND, ME 04103

DEAR SIRS

I AM PLANNING TO ADD A 28.5' X 30' ADDITION
TO MY EXISTING 40' X 70' METAL GARAGE BUILDING AT
789 WARREN AVE. THE SITE PLAN REVIEW IS COMPLETE
AND ^{THE} ENGINEERING HAS BEEN DONE. THE ADDITION IS FOR
STORAGE AND WILL NOT NEED ELECTRIC OR HEAT.
THIS CONCLUDES MY COVER, THANK YOU IN ADVANCE
FOR YOUR ASSISTANCE.

KEVIN BOSWORTH
OWNER
828-0110
CELL: 653-6339



Licensed Arborist & Landscape Supply Co.
789 Warren Avenue • Portland, ME 04103 • 207.828-0110



Applicant: Kevin Bosworth

Date: 11/10/03

Address: 709 W. Turner Ave

C-B.L.: 3/8-A-007

CHECK-LIST AGAINST ZONING ORDINANCE

031289

Date - Addition

Zone Location - I-M Zone

Interior or corner lot -

Proposed Use/Work - construction address 22.5' x 30' existing GRASS
Arboreal Landscaping/Construction

Sewage Disposal - Private

Lot Street Frontage - existing

Front Yard - 1ft for each 1ft of height - 18' req - 58' show

Rear Yard - 1ft for each 1ft of height up to 25' max - 30' scaled

Side Yard - 1ft for each 1ft of height up to 25' max - 62' & 178' scaled

Projections -

Width of Lot - N/A

Height - 75' max - 18' show

Lot Area - N/A 49,811

Lot Coverage (Impervious Surface) - 75% max
317,358, 25% max

Area per Family - N/A

Off-street Parking - 4 spaces req - 600 sq ft shown

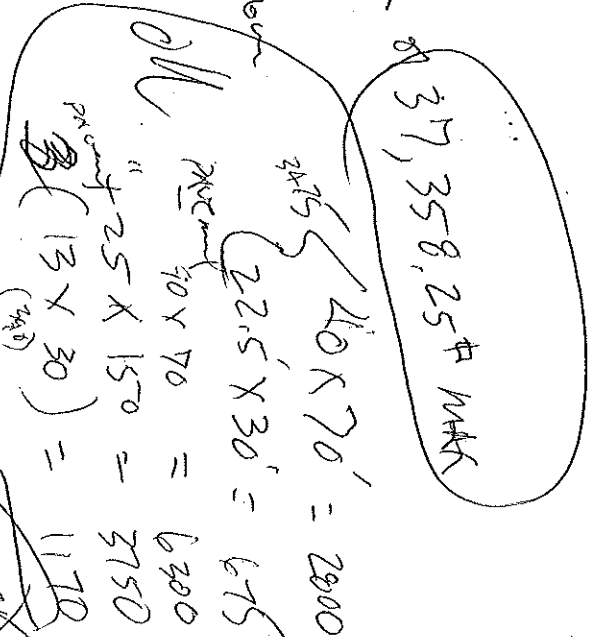
Loading Bays - 1 req Loading dock shown

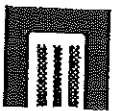
Site Plan - M.M.O.R # 2003-0133

Shoreland Zoning (Stream Protection) - N/A

Flood Plains - Panel 6 - Zone XE - el 35

Note: Storage shall also be elevated - subject to flood separate permits for sign





Ceco Building Systems

a Robertson Ceco company

P.O. DRAWER 2387, ROCKY MOUNT, NORTH CAROLINA 27802-2387

PHONE (252) 977-2131

August 31, 2000

Dahlgren Construction, Inc.
412 U.S. Route 1
Yarmouth, ME 04096

Attention: Chris Dahlgren

RE: Kevin Bosworth
Portland, ME
SS 40'-0"X70'-0"X11'-4"(LS) 2:12
CECO Work Order No. 99-B-68375

*General Steel -
1-888-Steel*

Gentlemen:

This is to certify that the referenced structure is designed to withstand the following loads in accordance with the order documentation and the 1999 edition of the BOCA National Building Code:

Live Load: 50 psf	Ground Snow Load: 60 psf
Collateral Load: 1.0 psf	Wind Load: 90 mph
Wind Exposure: C	
Seismic Coefficients: Aa = 0.10 and Av = 0.10	
Building Use Category: I - Normal Occupancy Building	

CECO Building Systems is an AISC certified Manufacturer and has designed the structural steel to comply with the applicable sections of the American Institute of Steel Construction (AISC), ninth edition, and the American Iron and Steel Institute (AISI), 1986 edition with the 1989 Addendum.

