

**PERMIT ISSUED**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0195	Issue Date: APR 15 2003	CBL: 070 A005001
Location of Construction: 54 St John St	Owner Name: St John Street Associates	Owner Address: Po Box 4821
Business Name: n/a	Contractor Name: Apex Construction	Contractor Address: PO Box 419 Chocorua
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Commercial
Past Use: Commercial / Processes Poultry Products	Proposed Use: Processes Poultry/Products / New Building for Pretreatment Facility	Permit Fee: \$1,815.00
		Cost of Work: \$255,500.00
		CEO District: 3
		Zone: <b>IMB</b>

Proposed Project Description: **New Building for Pretreatment Facility**

Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Date: _____

Permit Taken By: <b>gs</b>	Date Applied For: <b>03/14/2003</b>	<b>Zoning Approval</b>	
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.		<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied
2. Building permits do not include plumbing, septic or electrical work.		<input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.		<input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input type="checkbox"/> Approved <input type="checkbox"/> Denied

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

# CITY OF PORTLAND, MAINE

## PLANNING BOARD

March 23, 2001

Stephen Barber  
Barber Foods  
54 St. John Street  
Portland, ME 04102

Jaimy Caron, Chair  
Deborah Krichels, Vice Chair  
Kenneth M. Cole III  
Cyrus Y. Haggge  
Erin Rodriguez  
Mark Malone  
Orlando E. DeLogu

re: Barber Foods Expansion CBL# 070 A005001

Dear Mr. Barber:

On February 27, 2001, the Portland Planning Board voted unanimously (6-0; Cole absent) to approve the site plan application for the expansion of the Barber Foods plant. The Board found that the application met the standards of the Site Plan ordinance of the Land Use Code.

The approval was granted for the project with the following conditions:

- i. That prior to issuance of a building permit, the applicant revise the site plan to include
- ii. modifications to allow a turning area to the rear of the Texaco parking lot.
- iii. That the applicant revise the site plan to reflect proposed grading and drainage of the Texaco parking lot.
- iv. That the plans be revised to include the as-built grades of the access drive from the new loading area.
- v. That the final site plans be stamped by a registered engineer and
- vi. That the survey and legal description for the Texaco lot be reconciled.
- vii. That the ability to permit parking on the Portland Water District easement be confirmed.
- viii. That illegal mobile temporary sign be removed from the site.

The Planning Board also granted a waiver of the technical standards, finding that extraordinary conditions do exist, ie. the nature of shift work at the Barber Foods plant to allow stacked parking:

The Board further found that the granting of the waiver will not create potentially hazardous vehicle and pedestrian conflict or that it will/will not nullify the intent and purpose of the land development plan and the City ordinances.

The approval is based on the submitted site plan and the findings related to site plan review standards as contained in Planning Report #10-01, which is attached.

Please note the following provisions and requirements for all site plan approvals:

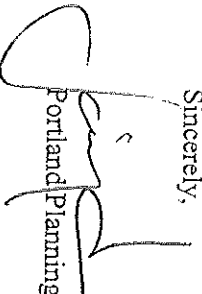
1. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

2. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Works representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.
5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection (874-8632) Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact the Planning Staff.

Sincerely,



Chair  
Portland Planning Board

cc: Joseph E. Gray, Jr., Director of Planning and Urban Development  
Alexander Jaegerman, Chief Planner  
Sarah Hopkins, Development Review Program Manager  
P. Samuel Hoffes, Building Inspector  
Marge Schmuckal, Zoning Administrator  
Tony Lombardo, Project Engineer  
Development Review Coordinator  
William Bray, Director of Public Works  
Nancy Knauber, Associate Engineer  
Jeff Tarling, City Arborist  
Penny Littell, Associate Corporation Counsel  
Lt. Gaylen McDougall, Fire Prevention

✓ Inspection Department  
Lee Urban, Director of Economic Development  
Don Hall, Appraiser, Assessor's Office  
Susan Doughty, Assessor's Office  
Approval Letter File

070-ACCS



*State of Maine*  
*Department of Public Safety*  
**Construction Permit**



Reviewed  
for Barrier  
Free

# 12049

Sprinkled  
Sprinkler Supervised

**WEST ADDITION LUNCHROOM**  
Located at: 54 ST. JOHN STREET  
**PORTLAND**  
Occupancy/Use: INDUSTRIAL

Permission is hereby given to:

