City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716 Location of Construction: Owner Name: 519 Warren Ave Writt Frederick A &	Tel: (207) 874-8703, Fax: (207) 874-8716 Owner Name: Writt Frederick A &	nit Application (207) 874-8716 (207) 874-8716 (207) (207) (207)	Permit No. Assue Pate: Permit No. Assue Pate:	CBL: 4-8 :55 314 B047001 Phone: 207-797-9241
n/a	n/a	Pc	Portland 1 On 1 LA	Phone
Lessee/Buyer's Name n/a	Phone: n/a	Peri	Permit Type: A dditions - Commercial	Zone: B-4
Past Use: Vacant / Single Family Residence	Proposed Use: Drive thru coffee shop (business) no interior seating.		Permit Fee: Cost of Work: \$373.00 \$50,000.00 INSP	CEO District: I ECTION:
Proposed Project Description: Drive thru coffee shop, no interior seating	ting	Sign	Signature: J& JM Sig	Signature My My
		PEI Act	PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved Approved w/Condit	Approved w/Conditions
		Sig	Signature:	Date:
Permit Taken By: Date Ap \$25 10/2:	Date Applied For: 10/22/2002		Zoning Approval	N.
 This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 		Special Zone or Reviews Shoreland	Zoning Appeal [K Variance (Let 5, 2-6)	Historic Preservation Not in District or Landmark
Building permits do not include plumbing septic or electrical work.		☐ Wetland	Miscellaneous	Does Not Require Review
 Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work. 		Flood Zone at Zine	Conditional Use Interpretation $4/4/2$	☐ Requires Review ☐ Approved
	Date: O	Maj Minor IX MM C	Approved Extension Approved Denied 10/3/02	☐ Approved w/Conditions ☐ Denied ☐ Date:
		0/5/MI C		
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.	record of the named make this application make this application work described in the second power work as covered by such power work work as covered by such power work work as covered by such power work work work work work work work wor	property, or that the property, or that the property or that the age is authorized age the application is issued ermit at any reasonable	coposed work is authorized by ent and I agree to conform to ad, I certify that the code official hour to enforce the provision	uthorized by the owner of record and that conform to all applicable laws of this e code official's authorized representative the provision of the code(s) applicable to
SIGNATURE OF APPLICANT	TOTAL	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	ORK, TITLE		DATE	PHONE



December 4, 2002

Mr. Craig Lefebvre
O'Brien Brothers Construction Gorham, Maine 04038 Webster Road

RE: Foundation Location Portland, Maine SGC Project No. 1-000164.00 Bellingham Coffee Building

Dear Mr. Lefebvre:

out location of the above referenced building. Pursuant to your request on December 3, 2002 we submit this letter to verify the as laid

according to plan entitled "Property of Craig & Laurie Winslow, 527 Warren Avenue, Portland, Maine 04103", as recorded in Plan Book 197 Page 309. Said plan having been setbacks as shown on above said plan. revised September 15, 2002 on said property. The foundation meets the required 2002 the foundation was laid out as shown on plan entitled, "Drive-Thru Coffee Shop for Beilingham Coffee", prepared by David D. Leasure - Architectural Associates, Inc, last utilized as the boundary plan for the design plans below mentioned. On December 2, On November 25, 2002 existing boundary monumentation was located and verified

Please contact me directly if you have any questions regarding this submittal.

Sincerely, Survey &

Eric F. Vice President Cooke, PLS NO 2337

resident

Community of the Consultants, Inc.

ERIC F

COOKE

NO 2337

resident

Community of the Cooke

Cooke, PLS NO 2337

Resident

Re Cooke,

CEM/cem

314.18-47

12 Westbrook Common, 2nd Floor + Westbrook, Maine + 04092

Phone: 207-856-0006 + Fax: 207-856-0007 + E-Mail: sgc@sgcinc.net



☐ Please Recycle	□ Please Reply	□ Please Comment □ Please Reply	□ For Review	□ Urgent
	207.929.8013			
W.	CRAID LEFERNEE	66:	Bellingham Coffee Building	Re: Bei
A A A A A A A A A A A A A A A A A A A	Date: 12/04/02	Date:		Phone:
	: 2	Pages: 2	207.874.8716	Fax: 207
	From: Chad Martin	From:	Tammy Munson	To: Tar

Tammy:

Please find a letter to Craig Lefevbre verifying the location of the foundation for the Bellingham Coffee Building.

Please call me with any questions.

Thanks

Chad Martin

Revised

Department of Planning & Development Lee D. Urban, Director



Division Directors Mark B. Adelson Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP Planning

John N. Lufkin Ecomonic Development CITY OF PORTLAND

September 27, 2002

Mr. Craig Rasmusson 171 Brown Street #2 Westbrook, ME 04092

RE: Coffee Shop Drive thru, 519 Warren Avenue ID #2002-0094, CBL #314-B-047

Dear Mr. Rasmusson:

drive-thru coffee shop located at 519 Warren Avenue with the following conditions: On September 27, 2002, the Portland Planning Authority granted minor site plan approval to allow a

- that the applicant install a 12" pipe from the catch basin inlet to the catch basin; and
- ≓: that the applicant provide an executed drainage maintenance agreement

site plan, you must submit a revised site plan for staff review and approval. The approval is based on the submitted site plan. If you need to make any modifications to the approved

Please note the following provisions and requirements for all site plan approvals:

- <u>ب</u> requested by the applicant in writing prior to the expiration date of the site plan. by the City and the applicant. commenced within one (1) year of the approval or within a time period agreed upon in writing The site plan approval will be deemed to have expired unless work in the development has A one-year extension may be granted by this department if
- 'n to 2.0% of the performance guarantee will have to be posted before beginning any site construction or issuance of a building permit. A performance guarantee in a form acceptable to the City of Portland and an inspection fee equal
- ယ performance guarantee will be released. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the

Comments: Date Fire Prevention Bureau: Comments: Date Date Inspection Services: Date Comments: Zoning: CHANGE OF USE PERMIT Phone Address_ Type of License Business Name Same Applicant Bollyen 519 Warren Sh スロナーナロス □Approved □Approved □Required □Approved License Inspection Slip Signature of Fire Prevention Officer Signature of Chief or Asst. Chief of Inspection Signature of Inspector □Denied □Denied □Denied Signature of Zoning Enforcement Official □Not required issued date New Date Issued_ Change of Ownership. Zone Clerks Office Use Only Date of Application 50 X 02 Renewal



Y OF PORTLAND MAINE

389 Congress St., Rm 315 Portland, ME 04101 Tel - 207-874-8704
Fax - 207-874-8716

Inspector of Buildings City of Portland, Maine Division of Housing & Community Services Planning & Urban Development

FROM DESIGNER:	FROM DESIGNER: DAVID D. CHANGE THE DAN CHANGE
	1344 WASHINGTON AIE, PORTLAND, ME. 04103
7/01	
	CO CO CATAN CASTO
THE DRAVE ,	THE DELVE LALEY COLLEGE STOOL ON SUCCESSES. COLLEGE
E Construction: 2	SIG WARREN AVENUE, PORTURIO, ME OF 103
Andrew Co.	

THE BOCA NATIONAL BUILDING CODE/1999 FourteenthEDITION was designed according to the building code criteria listed below:

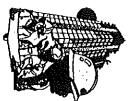
	Structure has full sprinkler system? Yes No X Alarm System? Yes No X Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.	P. S.F.	Roof Snow Load Per Sq. Ft. 26 Effective Velocity Pressure Per Sq. Ft. 25	Seismic Zone $A_{rr} = 0.10$ Group Class S. H. E. $G = 1$	ř	Building Code and Year BOCA - 199 Use Group Classification(s) B (BUSINESS)	Construction project the construction of
--	--	---------	---	---	---	--	--

(Designers Stamp & Signature)

List Occupant loading for each room or space, designed into this Project.