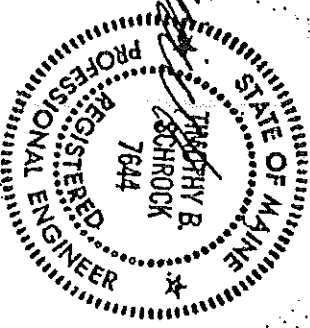
Reactions for the frames are shown on sheets included in the package with anchor bolt setting plans. No allowance is made for loads caused by anything other than the metal building by CECO Building Systems and the above stated loads.

This certification covers the structural design of the framing and covering parts that are manufactured and shipped by CECO Building Systems except accessories such as doors, windows, translucent panels, louvers and ventilators and is exclusive of other parts of the project such as foundations, masonry walls, mechanical equipment, and erection of the building. The building should be erected in accordance with the CECO Erection Manual and the referenced job number erection drawings on a properly designed foundation. If the foundation designer does not have the building frame reactions by CECO, he should request them from CECO Building Systems. The undersigned is not the Engineer of Record for the overall project. The contractor is to confirm that these loads comply with the requirements of the local building department.

Respectfully,

CECO Building Systems

Timothy B. Schrock
Timothy B. Schrock, P.E.



RECEIVED SEP 09 2000

~~See~~ ENforcement copy permit
- original copies sent with permit
to owner/contractor to complete & return
PROF to CD

FLOOD HAZARD DEVELOPMENT APPLICATION

PORTLAND, Maine

(All applicants must complete entire application)
[60.3(e)]

Application is hereby made for a Flood Hazard Development Permit as required under Article II of the Floodplain Management Ordinance of PORTLAND Maine, for development as defined in said ordinance. This permit application does not preclude the need for other municipal permit applications.

Owner: House Warrens Cal Company / Arboreae Landscaping
Address: 23 Hunt's Point Rd

Phone No.: _____ Address: Cape Elizabeth, ME 04107

Applicant: Kevin Bosworth Address: 789 Warren Ave

Phone No.: 653-6339 cell / 828-0110 Address: Portland, ME 04103

Contractor: Dahlgen Construction, Inc Address: 412 U.S. Route 1

Phone No.: _____ Address: Yarmouth, ME 04096

LEGAL DESCRIPTION

Is this part of a subdivision? Yes No If yes, give the name of the subdivision and lot number:

Subdivision: _____ Lot #: _____

Tax Map: 318-A-17 Lot #: 007

Address: 789 Rear Warren Ave

Zip Code: Portland, ME 04103

General explanation of proposed development: construct 22.5' x 30' addition to existing building

Estimated Value of Proposed Development: \$ 21,000

Proposed Lowest Floor elevation [for new or substantially improved structure]: 37.36' shown on subm. final plans

OTHER PERMITS

Are other permits required from State or Federal jurisdictions? Yes No
If yes, are these other permits attached? Yes No Not Applicable

Federal and State Permits may include but are not limited to: ME/DEP/Natural Resource Protection Act, Site Location of Development Act, Metallic Mineral Exploration, Advanced Exploration and Mining; USACE/Section 9 & 10 of the Rivers and Harbors Act/ Section 404 of the Clean Water Act; Federal Energy Regulation Commission.

SEWER AND WATER

Sewage Disposal: Public Private
 Existing Proposed Not Applicable Type _____

Water Supply: Public Private

Attach a Site Plan -- Drawn to scale with north arrow.

- Show property boundaries, floodway, and floodplain lines.
- Show dimensions of the lot.
- Show dimensions and location of existing and/or proposed development on the site.
- Show areas to be cut and filled.

Attach Statement -- describing in detail how each applicable development standard in Article VI will be met.