BARBER FOODS

PO BOX 4821  
PORTLAND, ME 041124821

to construct or alter the afore referenced building according to the plans hitherto filed with the Commissioner and now approved. no departure from application form/plans shall be madewithout prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F. Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

*This permit will expire at midnight on the 4th of May 2002*

Dated the 5th day of November A.D. 2001

Commissioner

Fee: \$100.00  
\$25.00

**Copy-3 Code Enforcement Officer**

Comments: ALL DOORS TO HAVE ADA LEVER HARDWARE

Code Enforcement Officer  
PORTLAND, ME

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>DEMITTED</b>		<b>Permit No:</b> 02-0068	<b>Issue Date:</b>	<b>CBL:</b> 070 A005001
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<b>Location of Construction:</b> 54 St John St	<b>Owner Name:</b> St John Street Associates	<b>Owner Address:</b> Po Box 4821	<b>Phone:</b>
<b>Business Name:</b> n/a	<b>Contractor Name:</b> Atlantic Comfort Systems	<b>Contractor Address:</b> PO Box 665 Bidddeford	<b>Phone:</b> 2072846360
<b>Lessee/Buyer's Name:</b> n/a	<b>Phone:</b> n/a	<b>Permit Type:</b> HVAC	<b>Zone:</b> IFWB

<b>Past Use:</b> Commercial	<b>Proposed Use:</b> Commercial / Install Gas Self-Contained Roof Top	<b>Permit Fee:</b> \$30.00	<b>Cost of Work:</b> \$0.00	<b>CEO District:</b> 3
		<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>INSPECTION:</b> Use Group: <input checked="" type="checkbox"/> Type: BOCA 43 Mech	

**Proposed Project Description:**  
Install Heating System

**Signature:** \_\_\_\_\_ **Signature:** \_\_\_\_\_

**Action:**  Approved  Approved w/Conditions  Denied

**Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

<b>Permit Taken By:</b> SG	<b>Date Applied For:</b> 01/23/2002	<b>Zoning Approval</b>		
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: _____</p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p><b>Historic Preservation</b></p> <p><input type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

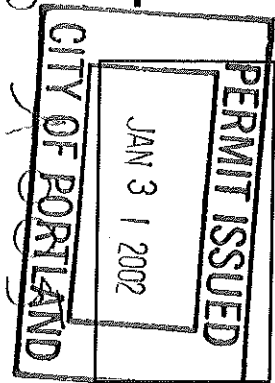
**SIGNATURE OF APPLICANT** \_\_\_\_\_ **ADDRESS** \_\_\_\_\_ **DATE** \_\_\_\_\_ **PHONE** \_\_\_\_\_

**RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE** \_\_\_\_\_ **DATE** \_\_\_\_\_ **PHONE** \_\_\_\_\_



FILL IN AND SIGN WITH INK

# APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT



070

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:  
(Lunch Room Addition)

Location 54 ST. JOHN ST. Use of Building Food Processor Date 1-21-02

Name and address of owner of appliance BARBER Foods, 54 ST. JOHN ST. Portland,

Barclay ME 04105 392 Hill St Box # 665

Installer's name and address Atlantic Comfort Systems, 392 Hill St Box # 665

Barclay ME 04105 Telephone 207-284-0240

**Location of appliance:**

- Basement
- Floor
- Attic
- Roof

**Type of Fuel:**

- Gas
- Oil
- Solid

Appliance Name: TRAILER ROOF TOP

U.L. Approved  Yes  No

Will appliance be installed in accordance with the manufacturer's installation instructions?  Yes  No

IF NO Explain: \_\_\_\_\_

**The Type of License of Installer:**

- Master Plumber # \_\_\_\_\_
- Solid Fuel # \_\_\_\_\_
- Oil # \_\_\_\_\_
- Gas # PWT 687
- Other \_\_\_\_\_

Type of Chimney: Self contained Roof top

Masonry Lined

Factory built NA

Metal

Factory Built U.L. Listing # NA

Direct Vent

Type NA U.L.# \_\_\_\_\_

Type of Fuel Tank

- Oil
- Gas

Size of Tank NA

Number of Tanks NA

Distance from Tank to Center of Flame NA feet.