11 4.40





CITY OF PORTLAND BUILDING CODE CERTIFICATE 389 Congress St., Rm 315 Portland, ME 04101

Ö Department of Planning & Urban Development Inspector of Buildings City of Portland, Maine

Division of Housing & Community Service

FROM: DAVIO 9 LEA SURE-

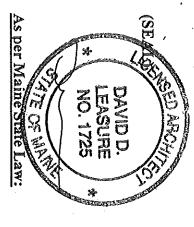
RE: Certificate of Design

DATE: 10/21/02

These plans and/or specifications covering construction work on:

WAPPER 子で AJEN JUE R る年の FOR AND, ME. 2002 BELLICKERAM

architect/engineer according to the BOCA National Building Code/1999 Fourteenth Have been designed and drawn up by the undersigned, a Maine registered Edition, and local amendments.



Signature Title PRESIDENT

Firm ARCHITECTURAL ASSOC.

Address 1344 WASHNAAN AVENUE PORT UND, ME, O4103

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

PSH 6/20/2k



City of Portland, Maine 389 Congress St., Rm 315 Portlaind, ME 04101

ACCESSIBILITY CERTIFICATE

Department of Planning & Urban Development Inspector of Buildings City of Portland, Maine

Division of Housing & Community Services

FROM: David <u>~</u> LEA SURE ARCHE EXUBAC

(E) Certificate of Design, HANDICAP ACCESSIBILITY

5 0

DATE:

These plans and/or specifications covering construction work on:

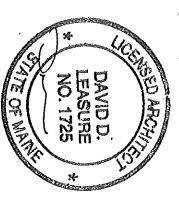
Size MAHL-COPPER かまか 0004 WARTOLL

かり WARREN SIENDE

MAINE 04103

Handicapped Accessibility. Have been designed and drawn up by the undersigned, a Maine registered engineer/architect according to State Regulations as adopted by the State of Maine on

(SEAL)



Signature

Firm. Title. PRESIDENT おではいるいからか 1252

Address 344 WASHINGTON GAT LAID R. S0170 なからか

7



H

Recorded Register of Deeds Oct 18:2002 02:34:189 Cumberland County John B. O Brien

CITY OF PORTLAND

CERTIFICATE OF VARIANCE APPROVAL

of 30-A M.R.S.A. Section 4353(5) and the City of Portland's Code of Ordinances. of Maine, hereby certify that on the 3^h day of October 2002, the following variance was granted pursuant to the provisions I, Patric Santerre, the duly appointed Chair of the Board of Appeals for the City of Portland, Cumberland County and State

- Property Owner: Fredrick A. Writt & Colleen R. Writt
- 12 517 Warren Avenue (Last recorded August 9, 2000 Deed in Chain of Title) Property: Cumberland County Registry of Book 15648, Page 186 CBL: 314-B-047, 48 & 55
- Ś Variance and Conditions of Variance

reduction in lot size, from the required 10,000 square feet to approximately 7,900 square feet. This is a 6 month extension from the Zoning Board of Appeals meeting of October 3, 2002. The original approval was granted To allow for relief from Section 14-229.13 of the Zoning Ordinance in regards to dimensional requirement to allow a April 4, 2002 and this is an allowance of a 6-month extension.

IN WITNESS WHEREOF, I have hereto set my hand and seal this $i\theta/i5$ day of, 2002

NANTHARK (Printed or Typed Name)

STATE OF MAINE

Cumberland, ss.

deed in his capacity as Chairman of the Portland Board of Appeals.

Then personally appeared the above-named Patric Santerre and acknowledged the above certificate to be his free act and

Segnos,

DONNA BOUDHEAU STATE OF MAINE NOTARY PUBLIC

PUBLIC NOTARY

MINE

Com. Expires 63-12-09

Donna Boudreau (Printed or Typed Name)

Notary Public

PURSUANT TO 30-A M.R.S.A. SECTION 4353(5), THIS CERTIFICATE MUST BE RECORDED BY THE PROPERTY OWNER IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS WITHIN 90 DAYS FROM FINAL WRITTEN APPROVAL FOR THE VARIANCE TO BE VALID. FURTHERMORE, THIS VARIANCE IS SUBJECT TO THE LIMITATIONS SET FORTH IN SECTION 14-474 OF THE CITY OF PORTLAND'S CODE OF ORDINANCES.

ZONING BOARD OF APPEALS CITY OF PORTLAND, MAINE

Patric Santerre, Chair Catherine Decker, Secretary William Hall Julie Brady Nan Sawyer Joseph Lewis Kimberely Boggiatto

October 8, 2002

Craig Rasmusson
820 Main Street
Westbrook Maine 040

Westbrook, Maine 04092

RE: 519 Warren Avenue CBL: 314-B-047, 48 & 55

ZONE: IR-2 Zone

Dear Mr. Rasmusson;

As you know, at its October 3, 2002 meeting, the Board of Appeals granted 4-0 the request to extend and continue the Zoning Board of Appeals decision of April 4, 2002 with a 6 month extension. The Board square feet. granted the Variance Appeal to relax the required 10,000 square foot lot size dimension to approximately 7,900

of Deed with 90 days of the final written approval to become valid. Enclosed you will find the Certificate of Variance Approval that must be filed the Cumberland County Registry

I must also remind you that a building permit must be submitted and approved before any work may commence.

Should you have any questions I may be reached at 207-874-8701.

Sincerely,

Jodine Adams
Office Manager



CITY OF PORTLAND

CERTIFICATE OF VARIANCE APPROVAL

I, Elizabeth Bordowitz, the duly appointed Chair of the Board of Appeals for the City of Portland, Cumberland County and State of Maine, hereby certify that on the 4^h day of April 2002, the following variance was granted pursuant to the provisions of 30-A M.R.S.A. Section 4353(5) and the City of Portland's Code of Ordinances.

- Property Owner: Fredrick A. Writt & Colleen R. Writt
- 12 (Last recorded August 9, 2000 Deed in Chain of Title) Property: Cumberland County Registry of Book 15648, Page 186 Warren Avenue CBL: 314-B-047, 48 & 55
- လ Variance and Conditions of Variance:

reduction in lot size, from the required 10,000 s.f. to approximately 7,900 s.f. To allow for relief from Section 14-229.13 of the Zoning Ordinance in regards to dimensional requirement to allow a

IN WITNESS WHEREOF, I have hereto set my hand and seal this 25th RECEIVED RECORDED REGISTRY OF DEED! day of, 2002.

2002 JUN 13 いい。

CUMBERLAND COUNTY

(Printed or Typed Name)

, Chair

Cumberland, ss. STATE OF MAINE

Then personally appeared the above-named Elizabeth Bordowitz

and acknowledged the above certificate to be

her free act and deed in her capacity as Chairman of the Portland Board of Appeals.

DEBORAH LYMRTIN (ed' Notary Public, Maine My Commission Expires April 7, 2006 or Typed Name) Notary Public

PURSUANT TO 30-A M.R.S.A. SECTION 4353(5), THIS CERTIFICATE MUST BE RECORDED BY THE PROPERTY OWNER IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS WITHIN 90 DAYS FROM FINAL WRITTEN APPROVAL FOR THE VARIANCE TO BE VALID. FURTHERMORE, THIS VARIANCE IS SUBJECT TO THE LIMITATIONS SET FORTH IN SECTION 14-474 OF THE CITY OF PORTLAND'S CODE OF ORDINANCES

Department of Planning & Development Lee D. Urban, Director



CITY OF PORTLAND

Division Directors

Mark B. Adelson

Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP Planning

John N. Lufkin Ecomonic Development

September 27, 2002

Mr. Craig Rasmusson 171 Brown Street #2 Westbrook, ME 04092

RE: Coffee Shop Drive thru, 519 Warren Avenue ID #2002-0094, CBL #314-B-047

Dear Mr. Rasmusson:

drive-thru coffee shop located at 519 Warren Avenue with the following conditions: On September 27, 2002, the Portland Planning Authority granted minor site plan approval to allow a

- that the applicant install a 12" pipe from the catch basin inlet to the catch basin; and
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Please note the following provisions and requirements for all site plan approvals:

- requested by the applicant in writing prior to the expiration date of the site plan by the City and the applicant. A one-year extension may be granted by this department if commenced within one (1) year of the approval or within a time period agreed upon in writing The site plan approval will be deemed to have expired unless work in the development has
- 'n to 2.0% of the performance guarantee will have to be posted before beginning any site construction or issuance of a building permit. A performance guarantee in a form acceptable to the City of Portland and an inspection fee equal
- ယ performance guarantee will be released A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the

- 4 representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time contractor shall provide three (3) copies of a detailed construction schedule to the attending City the construction schedule and critical aspects of the site work. At that time, the site/building contractor, development review coordinator, Public Work's representative and owner to review Prior to construction, a pre-construction meeting shall be held at the project site with the for the pre-construction meeting.
- 'n 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.) construction, a street opening permit(s) is required for your site. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway Please contact Carol Merritt at
- 9 all site plan requirements must be completed and approved by the Development Review requirements determined to be incomplete or defective during the inspection. This essential as Planning Division at 874-8632. Please make allowances for completion of site plan required for final site inspection. closing with these requirements in mind. Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property The Development Review Coordinator must be notified five (5) working days prior to date The Development Review Coordinator can be reached at the

If there are any questions, please contact Kandice Talbot at 874-8901

Sincerely,

Alexander Jaegerman

Planning Division Director

8 Sarah Hopkins, Development Review Program Manager Lee D. Urban, Planning and Development Department Director Kandice Talbot, Planner

Marge Schmuckal, Zoning Administrator Jay Reynolds, Development Review Coordinator

Jodine Adams, Inspections

Eric Labelle, City Engineer Jeff Tarling, City Arborist Tony Lombardo, Project Engineer Larry Ash, Traffic Engineer William Bray, Director of Public Works

Don Hall, Appraiser, Assessor's Office Lt. Gaylen McDougall, Fire Prevention Penny Littell, Associate Corporation Counsel Approval Letter File

Correspondence File



CITY OF PORTLAND

CERTIFICATE OF VARIANCE APPROVAL

provisions of 30-A M.R.S.A. Section 4353(5) and the City of Portland's Code of Ordinances. I, Elizabeth Bordowitz, the duly appointed Chair of the Board of Appeals for the City of Portland, Cumberland County and State of Maine, hereby certify that on the 4^h day of April 2002, the following variance was granted pursuant to the

- Property Owner: Fredrick A. Writt & Colleen R. Writt
- $i_{\mathcal{O}}$ 517 Warren Avenue (Last recorded August 9, 2000 Deed in Chain of Title) Cumberland County Registry of Book 15648, Page 186 CBL: 314-B-047, 48 & 55
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reduction in lot size, from the required 10,000 s.f. to approximately 7,900 s.f. To allow for relief from Section 14-229.13 of the Zoning Ordinance in regards to dimensional requirement to allow a

IN WITNESS WHEREOF, I have hereto set my hand and seal this 25th RECEIVED RECORDED REGISTRY OF DEEDS day of, 2002.

2002 JUN 13 部 0:51

CUMBERLAND COUNTY

STATE OF MAINE Cumberland, ss.

In B OBLIN

(Printed or Typed Name)

her free act and deed in her capacity as Chairman of the Portland Board of Appeals. Then personally appeared the above-named Elizabeth Bordowitz and acknowledged the above certificate to be

DEBORAH LYMTID CCC Notary Public, Maine My Commission Expires April 7, 2003 덖 Netary Public Typed Name)

PURSUANT TO 30-A M.R.S.A. SECTION 4353(5), THIS CERTIFICATE MUST BE RECORDED BY THE PROPERTY OWNER IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS WITHIN 90 DAYS FROM FINAL WRITTEN APPROVAL FOR THE VARIANCE TO BE VALID. FURTHERMORE, THIS VARIANCE IS SUBJECT TO THE LIMITATIONS SET FORTH IN SECTION 14-474 OF THE CITY OF PORTLAND'S CODE OF ORDINANCES.