For New Construction or Substantial Improvement also show:

- Existing and proposed grade elevations adjacent to the walls of the structure done by a Professional Land Surveyor, Architect, or Engineer.
- Location and elevation of temporary elevation reference marks on the site.

Special Note:

Substantial Improvement is defined as any reconstruction, rehabilitation, addition or other improvement of a structure, the cost of which equals or exceeds 50 percent of the market value of the structure before the start of construction of the improvement. Please refer to the floodplain management ordinance, Article XIV, for more complete definitions of New Construction and Substantial Improvement.

Structures in Velocity Zones are not permitted on fill or excavations. Structures must be built on open foundation systems, i.e., columns, piles, posts. Certification of structural design, specifications, plans and construction methods completed by a Professional Engineer or Architect shall accompany the application as required in Article VII.3. of the floodplain management ordinance.

The applicant understands and agrees that:

- The permit applied for, if granted, is issued on the representations made herein;
- Any permit issued may be revoked because of any breach of representation;
- Once a permit is revoked all work shall cease until the permit is reissued or a new permit is issued;
- Any permit issued on this application will not grant any right or privilege to erect any structure or sue any premises described for any purposes or in any manner prohibited by the ordinances, codes, or regulations of the municipality;
- The applicant hereby gives consent to the Code Enforcement Officer to enter and inspect activity covered under the provisions of the Floodplain management Ordinance;
- If issued, the permit form will be posted in a conspicuous place on the premises in plain view; and,
- If issued, the permit will expire if no work is commenced within 180 days of issuance.

I hereby certify that all the statements in, and in the attachments to this application are a true description of the existing property and the proposed development project.

Owner: _____ Date: _____

Signature _____

Authorized Agent: _____ Date: _____

Signature _____

(This section to be completed by Municipal Official)

Date Submitted _____ Fee Paid _____ Reviewed by CEO _____ Reviewed by Planning Board _____

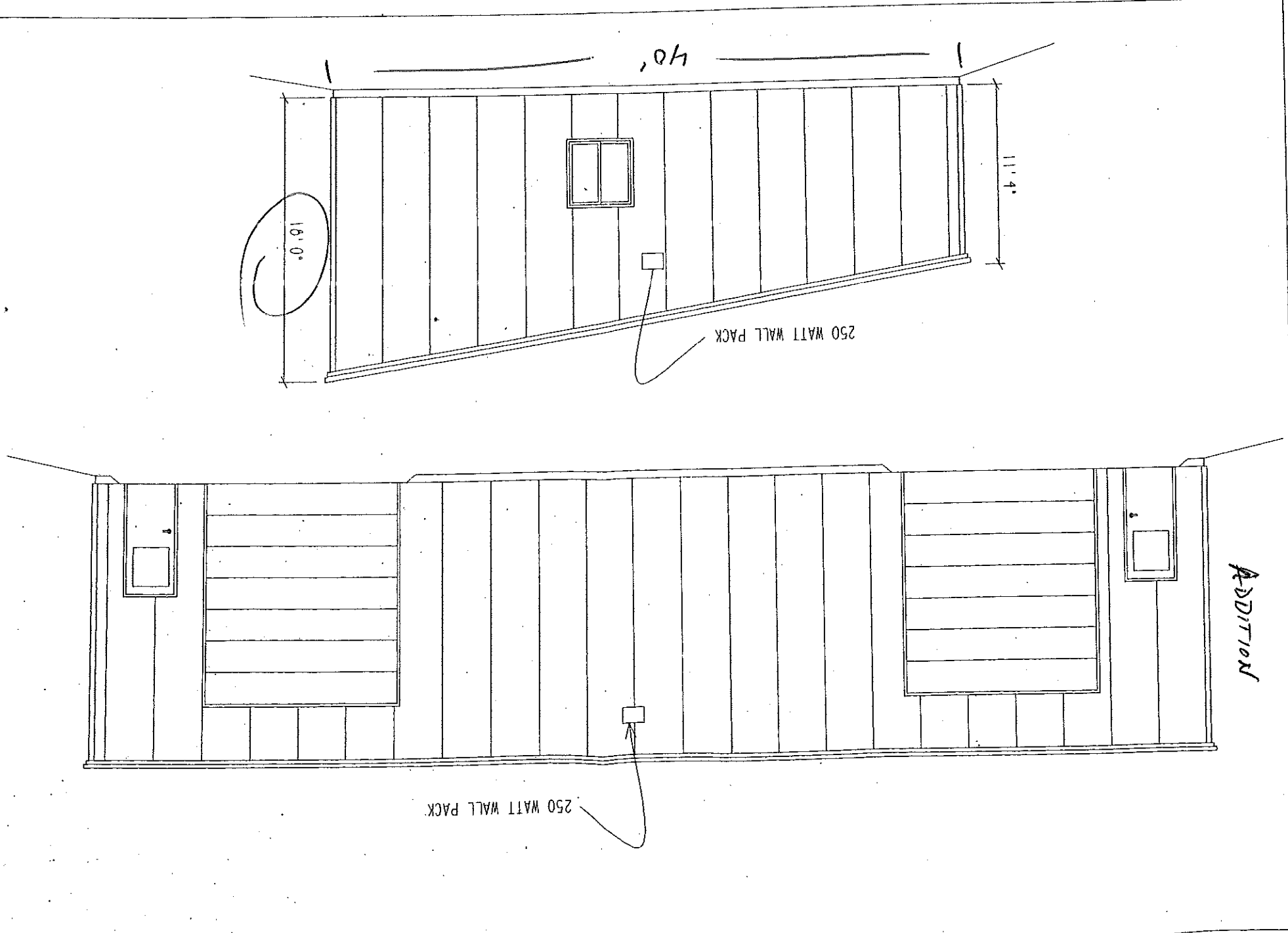
Permit # _____ Issued by _____ Date _____