3000

**Approved**

Fire: Almy

Ele.: \_\_\_\_\_

Bldg.: SK

**Approved with Conditions**

See attached letter or requirement

Signature of Installer

Michael S. McNamee

White - Inspection

Yellow - File

Pink - Applicant's

Gold - Assessor's Copy

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0323	Issue Date: MAY 29 2003	CBL: 070 A005001
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Location of Construction: 54 St John St	Owner Name: St John Street Associates	Owner Address: Po Box 4821	Phone: 772-1934
Business Name:	Contractor Name: Applicant	Contractor Address: Portland	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: Additions - Commercial	Zone: 1M6

Past Use: Vacant (formerly Century Tire)	Proposed Use: Barber Foods with temporary 12' x 56' trailer to use as classrooms for 90 days	Permit Fee: \$126.00	Cost of Work: \$3,324.00	CEO District: 3
Proposed Project Description: Install a Temporary 12' x 56' Trailer for use as Classrooms for 90 Days		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>Temp</i>	Type: <i>Temp</i>

Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Date:

Permit Taken By: gad	Date Applied For: 04/14/2003	<b>Zoning Approval</b>	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
<input checked="" type="checkbox"/> Site Plan <i>Plan extension</i> <input type="checkbox"/> Major <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input type="checkbox"/> Approved <input type="checkbox"/> Denied
Date: <i>04/14/2003</i>	Date: <i>04/14/2003</i>	Date: <i>04/14/2003</i>

PERMIT ISSUED  
 MAY 29 2003  
 CITY OF PORTLAND

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK PERMIT ISSUED  
CITY OF PORTLAND

Please Read Application And Notes, if Any, Attached

BUILDING INSPECTION

PERMIT

APR 15 2003  
Permit Number: 03d195

CITY OF PORTLAND

This is to certify that St John Street Associates/Architect Construction  
has permission to New Building for Pretreatment Facility

AT 54 St John St 070 A005001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Inspection on must be made before the permit is issued or renewed or extended. If the work is not completed within the time specified in the permit, a new permit must be obtained. If the work is not completed within the time specified in the permit, a new permit must be obtained. If the work is not completed within the time specified in the permit, a new permit must be obtained.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. HMJ

Health Dept. \_\_\_\_\_

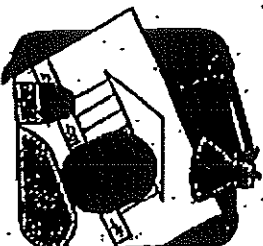
Appeal Board \_\_\_\_\_

Department Name

PENALTY FOR REMOVING THIS CARD

Director - Building & Inspection Services

*[Handwritten Signature]*  
4415703



# CITY OF PORTLAND MAINE

389 Congress St, Rm 315  
Portland, ME 04101  
Tel. - 207-874-8704  
Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine  
Planning & Urban Development  
Division of Housing & Community Services

FROM DESIGNER: JAMES A. THIBODEAU P.E.  
ASSOCIATED Design Partners, Inc.

DATE: MARCH 11, 2003

Job Name: BARBER FOODS WASTE WATER TREATMENT BLDG.

Address of Construction: 54 ST JOHN STREET

**THE BOCA NATIONAL BUILDING CODE/1999 FOURTEENth EDITION**  
Construction project was designed according to the building code criteria listed below:

Building Code and Year BOCA 1999 Use Group Classification(s) F-2

Type of Construction 1B Bldg Height 20'-3" (MAX.) Bldg Sq. Footage 2744 SF

Seismic Zone 2 Group Class F-2

Roof Snow Load Per Sq. Ft. 55 psf + DEIFT Dead Load Per Sq. Ft. MATERIAL W/T + 10 psf.

Basic Wind Speed (mph) 85 mph Effective Velocity Pressure Per Sq. Ft. 18 psf (Param); 40 psf (CIC)

Floor Live Load Per Sq. Ft. 250 psf

Structure has full sprinkler system? Yes No Alarm System? Yes No No. X

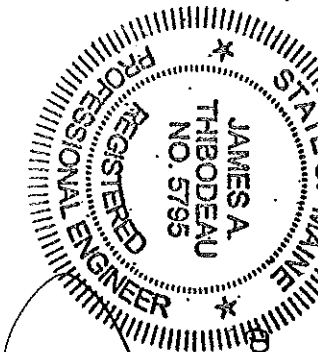
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building? Yes No No. X

If mixed use, what subsection of 313 is being considered N/A

List Occupant loading for each room of spaces designed into this Project. N/A

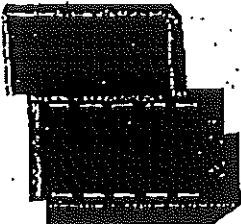
PSH 61072K



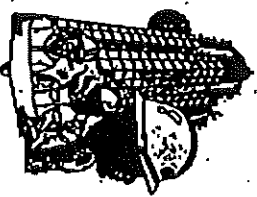
Designers' Stamp & Signature)