Tho e out

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATIONAL DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APROVE THIS PERMIT.	Who should we contact when the permit is ready: <u>CRA(GRAS MUSSER</u>) Who should we contact when the permit is ready: <u>CRA(GRAS MUSSER</u>)	address & telephone:	PEE SHOO (BUSINESS) &	SINGLE FAMILY CE	MACANT LOT	\$2 (207) 856 -1600 Fee: \$ 325	Applicant name, address & telephone:	essor's Chart, Block & Lot Owner: FRED ACCUSED WINTH leien SIA Block# 47,48,855 FALMOUTH, ME. 04105 (207	Square Footage of Lot 79,00	Continui/Address of Construction: 519 WARROW AVENUE, ROCK WY, ME 04103 continui/Address of Construction: 519 WARROW AVENUE, ROCK WARROWS AND SQUARE FOotoge of Lot 79,00 55. Charles Paymer's Name (if Applicable) Reseably yet
I hereby certify that I am the Owner of record of the named property, or that the owner of record of the policable laws of the have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicative have been authorized by the owner to make this application is issued. I certify that the Code Official's outhorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit. Signature of applicant: Date:	Mailing acciess. (7) STRUCTION STRUCTION IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IN THE SUBMISSION IN THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IN THE SUBMISSION IN THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IN THE SUBMISSION IN THE SUBMISSION IN THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED IN THE SUBMISSION	Who should we contact when the permit is ready: (207) \$56 - (600) Mailing address: (7) \$56 - (600) Mailing address: (1) \$2000 \$60000 \$6000 \$6000 \$6000 \$6000 \$	Project description: Ceause Throu Coffee Sheer will all and the permit is ready. Ceause Pas Mussel Who should we contact when the permit is ready. (207) SSC - (600) Mailing address: (7 (SPE W) STREET W. GAG 2 Who should we contact when the permit is ready. (207) SSC - (600) Mailing address: (7 (SPE W) STREET W. GAG 2 Phone: (7 (SPE W) STREET W. GAG 2 Phone: (8 (SPE W) STREET W. GAG 2 Phone: (9 (SPE W) STREET W. GAG 2 Phone: (10 (SPE W) STREET W. GAG 2 Phone: (11 (SPE W) STREET W. GAG 2 Phone: (12 (SPE W) STREET W. GAG 3 Phone: (13 (SPE W) STREET W. GAG 3 Phone: (14 (SPE W) STREET W. GAG 3 Phone: (15 (SPE W) STREET W. GAG 3 Phone: (16 (SPE W) STREET W. GAG 3 Phone: (17 (SPE W) STREET W. GAG 3 Phone: (18 (SPE W) STREET W. GAG 3 Phone: (18 (SPE W) STREET W. GAG 3 Phone: (18 (SPE W) STREET W. GAG 3 Phone: (18 (SPE W) STREET W. GAG 3 Phone: (18 (SPE W) STREET W. GAG 3 Phone: (18 (SPE W) STREET W. GAG 3 Phone: (18 (SPE W) STREET W. GAG 3 Phone: (18 (SPE W) STREET W. GAG 3 Phone: (18 (SPE W) STREET W. GAG 3 Phone: (18 (SPE W) STREET W. GAG 3 Phone: (18 (SPE W) STREET W. GAG 4 Phone:	Approximately how long has it been vacani: Proposed use: OZIVE THRY COFFEE SHEQ WINTERION SEATING Project description: OZIVE THRY COFFEE SHEQ WINTERION SEATING Project description: OZIVE THRY COFFEE SHEQ WINTERION SEATING Project description: Contractor's name, address & telephone: Contractor's name, address & telephone: Who should we contact when the permit is ready: CZZAIG RAS MUSSEL Who should we contact when the permit is ready: CZZAIG RAS MUSSEL Who should we contact when the permit is ready: CZZAIG RAS MUSSEL Who should we contact when the permit is ready: CZZAIG RAS MUSSEL Who should we contact when the permit will be AUTOMATICALLY IT (REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY INFORMATION IN ORDER TO APROVE THIS PERMIT. 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I hereby certify that I am the Owner of record of the named property, or that the owner of record common to all applicable laws of the have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable have been authorized by the owner to make this application is issued, I certify that the Code Official's authorized representative jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative this permit at any reasonable hour to enforce the provisions of the codes applicable shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.	Mailing accures. (7) SROCK 1 ME. G4G2 Phone:	Who should we contact when the permit is ready. CRA(CRAS MUSSE) Who should we contact when the permit is ready. (207) & SC - (600) Mailing address: (7 & RECUN STREET MC. GAGE Phone: Phone: Pho	Project description: ORANG THRU COFFEE SHER W, NO LATERION SHALL Contractor's name, address & telephone: Contractor's name, address & telephone: Who should we contact when the permit is ready. CRAIG RAS MUSSEL Who should we contact when the permit is ready. (207) & SC - (600) Mailing address: IT (BROWN STREET) MR. GA(G? 2 Phone: WEST BROWN STREET, MR. GA(G) Phone	Approximately how long has it been vacani: DRIVE THRU COFFEE SHEQ (BUSINESS) NO INTERIOR Project description: DRIVE THRU COFFEE SHEQ W NO INTERIOR SEATING Project description: DRIVE THRU COFFEE SHEQ W NO INTERIOR SEATING Project description: DRIVE THRU COFFEE SHEQ W NO INTERIOR SEATING Contractor's name, address & telephone: DRIVE SHED SEATING Who should we contact when the permit is ready. CRAIC RAS MUSSEL Who should we contact when the permit is ready. CRAIC RAS MUSSEL Who should we contact when the permit is ready. CRAIC RAS MUSSEL Who should we contact when the permit is ready. 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	IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APROVE THIS PERMIT.	Who should we contact when the permit is ready: CRA(C PAS MUSSEL) Mailing address: Mailing address: Mailing address: Phone: Phone: Phone: Phone: Phone: Phone: Ph	address & felephone:	PRIVE THEN COFFEE SHED WILDES & SHED (BUSINES) & STITUTE THEN COFFEE SHED WILDES) & STITUTE THEN COFFEE SHED WILDING PLANT TO INTERIOR TO STREET SHED WILDING PLANT SHE PERMIT WILL BE ALL DINFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE ALL DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADINORDER TO APROVE THIS PERMIT.	E SHED (BUSINESS) AND SHE SUBMISSIONS THE PERMIT WILL BE ALIG DEPARTMENT, WE MAY REQUIRE ADITIONS THE PERMIT WILL BE ALIG DEPARTMENT, WE MAY REQUIRE ADITIONS THE PERMIT WILL BE ALIG DEPARTMENT, WE MAY REQUIRE ADITIONS THE PERMIT WILL BE ALIG DEPARTMENT.	SINGLE FAMILY RESULTED IN THE PERMIT WILL BE ALLIG DEPARTMENT, WE MAY REQUIRE ADITIONS THE PERMIT WILL BE ALLIG DEPARTMENT, WE MAY REQUIRE ADITIONS THE PERMIT WILL BE ALLIG DEPARTMENT, WE MAY REQUIRE ADITIONS THE	THIS PERMIT.	Applicant name, address & telephone: 1207 356 - 1600 Fee: \$ Work: \$	essor's Chart, Block & Lot 1915 314 Block & Lot 2016 Gamma (If Applicable) Repeated Action of Applicant name, address & telephone: Repeated Action of The Demil's ready. Cost Of telephone: Cost Of tele	I hereby certify that I am the Owner of record of the named property, or that the owner of record curriculation to all applicable laws of the have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable have been authorized by the owner to make this application is issued. I certify that the Code Official's authorized representative jurisdiction. In addition, if a permit for work described in this permit at any reasonable hour to enforce the provisions of the codes applicable shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.
		stact when the permit is ready: CRA(CRASMUS)	address & telephone: https://www.coffee.sukep.w/ No INTERION 7 CEAIG RAS MUSSEL ntact when the permit is ready. CRAIG RAS MUSSEL 1207) 856-1600	THEN COFFEE SHER W/ NO INTERIOR SAME THRU COFFEE SHER W/ NO INTERIOR SAME THRU COFFEE SHER W/ NO INTERIOR SAME AND FOOD OF THRU COFFEE SHER W/ NO INTERIOR SAME AND FOOD OF THRU COFFEE SHER W/ NO INTERIOR SAME AND FOOD OF THRU COFFEE SHER W/ NO INTERIOR SAME SAME SAME SAME SAME SAME SAME SAME	CEARCE BY (BRITERION & CEARCE BY BY SOUTH STERMING CEARCE BY WINDERS) &	SINGLE FAMILY RESIDES SHOP (BUSINESS) NO 15 E SHOP (BUSINESS) NO 15 E SHOP (BUSINESS) NO 15 CRAIG RASMUSSEN CRAIG RASMUS	1 (207) 856-1600 Fee: \$ 32,4 hat was prior use: SINGE FAMILY RESIDENT VACANTE SHED (BUSINESS) NO 15 SEATH FEE SHED W/ NO INTERNON SEATH HEE SHED W/ NO INTERNON SEATH HE SHED W/ NO IN	Applicant name, address & telephone: (207) & S6 -1600 Fee: \$ 325 (207) & S6 -1600 Fee: \$ 325 hat was prior use: SINGLE FAMILY RESIDENT VACANT: SHEE SHED WAND PRODE SEATH THEE SHED WAND PRODE SEATH permit is ready: CRAIG PASMUSSED permit is ready: CRAIG PASMUSSED	essor's Chart, Block & Lot 183 Applicable) Block#47,4845\$ Buyer's Name (If Applicable) C PASMUSSED C PASM	Molling addiess. 171 BROWN STREET 04092 WEST BROOK, ME. 04092 Phone:
Contractor's name, address & telephone: Who should we contact when the permit is ready: CRA(GRAS MUSSET) Mailing address: 17 BROWN STREET AG92 Phone: Phone:	Contractor's name, address & telephone:			DRIVE THEN COPPEE SHED (BUSINESS) SI	E SHED (BURINERS) &	SINGLE FAMILY CESIDES	hat was prior use: SINGE FAMILY RESIDENT VACANT! NO IN COPPEE SHED (BUSINESS) NO IN SEATH	Applicant name, address & Cost Of Social Relephone: 1207 856 -1600 Fee: \$ 325	essor's Chart, Block & Lot Owner: FRED &CULTER Reprise. Septiment Reprise Reprise. Repr	THEN COFFEE SHED IN NO INTERIOR
Essor's Chart, Block & Lot Square Footage of Proposed Structure Telephone: Square Footage of Iot Work: \$ 32.5 Fee: \$ 32.5 Fee	THE CONTROL AND COFFEE SHED WINTERSON SEATH Control Block & Lot Light Structure Experis Name (If Applicable) FRANCUTH, ME. 04109 (207) 757 Cost of EASANUSSED FRENCH ME. 04109 (207) 757 Cost of EASANUSSED Francut Record Work: \$ 324 Free: \$ 324 Fre	The police of proposed Structure Essor's Chart, Block & Loi 314 Block 47, 48 45 Buyer's Name (If Applicable) Repear 197, 48	Eurore Footage of Proposed Structure essor's Chart, Block & Lot 1915 314 Block 47, 45, 45, 45, 45, 45, 45, 45, 45, 45, 45	essor's Chart, Block & Lot 1914 Owner: FRED ACCUSED WINTH Telephone: 814 Block 47, 48 4 55 Owner: FRED ACCUSED WINTH Telephone: FALMOUTH, ME. 04105 (207) 797 (201) 797 (201) 870 Cost Of ERRONE, ME. 04105 (201) 797 (201) 870 Cost Of Elephone: 6200 Fee: \$ 324 (201) 870 Cost Of Work: \$ 324 (201) 870 Cost Of Elephone: 6200 Fee: \$ 324 (201) 870 Cost Of Elephone: 6200 Cost Of Elephone: 6	essor's Chart, Block & Lot 314 Block#47, 484 SS Buyer's Name (If Applicable) C PASMUSSED C	essor's Chart, Block & Lot 314 Block # 17, 48 al SS Applicant name, address & Work: \$ 50,000	essor's Chart, Block & Lot 191# Owner: FRED ACCUSED WINTT Telephone: FALMOUTH, ME. 04105 (207) 797-	Square Footage of Lot 79,00		WARREN AUGNOC - C.
NANdress of Construction: 519 WARRED ACCION TO SET Under Footage of Proposed Structure Square Footage of Proposed Structure essor's Chart, Block & Lot 1975 Block 47, 48, 45	Invaderess of Construction: 519 WHERE AVENUES A SECTION SET PROTOGRESS OF CONSTRUCTION: 519 WHERE SHEET ROAD SET PROTOGRESS OF CONTROL THE SET PROTOGRESS OF COST OF C	In/Address of Construction: 519 WARRED ACCURATION TO SET place Footage of Lot 79,00 SET place Footage of Lot 79,00 SET place Schart, Block & Lot 19,00 SET REPORT ROAD STANDER (If Applicable) Lot 19,00 SET REPORT AND STANDER (1997) TO STANDER (1997) TO SET REPORT AND SEATH CONTRACT STANDER (1997) TO SEATH CONTRACT STANDER (1997)	n/Address of Construction: 519 WHERE ACCUSED TO SEPTIME FOotage of Lot 79,00 SEPTIME FOOTAGE OF LOT 15 STANDER APPLICATION AST ROAD COST OF FOOTAGE OF LOT 15 SEPTIME FALMOUTH, ME. 04(05) 797 COST OF FOOTAGE OF LOT 15 SEPTIME FALMOUTH, ME. 04(05) 797 COST OF FOOTAGE OF LOT 15 SEPTIME FALMOUTH, ME. 04(05) 797 COST OF FOOTAGE OF LOT 15 SEPTIME FALMOUTH, ME. 04(05) 797 COST OF FOOTAGE OF LOT 15 SEPTIME FALMOUTH, ME. 04(05) 797 COST OF FOOTAGE OF LOT 15 SEPTIME FALMOUTH, ME. 04(05) 797 COST OF FOOTAGE OF LOT 15 SEPTIME FALMOUTH, ME. 04(05) 797 COST OF FOOTAGE OF LOT 15 SEPTIME FALMOUTH, ME. 04(05) 797 COST OF FOOTAGE OF LOT 15 SEPTIME FALMOUTH, ME. 04(05) 797 COST OF FOOTAGE OF THE FALMOUTH FOOTAGE OF LOT 15 SEPTIME FALMOUTH, ME. 04(05) 797 COST OF FOOTAGE OF THE FALMOUTH FOOTA	In Jack of Construction: 519 WARRY ACROST (Cost Of Section of Structure) In Jack of Construction: 519 WARRY ACROST (Cost Of Section of Section of Cost Of Section of	n/Address of Construction: 519 WARRY ROOM (TOTAL) Juare Footage of Proposed Structure Square Footage of Lot 7900 55 essor's Chart, Block & Lot Square Footage of Lot 7900 55 314 Block & Lot Square Footage of Lot 7900 55 314 Block & Lot Square Footage of Lot 7900 55 314 Block & Lot Square Footage of Lot 7900 55 Square Foo	n/Address of Construction: 519 WARRY ROOM TO SE Juare Footage of Lot 7900 SE Juare Footage of Lot 7900 SE essor's Chart, Block & Lot 191# Owner: FRED ACCUSED WINTH Telephone: FALMOUTH, ME. 04105 (207) 797-804 Block# 47, 48 & S. Applicant name, address & Work: \$ 50,00	n/Address of Construction: 519 WARRY ACROST (Construction: 519	Square Footage of Lot 79,00	SIG WALKES HOESTON !	1042 PB MILION 1022