Handwritten notes:
Please sign & return to G&L
to G&L
I agree with Catherine Holbert
PR101
to G&L
to G&L



SHEET NO. A-2
SCALE: 1/8"=0'
DATE: 7/28/2000
DRAWN BY: RUCK
PROJECT: BOSWORTH
SHEET TITLE: PROPOSED ELEVATION PLAN

412 ROUTE #1
YARQUIN, NC 28386
201-845-3505
DAHLGREN
YARQUIN, NC
CONSTRUCTION, INC.



PORTLAND

W/R# _____
CBL: 318 A007

Service Address 789 W. Main Ave

Account # _____

Meter make and Number _____

House # _____ Lot # _____ Apartment # _____

Development Name _____

Owner/Contractor Name Robert Jewett

Electrician Marc's Electric

Circle one on each line

NEW UPGRADE
TEMP PERM
OVERHEAD UNDERGROUND

Inspector: M. Cabelin

Comments: _____

City of Portland Electrical Permit: 1033

Called in by: _____ Date: 5/2/01 Time: 9:00

Fared to CNIP: _____ by: Bob

Portland Service Operations
Central Maine Power Company

207-791-8000

ELECTRICAL PERMIT

City of Portland, Me.



Com - RIC

To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland Electrical Ordinance, National Electrical Code and the following specifications:

Date 11/25

Permit # 1033

CBL # 318 A 007

LOCATION: 782 Wagon Ave METER MAKE & # ROBERT RICKETT
 CMP ACCOUNT # 411668507 DOI OWNER ROBERT RICKETT
 TENANT DANIGREN/BOSSWORTH CONST. PHONE # _____

	10	5			TOTAL EACH FEE
OUTLETS	Receptacles	Switches	Smoke Detector		.20 3-
FIXTURES	Incandescent	Fluorescent	Strips		.20
SERVICES	Overhead	Underground	TTL AMPS	<800	15.00 15-
	Overhead	Underground	TTL AMPS	>800	25.00
Temporary Service	Overhead	Underground	TTL AMPS		25.00 25-
METERS	(number of)				25.00
MOTORS	(number of)				1.00 1-
RESID/COM	Electric units				2.00
HEATING	oil/gas units	Interior	Exterior		1.00
APPLIANCES	Ranges	Cook Tops	Wall Ovens		5.00 5-
	Insta-Hot	Water heaters	Fans		2.00
	Dryers	Disposals	Dishwasher		2.00
	Compactors	Spa	Washing Machine		2.00
MISC. (number of)	Others (denote)				2.00
	Air Cond/win		Pools		3.00
	Air Cond/cent		Thermostat		10.00
	HVAC	EMS			5.00
	Signs				10.00
	Alarms/res				5.00
	Alarms/com				15.00
	Heavy Duty(CRKT)				2.00
	Circus/Carrv				25.00
	Alterations				5.00
	Fire Repairs				15.00
	E Lights				1.00
	E Generators				20.00
PANELS	Service	Remote	Main		4.00
TRANSFORMER	0-25 Kva				5.00
	25-200 Kva				8.00
	Over 200 Kva				10.00
INSPECTION:	MINIMUM FEE/COMMERCIAL 45.00		TOTAL AMOUNT DUE		53.00
	Will be ready _____		MINIMUM FEE	35.00	
	or will call <input checked="" type="checkbox"/>				