*James A. Thibodeau*

3.11.03



CITY OF PORTLAND  
 BUILDING CODE CERTIFICATE  
 389 Congress St., Rm 315  
 Portland, ME 04101



TO: Inspector of Buildings City of Portland, Maine  
 Department of Planning & Urban Development  
 Division of Housing & Community Service

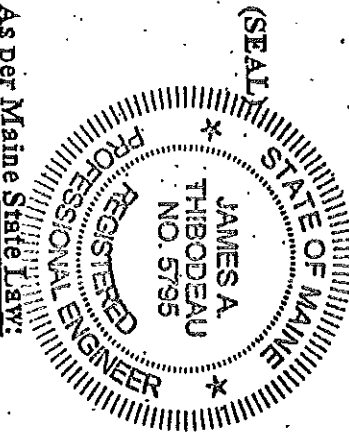
FROM: JAMES A. THIBODEAU P.E.

RE: Certificate of Design

DATE: MARCH 11, 2003

These plans and/or specifications covering construction work on:  
BARBER FOODS WASTE WATER PRE-TREATMENT Bldg.

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition; and local amendments.



Signature: [Handwritten Signature]  
 Title: President / Senior Engineer  
 Firm: ASSOCIATED DESIGN PARTNERS, INC  
 Address: 80 LEIGHTON RD FALMOUTH, ME 04105

As per Maine State Law:  
 \$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



CITY OF PORTLAND  
ACCESSIBILITY CERTIFICATE

Designer: James A. Thibodeau, P.E.

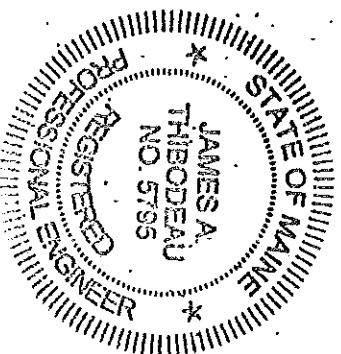
Address of Project 541 ST. JOHN STREET

Nature of Project Waste Water Post-Treatment Bldg.  
(New Construction)

Date March 11, 2003

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

(SEAL)



Signature: *James A. Thibodeau*

The President / Senior Engineer  
EEM Associated Design Partners, Inc.

Address 80 Leighton Rd

FALMOUTH, ME 04103

Telephone 878-1751

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: Barber Foods-54 St. John Street, Portland, ME 04102	
Total Square Footage of Proposed Structure 2,244	Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# 070 Block# A 003 Lot# 3	Owner: Barber Foods 54 St. John Street Portland, ME 04102
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: Apex Construction PO Box 419 Chocorua, NH 03817 603-323-9300
Current use: Processes Poultry Products	Telephone: 207-856-1430
If the location is currently vacant, what was prior use: _____	Cost of Work: \$ <del>255,500</del> 1815.00
Approximately how long has it been vacant: _____	Fee: \$ 1815.00
Proposed use: Pretreatment Facility	
Project description: _____	
Contractor's name, address & telephone: _____	
Who should we contact when the permit is ready: Apex Construction _____	
Mailing address: P.O. Box 419 - Chocorua, NH 03817	
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work. With a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 603-323-9300 rhc 207-650-6006	

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 3/14/03
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

# Memorandum

20250114 10:03:53 AM [Redacted]

**To:** Jim Thibodeau  
**From:** Mike Nugent/manager of Inspection Services  
**Date:** 04/01/2003  
**Re:** Barber Foods 54 St. John St. (070 A005) Application # 030195

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A review of the submissions for the above permit is partially complete. I have the following questions/comments:

- 1) The travel area on the floor plan is difficult to follow. I'm having some difficulty determining if the travel distance is 75' or less, it appears to be more which will require a second means of egress.
- 2) What is the fire rating of the exterior block wall on the north and east side of the building?
- 3) Are there walking surfaces adjacent to any open tanks, or other elevated floor systems? If so what are the proposed guard systems?
- 4) We require either a CD with .pdf files of the construction documents OR a set of 11" x 17" plans for archiving purposes.