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CITY OF PORTLAND, MAINE DEVELOPMENT REVIEW APPLICATION PLANNING DEPARTMENT PROCESSING FOR

	Signature	date	
S. Prince S. C. Addition			Defect Guarantee Released
expiration data	amount	submitted date	
	signature	aate	☐ Defect Guarantee Submitted
			Performance Guarantee Released
		date	
	signature	date	Certificate Of Occupancy
expiration date			☐ Final Inspection
	Conditions (See Attached)	date	
signature	remaining balance	date	Temporary Certificate of Comments
		WARE	Performance Guarantee Reduced
		date	Building Permit Issue
•	amount	date	
expiration date	Silverin		☐ Inspection Fee Paid
04/20/2004	\$55,000.00	11/18/2002 date	Performance Guarantee Accepted
	ubmitted as indicated below	ll a performance guarantee has been st	No building permit may be issued until a performance guarantee has been submitted as indicated below
	☐ Not Required	Required*	Performance Guarantee
Attached	11/19/2002 date	Kandi Talbot signature	Condition Compliance
Additional Sheets	Extension to	Approval Expiration 09/27/2003	Approval Date 09/27/2002
	☐ Denied	Approved w/Conditions See Attached	Approved
	Reviewer Sebago Technic		DRC Approval Status:
Date 11/14/2002	Eligilled Review \$318.00	H f	
		1.00 Subdivision	Fees Paid: Site Plan \$400 00
Other		Zoning Variance	Zoning ConditionalUse (ZBA/PB)
DEP Local Certification	HistoricPreservation	Shoreland	☐ Flood Hazard
14-403 Streets Review	☐ PAD Review	Subdivision # of lots	Site Plan (major/minor)
	7111		Check Review Required:
Zoning	Site	Units Acreage of Site	Proposed Building square Feet or # of Units
	Other (specify)	Distribution Parking Lot	448 sq. Ft.
☐ Residential ☐ Office Retail	☐ Building Addition ☐ Change Of Use ☐	New Building	*
<-Lot	Assessor's Reference: Chart-Block-Lot	e, Fax	Applicant or Agent Daytime Telephone, Fax
	Address of Proposed Site 314 B047001	Agent Fax:	Applicant Ph: (207) 856-1600 A
Project Name/Description d, Maine	ortlan		Constitute Anna Land
Drive-Thru Coffee Shop	10	E 04092	171 Brown Street #2, Westbrook, ME 04092
Application Date	, ,		Craig Rasmusson Applicant
Application I. D. Number	DRC Copy	c	
Application 1 D North	OCESSING FORM	TRAINING DEFARIA	

CITY OF PORTLAND, MAINE DEVELOPMENT REVIEW APPLICATION PLANNING DEPARTMENT PROCESSING FORM

2002-0094

	signature	date	
			Defect Guarantee Released
expiration date	amount	submitted date	Solver Sagrance Sobillitted
	signature	date	
		manaa, ma	Performance Guarantee Released
		date	Certificate Of Occupancy
	signature	date	
expiration date			Final Inspection
	Conditions (See Attached)	date	lemporary Certificate of Occupancy
signature	remaining balance	date	renormance Guarantee Reduced
		date	
			Building Permit Issue
	amount	date	
04/20/2004 expiration date	\$55,000.00 amount	date	Inspection Fee Paid
	Ibmitted as indicated below	a penomiance guarantee nas been si	Deformance Comments Associated below Deformance Comments Associated below
			* No building permit may be issued until
	☐ Not Required	✓ Required*	Performance Guarantee
	11/19/2002 date	signature	A Cryst some pointing Letting
Attached	mysel received		OK to Issue Built
	Extension to	Approval Expiration 09/27/2003	Approval Date 09/27/2002
	☐ Denied	Approved w/Conditions See Attached	Approved
	Reviewer Kandi Talbot		Planning Approval Status:
Date 11/14/2002	Engineer Review \$918.00	00 Subdivision	Fees Paid: Site Plan \$400.00
Other		Zoning Variance	☐ Zoning Conditional Use (ZBA/PB)
DEP Local Certification	☐ HistoricPreservation	Shoreland	☐ Flood Hazard
14-403 Streets Review	☐ PAD Review	Subdivision # of lots	Site Plan (major/minor)
			Check Review Required:
Zoning	Site	Jnits Acreage of Site	Proposed Building square Feet or # of Units
B 4	☐ Other (specify)	istribution 📋 Parking Lot	☐ Manufacturing ☐ Warehouse/Distribution 448 sq. Ft.
Residential 🔲 Office 😿 Retail	☐ Building Addition ☐ Change Of Use ☐ Re	New Building	ಷ
ot	Assessor's Reference: Chart-Block-Lot	Fax	Applicant or Agent Daytime Telephone, Fax
	Address of Proposed Site 314 B047001	Agent Fax:	Consultant/Agent Applicant Ph: (207) 856-1600 Ag
Project Name/Description d, Maine	Project N 519 - 519 Warren Ave, Portland, Maine		Applicative mailing Address
Drive-Thru Coffee Shop	Driv	04092	171 Brown Street #2, Westbrook, ME 04092
Application Date	Арр		Applicant
12/2002			
Application I. D. Number	Planning Copy App	Plar	