CONTRACTORS NAME MARC'S ELECTRIC MASTER LIC. # 16207
 ADDRESS 527 BUCKSTEP RD. FAL. LIMITED LIC. # _____
 TELEPHONE 797-7722
 SIGNATURE OF CONTRACTOR Marc J. Gagne

PLUMBING APPLICATION

PROPERTY ADDRESS

Town or Plantation: 789 Lincoln Ave
 Street: DeLauris Home
 Subdivision Lot #: _____
PROPERTY OWNERS NAME
 Last: Pascoe First: Karin
 Applicant Name: William Henne
 Mailing Address of Owner/Applicant (if Different): 112 Woodchoppers Rd Cape Elizabeth, Me

Owner/Applicant Statement
 I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.
 Signature of Owner/Applicant: William Henne Date: 3-22-01

1 IM

Caution: Inspection Required
 I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.
 Local Plumbing Inspector Signature: _____ Date Approved: _____

PORTLAND
 Date Permit Issued: 03/22/2001 7641 TOWN COPY
 \$ 134.00 Double Fee Charged
 Local Plumbing Inspector Signature: _____ L.P.I. # 61124

PERMIT INFORMATION

This Application is for

1. <input type="checkbox"/> NEW PLUMBING	1. <input type="checkbox"/> SINGLE FAMILY DWELLING
2. <input type="checkbox"/> RELOCATED PLUMBING	2. <input type="checkbox"/> MODULAR OR MOBILE HOME
	3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING
	4. <input type="checkbox"/> OTHER -- SPECIFY _____

Type of Structure To Be Served:

Plumbing To Be Installed By:

1. <input checked="" type="checkbox"/> MASTER PLUMBER
2. <input type="checkbox"/> OIL BURNERMAN
3. <input type="checkbox"/> MFG'D. HOUSING DEALER/MECHANIC
4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE
5. <input type="checkbox"/> PROPERTY OWNER

LICENSE # 02534

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Number	Column 2	Number	Column 1
		Type of Fixture		Type of Fixture
<p>OR</p> <p>HOOK-UP: to an existing subsurface wastewater disposal system.</p> <p>HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.</p> <p>OR</p> <p>HOOK-UP: to an existing subsurface wastewater disposal system.</p> <p>PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.</p>		Hosebibb / Silcock		Bathub (and Shower)
		Floor Drain		Shower (Separate)
		Urinal		Sink
		Drinking Fountain		Wash Basin
		Indirect Waste	2	Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.		Clothes Washer
		Grease / Oil Separator		Dish Washer
		Dental Cuspidor		Garbage Disposal
		Bidet	2	Laundry Tub
		Other: _____	2	Water Heater
<p>OR</p> <p>TRANSFER FEE [56.00]</p>		Fixtures (Subtotal) Column 2	6	Fixtures (Subtotal) Column 1
		Fixtures (Subtotal) Column 2	0	Fixtures (Subtotal) Column 2
		Fixtures (Subtotal) Column 2	6	Total Fixtures

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

TOWN COPY \$105.00

Permit Fee	36.00
Hook-Up & Relocation Fee	
Transfer Fee	
Fixture Fee	
Permit Fee (Total)	36.00

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2003-0133

Application I. D. Number

06/27/2003

Application Date

Building Addition

Project Name/Description

Arbor Care Tree and Landscape

739 Warren Avenue, Portland, ME 04103

Applicant's Mailing Address

789 - 789 Warren Ave, Portland, Maine

Address of Proposed Site

318 A007001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Applicant Ph: (207) 775-1121 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail

Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

675 s.f. IM Zoning

Proposed Building square Feet or # of Units Acreage of Site

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan \$400.00 Subdivision _____ Engineer Review _____ Date 07/02/2003

DRC Approval Status:

- Approved Approved w/Conditions See Attached Denied

Reviewer Sebago Technic

Approval Date 09/24/2003 Approval Expiration 09/24/2004 Extension to _____ Additional Sheets Attached

Condition Compliance Kandi Talbot signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted 10/20/2003 date \$1,500.00 amount 09/30/2004 expiration date

Inspection Fee Paid _____ date _____ amount _____

Building Permit Issue _____ date _____ amount _____

Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____

Temporary Certificate of Occupancy _____ date _____ Conditions (See Attached) _____ expiration date _____

Final Inspection _____ date _____ signature _____

Certificate Of Occupancy _____ date _____ signature _____

Performance Guarantee Released _____ date _____ signature _____

Defect Guarantee Submitted _____ submitted date _____ amount _____

Defect Guarantee Released _____ date _____ signature _____

expiration date

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2003-0133

Application I. D. Number

06/27/2003

Application Date

Building Addition

Project Name/Description

Arbor Care Tree and Landscape

Applicant

789 Warren Avenue, Portland, ME 04103

Applicant's Mailing Address

789 - 789 Warren Ave, Portland, Maine

Address of Proposed Site

318 A007001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Agent Fax:

Applicant Ph: (207) 775-1121

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail

Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

675 s.f. Zoning Conditional Zoning Variance Other _____ IM

Proposed Building square Feet or # of Units _____ Acreage of Site _____ Zoning

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review

Flood Hazard Shoreland Historic Preservation DEP Local Certification

Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan \$400.00 Subdivision _____ Engineer Review _____ Date 07/02/2003

Planning Approval Status:

Approved Approved w/Conditions See Attached Denied

Reviewer Kandi Talbot

Approval Date 09/24/2003 Approval Expiration 09/24/2004 Extension to _____ Additional Sheets Attached

OK to Issue Building Permit Kandi Talbot signature _____ date _____

Performance Guarantee Required* Not Required

Performance Guarantee Accepted 10/20/2003 date \$1,500.00 amount 09/30/2004 expiration date

Inspection Fee Paid _____ date _____ amount _____

Building Permit Issue _____ date _____ amount _____

Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____

Temporary Certificate of Occupancy _____ date _____ Conditions (See Attached) _____ expiration date _____

Final Inspection _____ date _____ signature _____

Certificate Of Occupancy _____ date _____ signature _____

Performance Guarantee Released _____ date _____ signature _____

Defect Guarantee Submitted _____ date _____ amount _____

Defect Guarantee Released _____ date _____ signature _____

* No building permit may be issued until a performance guarantee has been submitted as indicated below

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2003-0133
Application I. D. Number

06/27/2003
Application Date

Building Addition
Project Name/Description

789 - 789 Warren Ave, Portland, Maine

Address of Proposed Site

318 A007001

Assessor's Reference: Chart-Block-Lot

Arbor Care Tree and Landscape

Applicant

789 Warren Avenue, Portland, ME 04103

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 775-1121

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Approval Conditions of Planning

- 1 The applicant shall submit evidence of financial and technical capability to undertake and complete the development including a letter from a responsible financial institution stating that it has reviewed the planned development and would seriously consider financing it when approved.

318 A 007

MILE —

Revised SATS (FOUNDED) PLAN FOR 789
WADSWELL AVE — LEVIN BOSWORTH

Arbor Care Tree
653-6339

TO: Inspections Department

FROM: Jay Reynolds, Development Review Coordinator

DATE: July 12, 2004

RE: C. of O. for 789 Warren Ave., Arbor Care Tree and Landscape
(CBL 318A007) (ID 2003-0133)

After visiting the site, I have the following comments:

Site work complete.

At this time, I recommend issuing a permanent Certificate of Occupancy.

Please contact me if you have any questions or comments.
Thank You.

Cc: Sarah Hopkins, Development Review Services Manager
Mike Nugent, Inspection Services Manager

File: O:\plan\drc\warren789a.doc