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	03-0195	Date Applied For:	03/14/2003	CBL:	070 A005001
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Location of Construction:	54 St John St	Owner Name:	St John Street Associates	Owner Address:	Po Box 4821	Phone:	207-323-9300
Business Name:	n/a	Contractor Name:	Apex Construction	Contractor Address:	PO Box 419 Chocorua	Phone:	(603) 232-9300
Lessee/Buyer's Name	n/a	Phone:	n/a	Permit Type:	Commercial		

Proposed Use:	Processes Poultry Products / New Building for Pretreatment Facility	Proposed Project Description:	New Building for Pretreatment Facility
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**Dept:** Zoning      **Status:** Approved      **Reviewer:** Marge Schmuckal      **Approval Date:** 03/14/2003  
**Note:** 3/14/03 talked to Sarah - they are expecting the performance guarantee to come in sometime today - It's ok to **Ok to Issue:**   
start site work only on Monday - no building construction until permit is issued is the understanding

**Dept:** Building      **Status:** Approved      **Reviewer:** Mike Nugent      **Approval Date:** 04/15/2003  
**Note:**  **Ok to Issue:**

**Dept:** Fire      **Status:** Approved      **Reviewer:** Lt. McDougall      **Approval Date:** 03/18/2003  
**Note:**  **Ok to Issue:**

**Comments:**

3/19/2003-mjn: Engineering report from S.W. Cole and H.B. Fleming conflict, contacted Fleming and requested that the items be reviewed and amended plans be submitted. No work can start until performance guarantees are furnished.  
Received info  
Piling permit issued

4/1/2003-mjn: sent puchlist of questions to Jim Thibodeau  
Questions addressed. Mjn

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
03-0195	03/14/2003	070 A005001

Location of Construction:	Owner Name:	Owner Address:	Phone:
54 St John St	St John Street Associates	Po Box 4821	207-323-9300
Business Name:	Contractor Name:	Contractor Address:	Phone
n/a	Apex Construction	PO Box 419 Chocorua	(603) 232-9300
Lessee/Buyer's Name	Phone:	Permit Type:	
n/a	n/a	Commercial	

Proposed Use:	Proposed Project Description:
Processes Poultry Products / New Building for Pretreatment Facility	New Building for Pretreatment Facility

Dept: Zoning      Status: Approved      Reviewer: Marge Schmuckal      Approval Date: 03/14/2003

Note: 3/14/03 talked to Sarah - they are expecting the performance guarantee to come in sometime today - It's ok to OK to Issue:  start site work only on Monday - no building construction until permit is issued is the understanding

Dept: Building      Status: Pending      Reviewer: Mike Nugent      Approval Date:

Note:  OK to Issue:

Dept: Fire      Status: Approved      Reviewer: Lt. McDougall      Approval Date: 03/18/2003

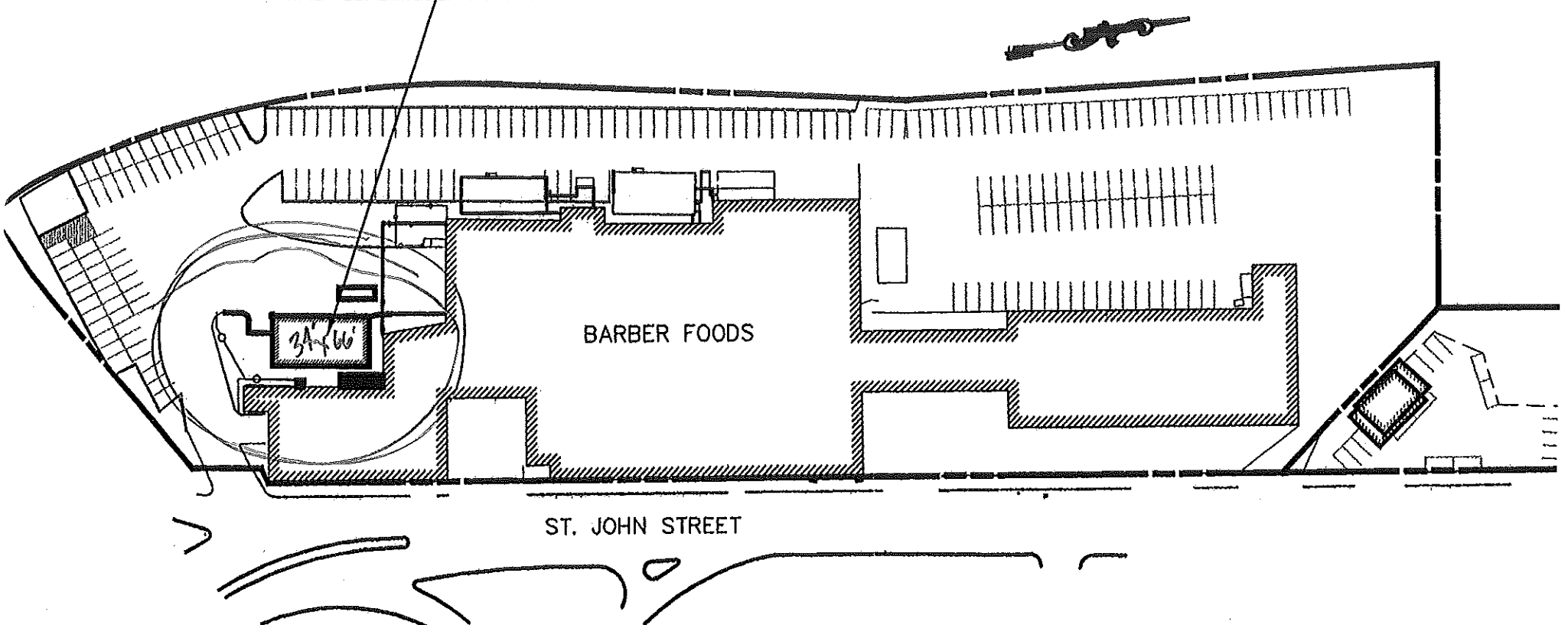
Note:  OK to Issue:

**Comments:**

03/19/2003-mjn: Engineering report from S.W. Cole and H.B. Fleming conflict contacted Fleming and requested that the items be reviewed and amended plans be submitted. No work can start until performance guarantees are furnished.



PROPOSED NEW WASTE WATER  
PRETREATMENT BLDG.



ST. JOHN STREET

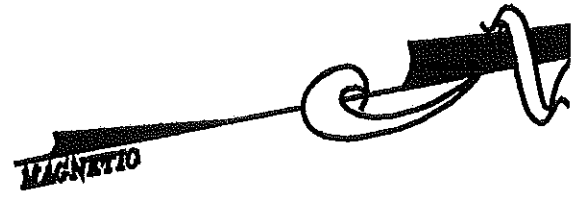
*IMb Zone - Does Not Abut  
A Residential*

**LOCATION MAP**

*100% lot coverage*  
*75' max bldg height - 1 story shown*  
*Zone* SCALE 1"=100'

*min side yd: none req'd*  
*min rear yd: none req'd*  
*min front yd: none req'd*  
*No parking req'd*

APPROVAL CITY OF PORTLAND  
PLANNING BOARD \_\_\_\_\_ DATE





• Geotechnical Engineering • Field & Lab Testing • Scientific & Environmental Consulting

02-0956-1  
March 21, 2003

EER, Inc.  
Attn: Bob Larsen  
222 St. John Street Suite 314  
Portland, Maine 04102

Subject: Barber Foods Pretreatment Building  
Shoring Plan Review Comments

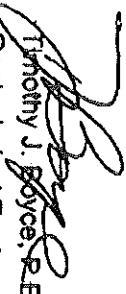
Dear Bob:

S. W. COLE ENGINEERING, INC. endeavored to conduct a review of Shoring/Underpinning Plans prepared by H.B. Fleming, dated February 7, 2003. Following our review, we prepared a letter dated March 10, 2003 that outlined our comments and concerns for the proposed construction. H.B. Fleming, in a letter dated March 19, 2003, has adequately addressed our comments that pertain to their construction responsibilities.

We trust this letter meets your current needs. Please call with any questions.

Sincerely,

S.W. COLE ENGINEERING, INC.

  
Timothy J. Boyce, P.E.  
Geotechnical Engineer

CC: Michael Nugent / City of Portland (207) – 874 – 8716  
Jeff Todd / APEX Construction, Inc. (603) – 323 – 9090

Draw: ME-CORR  
286 Portland Road, Gray, ME 04039 9586 • Tel (207) 657-2866 • Fax (207) 657-2840 • E-Mail [info@swcole.com](mailto:info@swcole.com) • [www.swcole.com](http://www.swcole.com)  
(Other offices in Augusta, Bangor, and Caribou, Maine & Somersworth, New Hampshire)

2 / 2 EGV4 ;WAWL0:11 60-12-VAV ;0782 259 202 ;.INC INI 'ENGINEERING COLE .W.S.:YB SENT