CITY OF PORTLAND, MAINE DEVELOPMENT REVIEW APPLICATION PLANNING DEPARTMENT PROCESSING FORM ADDENDUM

2002-0094 Application I. D. Number

1 See Planning conditions	2 II. triat the applicant provide an executed drainage maintenance agreement.	1 i. that the applicant install a 12" pipe from the catch basin inlet to the catch basin; and	Approval C	representations, rax	Applicant or Agent Paydimo Tyloshop F	Applicant Office Control of the Cont	Consultant/Agent		Applicant's Mailing Address	171 Brown Street #2, Westbrook, ME 04092	Applicant	Craig Rasmusson
Approval Conditions of DRC	intenance agreement.	ssin inlet to the catch basin; and	Approval Conditions of Planning	Assessor's Reference: Chart-Block-Lot	314 B047001	Address of Proposed Site	ortian	Project Name/Description	unve-inru comee Shop		Application Date	03/12/2002

Create Date:	Separate permits s	This permit is being app before starting that work	Conditions Section:	✓ OK to Issue Permit		Department: Zoning Comments: 519 Warn	
10/23/2002 By 88	Separate permits shall be required for any new signage	his permit is being approved on∥the basis of plans submitted. Any deviations shall require a separate approval efore starting that work.	tion:	Name		en Ave	Į
	new signage.	diplans sübmitled. An		Marge Schmuckal		Status Approved with Conditions	
Update Date: 11/05/		y deviations shall requ		Date 11/05/2	Given On Date	Approval Date	1000
11/05/2002 By m es		ure a separate appro		11/05/2002 Bate 2	e <u>[11/01/2002</u>	11/05/2002	

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Max Hor Act TAto 102 Lot Coverage (Impervious Surface-) 806 max of 6320 hoars Flood Plains - Parel 6 Frex Shoreland Zoning/Stream Protection -Servage Disposal - CA Date - New Site Plan - # 2002 - 009 f Side Yard 10' Teg - 1650 39' SC From Yard- 20' or Average Pers - 43' SCALLO Lot Street Frontage - 60'min - 79'Shi Proposed Use/Work - Co-Zone Location - B Applicant: Crang KASMMSSON Loading Bays - N/A Off-street Parking - retail - None reg word 2,0009 show Area per Family - N Lot Area - 10,000 Teg Height-65ft mt - 14'3" Showth Width of Lot - 60' 1-ch -79' She Projections - graterinh Rear Yard - 20'me . 41'Schler Address: 519 WASTEN ANE pr corner lot -CHECK-LIST AGAINST ZONING ORDINANCE Corner old fishe & south to The Colle & 12 C C 25. - 7,900 show Appetes (Addroin Date: 11/5/62 C-B-L: 314-7, 900A B-04748-S



CITY OF PORTLAND

CERTIFICATE OF VARIANCE APPROVAL

provisions of 30-A M.R.S.A. Section 4353(5) and the City of Portland's Code of Ordinances I, Elizabeth Bordowitz, the duly appointed Chair of the Board of Appeals for the City of Portland, Cumberland County and State of Maine, hereby certify that on the 4th day of April 2002, the following variance was granted pursuant to the

- Property Owner: Fredrick A. Writt & Colleen R. Writt
- Ы 517 Warren Avenue Property: Cumberland County Registry of Book 15648, Page 186 (Last recorded August 9, 2000 Deed in Chain of Title) CBL: 314-B-047, 48 & 55
- ယ reduction in lot size, from the required 10,000 s.f. to approximately 7,900 s.f. To allow for relief from Section 14-229.13 of the Zoning Ordinance in regards to dimensional requirement to allow a Variance and Conditions of Variance:

IN WITNESS WHEREOF, I have hereto set my hand and seal this day of, 2002

RECEIVED RECORDED REC

2002 JUN 13 를 다 다 기

CUMBERLAND COUNTY

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Spira

STATE OF MAINE Cumberland, ss.

her free act and deed in her capacity as Chairman of the Portland Board of Appeals. Then personally appeared the above-named Elizabeth Bordowitz

(Printed or Typed Name)

and acknowledged the above certificate to be

DEBORAH LYMTIN (edi Notary Public, Maine My Commission Expires April 7, 2003 or Typed Name) Notary Public

IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS WITHIN 90 DAYS FROM FINAL WRITTEN APPROVAL FOR THE VARIANCE TO BE VALID. FURTHERMORE, THIS VARIANCE IS SUBJECT TO THE LIMITATIONS SET FORTH IN SECTION 14-474 OF THE CITY OF PORTLAND'S CODE OF ORDINANCES PURSUANT TO 30-A M.R.S.A. SECTION 4353(5), THIS CERTIFICATE MUST BE RECORDED BY THE PROPERTY OWNER

CITY OF PORTLAND, MAINE DEVELOPMENT REVIEW APPLICATION PLANNING DEPARTMENT PROCESSING FORM

	PLANNING DEPAR	PLANNING DEPARTMENT PROCESSING FORM	2002-0094
)		Insp Copy	Application I. D. Number
Applicant 171 Brown Street #2, Westbrook, ME 04092	k, ME 04092		Application Date Drive-Thru Coffee Shop
Applicant's Mailing Address		Project N 519 - 519 Warren Ave, Portland, Maine	Project Name/Description nd, Maine
Consultant/Agent Applicant Ph: (207) 856-1600	Agent Fax:	Address of Proposed Site 314 B047001	
Applicant or Agent Daytime Telephone, Fax		Assessor's Reference: Chart-Block-Lot	ock-Lot
Proposed Development (check all that apply): Manufacturing Warehouse/Distributions Wareho	New Building	Building Addition Change Of Use Res	☐ Residential ☐ Office ☑ Retail
í			
Proposed Building square Feet or # of Units	# of Units Acreage of Site	of Site	Zoning
Check Review Required:			
Site Plan (major/minor)	Subdivision # of lots	PAD Review	14-403 Streets Review
Flood Hazard	Shoreland	HistoricPreservation	□ DEP Local Certification
Zoning Conditional Use (ZBA/PB)	☐ Zoning Variance		Other
Fees Paid: Site Plan	\$400.00 Subdivision	Engineer Review	Date 04/10/2002
Insp Approval Status:	☐ Approved w/Conditions See Attached	Reviewer Denied	
Approval Date	Approval Expiration	Extension to	Additional Sheets
	signature	date	
Performance Guarantee	Required*	☐ Not Required	
* No building permit may be issue	* No building permit may be issued until a performance guarantee has been submitted as indicated below	en submitted as indicated below	
Inspection Fee Paid	preddate	amount	expiration date
Building Permit Issue	date	amount	
	date	ľ	
Performance Guarantee Reduced	roed date	remaining balance	signature
Temporary Certificate of Occupancy	pancy date	Conditions (See Attached)	expiration date
Final Inspection			exprisaroli date
Certificate Of Occupancy	date	signature	
Performance Guarantee Released			
Defect Guarantee Submitted	valo	signature	
Defect Guarantee Released	annillimed date	amount	expiration date
	date	signature	

Craig Rasmusson 171 Brown St #2 Westbrook, ME 04092 (207) 854-4015

March 12, 2002

Planning Review Board 318 Congress Street Portland, ME 04092

Reference: Minor site plan review for Bellingham Coffee Co., Drive Thru Coffee. Ave. Portland, ME. Located at 519 Warren

Dear Plan Review Board,

Enclosed you will find a Minor Site Plan Review Application along with a check for \$400. The proposed plan will be a 16'x 28'(448 square feet) double drive thru coffee shop located at 519 Warren Ave. in Portland, ME.

·Bellingham Coffee Co. is a drive thru "only" retail establishment. There is no sit down or walk up. The lot is 7,900 square feet with an existing right of way for a total of 10,400 square feet. of the variance, ROW and written permission to tie into private sewer. I have enclosed copies

bake or cook any items on premise. We only brew coffee espresso drinks (café latte, café mocha, cappuccino, etc.), chai tea, bulk coffee, hot chocolate, fruit juices etc. Our only food items are delivered or picked up. They include pastries, donuts and bagels. We do not Bellingham Coffee Co. is drive thru coffee shop. window located on each side. We sell mostly coffee items. The 448 square foot building will have a drive thru Our menu includes coffee, iced coffee,

We will be providing 350 cars a day with coffee and like items based on our projections. Our hours will be from 5:30 a.m. till 7:30 p.m. Monday through Friday and 7:00 a.m. till 7:00 p.m. Saturday and Sunday.

6:30 a.m. and 10:30 a.m. The other 50% are spread between the remaining 10 hours. The average order time is one minute. Cars are released in intervals and have two windows to choose from for there service. Based on our current downtown Westbrook, ME location we will do 50% of business between the hours of Traffic moves smooth.

which is a vacated road and part of our right of way. For ingress and egress we will be utilizing an existing curb cut located on Warren Ave. and Fiske St.

forward to the permitting process. Thank you for your time and consideration. I feel confident that this project makes sense and I look

Sincerely

Craig Rasmusson

Owner, President, Bellingham Coffee Co. Inc.

City of Portland Site Plan Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Phone: 856-1600	Contact person:	State and Zip: Westbrook, ME
(207) 		Mailing address: 820 Main St
	SMUSSOH	Who billing will be sent to: Crain RASMUSSON
0	Minor Development X \$400.00	Major Development \$500.00
ditionChange of Use 1Parking lot	applies) X New BuildingBuilding Addition ManufacturingWarehouse/Distribution	Proposed Development (check all that applies) X New Building
Coffee	Uraig RASMUSSEN 171 Brown Stad Westbrook, ME- 04092	
Project name:	_	Consultant/Agent, mailing address, phone & contact person
	Partland, ME 04/03	040 W 040
Telephone: (207) 773-8/00	Property owner, mailing address:	Tax Assessor's Chart, Block & Lot Chart# Block# Lot#
	re Square Footage of Lot $1,900$	Total Square Footage of Pronound Structure 448
	519 Warren Ave.	Location/Address of Construction:

Nine (9) separate packets must include the following:

- a. copy of application
- b. cover letter stating the nature of the project
- site plan containing the information found in the attached sample plans check list

All plans must be folded neatly and in packet form

Section 14-522 of the Zoning Ordinance outlines the process, copies are available at the counter at .25 per page, you may also visit the web site: ci.portland.me.us chapter 14

shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued. I certify that the Code Official's authorized representative to this permit.

orginalize of application.	Signature of applicant.
Date: 5/12/02	

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construct

EASEMENT DEED

northerly side of Warren Avenue, Portland, Maine, described as follows: and Colleen R. Writt dated March 2, 2000 and recorded in Cumberland County Registry of Deeds in Book of the Grantee, as described in a deed from Craig E. Winslow and Laurie L. Winslow to Frederick A. Writt (collectively "Grantee"), as joint tenants, their heirs and assigns, for the benefit of and appurtenant to land Hampshire, for consideration paid, release to FREDERICK A. WRITT and COLLEEN R. WRITT with a mailing address of 28 Isaac Lucas Circle, Dover, New Hampshire 03820, Strafford County, New 15385, Page 84 (the "Benefited Parcel"), easements over and across the following property located on the WARREN AVENUE REALTY TRUST under Declaration of Trust dated April 17, 1987 ("Grantor") KNOW ALL BY THESE PRESENTS, That I, EDWARD J. BLEILER, TRUSTEE OF

Vehicular Access

gate and fence are labeled and depicted on a survey entitled "BJ's Wholesale Club, Portland, Maine prepared by E.C. Jordan Co. dated August 6, 1990 as revised through August 13, 1990 and recorded in Cumberland County Registry of Deeds in Book 187, Page 7 (the "Survey"). said Fiske Street (the "Easement Parcel"); the location of said Fiske Street and Grantor's approximately seventy-three (73) feet to Grantor's existing gate and fence located across being 50 feet in width and running in a northerly direction from Warren Avenue and others, for purposes of vehicular access over and across that portion of Fiske Street A perpetual, non-exclusive easement, in common with Grantor, its successors, assigns

westerly side of the driveway on the Easement Parcel driveway on the Easement Parcel. Grantor shall be responsible for the cost of curbing the further agrees to curb, at Grantee's sole cost and expense, the easterly side of the drive on the Easement Parcel to, but not greater than, the width of Fiske Street. Grantee gate and fence. With Grantor's consent, Grantee may increase the width of the paved of Warren Avenue approximately seventy three feet (73') to the location of said Grantor's driveway on the Easement Parcel running in a northerly direction from the northerly side Grantee hereby agrees to repave, at Grantee's sole cost and expense, the existing Upon construction of any structure or other improvement on the Benefited Parcel,

Survey and as further described in deeds recorded in Cumberland County Registry of sufficient size and length along the easterly boundary of the Easement Parcel to provide or assigns. Upon construction of the Access Drive, Grantee shall install a culvert of relocate the Access Drive without the advance written consent of Grantor, its successors compliance with all applicable laws, rules and regulations. Grantee shall not thereafter of the Access Drive shall not interfere with said Grantor's existing fence and gate and expense, a paved access drive providing access from the Easement Parcel to the Benefited Parcel (the "Access Drive"); provided that Grantee's construction and operation Also conveying the right to construct, operate, repair and replace, at Grantee's sole cost for stormwater and surface water runoff from Grantor's other land as depicted on the Grantee's construction and operation of the Access Drive shall be performed in full

basins on Warren Avenue Deeds in Book 7909, Page 131 and in Book 8390, Page 101, to the storm sewer catch

Utilities

at its sole cost and expense for the installation, maintenance and repair of any Utility limited to, water, sewer and electrical lines (the "Utility Lines") extending from Warren Parcel for the construction, operation and maintenance of utilities, including, but not Also conveying the right and easement over, across, through and under the Easement Avenue across the Easement Parcel to the Benefited Parcel. Grantee shall be responsible shall be: (i) in compliance with any and all governmental authorities and requirements. maintenance, repair and other work on Utility Lines or any other work performed on the restoration of the Easement Parcel to the same condition as existed prior to the high grade and quality; (iii) include as part of such maintenance, repair and other work or applicable thereto; (ii) be performed in a good workmanlike manner using materials of a Easement Parcel performed by Grantee, its agents, employees, successors and assigns Lines within the Easement Parcel that solely serve the Benefited Parcel. All construction, Easement Parcel to a safe and suitable condition during any period during which work on the Utility Lines or any other work on the Easement Parcel is interrupted. other work cannot be completed in a single day, include the daily restoration of the use of the Easement Parcel for its intended purposes; and (v) if the repair, maintenance or delays, and only on days and during hours that will not unreasonably interfere with the commencement of such work; (iv) be performed with due diligence and dispatch without

modifications or alterations must be paid by Grantor. Easement Parcel, provided that all costs and expenses related to such connection Grantor shall have the right to connect into the Utility Lines installed within the

Landscaping

other land to the storm sewer catch basins on Warren Avenue. Grantor's existing gate and Grantee shall not interfere with stormwater or surface water runoff from said Grantor's the driveway on the Easement Parcel; provided however, that any improvements made by Parcel and the westerly boundary of the Benefited Parcel, and to curb the easterly edge of Fiske Street located between the easterly edge of the paved driveway on the Easement Also conveying the right to enter upon the Easement Parcel to landscape that portion of access from the Easement Parcel to the Benefited Parcel are prohibited. in the exercise of the within granted rights and easements. Sidewalks and pedestrian fence located in the northeasterly portion of the Easement Parcel shall remain undisturbed

Maintenance and Operation

covenants and agrees to pay to Grantor a fee (the "Maintenance Fee") equal to thirty (30) include all services and materials necessary for the operation and upkeep of the driveway driveway on the Easement Parcel in good condition and repair. Maintenance costs shall percent of the annual maintenance and repair costs (the "Maintenance Costs") to keep the Upon construction of any improvements on the Benefited Parcel, Grantee hereby patching, regrading, repaving, restriping and repair, snow, ice and debris removal. The on the Easement Parcel and all related improvements, including without limitation any Maintenance Fee shall be paid within ten (10) days after the invoice is given to Grantee

Drive or any other land of the Grantor, by reason of the acts of Grantee, Grantee shall mechanics', materialmen's or other liens be filed against the Easement Parcel, Access Easement Parcel and Access Drive free of liens for labor or materials. Should the Easement Parcel, the Access Drive, or any portion thereof, and shall keep the Grantee shall promptly pay when due the entire cost of all work done by it which affects Grantee shall reimburse Grantor upon demand. pay, bond or vacate such liens within ten (10) days of receiving actual notice of such liens. If not promptly paid, Grantor shall have the right, at its option, to pay such lien and

insurance

respect to the Easement Parcel and Access Drive from a reputable insurance company Grantee shall obtain and maintain, public liability and property damage insurance with additional insured licensed in Maine in such amounts as Grantee shall deem proper, naming Grantor as an

Indemnity

and permittees of the rights granted or described herein, except in the case of intentional by Grantor as a result of or in connection with the exercise by Grantee and its invitees or fees related to litigation or alternative dispute resolution and attorneys' fees, incurred Grantee does hereby indemnify and hold Grantor, its successors and assigns, harmless misconduct or willful violation of law by Grantor. from and against any and all liability, loss, cost, damage or expense, including court costs

Not a Public Dedication

Nothing herein contained shall be deemed to be a gift or dedication of either the any third-party be deemed to be a beneficiary of any of the provisions contained herein. privileges or immunities of Grantee shall inure to the benefit of any third-party, nor shall public use or purpose whatsoever. Except as herein specifically provided, no right, Easement Parcel or Access Drive or any portion thereof to the general public, or for any

utility lines as they may now exist or hereafter be granted by Grantor. further subject to the right of public utility companies servicing, owning or having easements for 316 and subject to all easements and conditions as depicted on the Survey. This easement is Partnership, dated August 23, 1990 and recorded in said Registry of Deeds in Book 9300, Page This conveyance is made subject to a Grant of Easement to BJ/Portland Limited

WITNESS my hand and seal this 35 day of Jeely ... 20

Witness:

WARREN AVENUE REALTY TRUST CHARGE AVENUE REALTY TRUST By: Edward J. Bleiley Trustee of Warren Avenue Realty Trust	

execution of this Easement Deed. Frederick A. Writt and Colleen R. Writt, the Grantees herein, hereby consent to and join in the

Frederick A. Writt

Colleen R. Writt

COUNTY OF_ STATE OF NEW HANGSHIRE ORING Jrs bea SS.

foregoing instrument to be his free act and deed. Bleiler, in his Lapachy as Trustee of Warren Avenue Realty Trust and acknowledged the _, 2000, personally appeared the above-named Edward J.

Before me,

Printed Name: JACOVECY O. KURZ

STATE OF MAINE COUNTY OF Combelland ss

On 300, 2000, personally appeared the above-named Frederick A. Writt and Collech R. Writt and severally acknowledged the foregoing to be their free act and

Before me,

Notary Fublic /a Holher at his



Warren Avenue Realty Trust

19 Crawford Street • P.O. Box 127 • Needham Heights • Massachusetts 02194 • 617-444-3700

Feb 5, 2002

Track St.



Department of Urban Development
Joseph E. Gray, Jr.
Director

CITY OF PORTLAND

CERTIFICATE OF VARIANCE APPROVAL

I, Elizabeth Bordowitz, the duly appointed Chair of the Board of Appeals for the City of Portland, Cumberland County and State of Maine, hereby certify that on the 16th day of March, 2000, the following variance was granted pursuant to the provisions of 30-A M.R.S.A. Section 4353(5) and the City of Portland's Code of Ordinances.

- 1. Property Owner: Craig & Laurie Winslow
- 'n 519 Warren Avenue Property: Cumberland County Registry of Book (Last recorded Deed in Chain of Title) CBL: 314-B-047, 048, 055 , Page

ω

the applicants plans in a recordable instrument within 6 months from date of approval. dimensional requirements. Condition: The Applicant must acquire the rights to Fiske St., or those portions shown on To allow for relief from Section 14-229.13(1) (minimum lot size requirement) of the Zoning Ordinance in regards to Variance and Conditions of Variance

IN WITNESS WHEREOF, I have hereto set my hand and seal this ر س day of スペーでい , 1999, 3*CO* 0

Elizabeth L. Rochan

(Printed or Typed Name)

STATE OF MAINE Cumberland, ss.

Then personally appeared the above-named

Elizabeth Bordowtiz

free act and deed in her capacity as Chairman of the Portland Board of Appeals. and acknowledged the above certificate to be her

My Commission Extraga Act 7, 2003

(Printed or Typed Name)

Notary Public

PURSUANT TO 30-A M.R.S.A. SECTION 4353(5), THIS CERTIFICATE MUST BE RECORDED BY THE PROPERTY OWNER IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS WITHIN 90 DAYS FROM FINAL WRITTEN APPROVAL FOR THE VARIANCE TO BE VALID. FURTHERMORE, THIS VARIANCE IS SUBJECT TO THE LIMITATIONS SET FORTH IN SECTION 14-474 OF THE CITY OF PORTLAND'S CODE OF ORDINANCES.

PDV.FRM (Rev. 05/99)

PRACTICAL DIFFICULTY VARIANCE

DECISION

Name and address of applicant: (raif + (aurix Winslow)	zurie Winslow
1. No Way Falmouth ME OHIOS	WE OHIOS
Location of property under appeal: S19 C	Location of property under appeal: SIA Warren Ave Map 314 Block B, Let 4
Appearances.	
Names and addresses of witnesses (proponents, opponents and others):)pponents and others):
Exel Write as Mart Rel (buya)	Robert Havis Toglast

Exhibits APPLICATIONS. , प्रवायमन १५५०मा ए

CERTIFICATION BY ZONING ADMINISTRATOR

The Zoning Administer hereby certifies that:

- IJ area, nor setting of single-component manufactured homes). 473(c)(4) (relief limited to minimum variance required); nor §14-473(c)(3)(c) (specific variances prohibited); nor §14-473(c)(3)(d) (no relief for volume, floor forth in sections 14-473(c)(3)(a)(6) (shoreland and flood hazard areas); nor §14-473(c)(3)(b)(1) (dimensional standards); and is not barred by the exceptions set The Practical Difficulty variance applied for is permitted under §14-
- Ċ, in this article. in 38 M.R.S.A. §435, nor within a shoreland zone or flood hazard zone as defined The property is not located, in whole or in part, within a shoreland area, as defined

4.	No other feasible alternative is available to the applicant, except a variance: IT IS NOT (deny application)
	Comment:
<u>ن</u>	The granting of a variance will not have an unreasonably adverse effect on the natural
	environment: IT WILL NOT IT WILLO (deny application)
	Comment:
9.	Strict application of the dimensional standards of the ordinance to the subject property will preclude a use which is permitted in the zone in which the property is located. IT WILL NOT O (deny application)
·	Comment:
7.	Strict application of the dimensional standards of the ordinance to the subject property will
	result in economic injury to the applicant. IT WILL IT WILL NOT (deny application)
,	Comment:
If the a	If the appeal is granted, does the Board wish to impose conditions which will further the intent
SEX	YES
NO	
Specifi	Specific Conditions:
1	