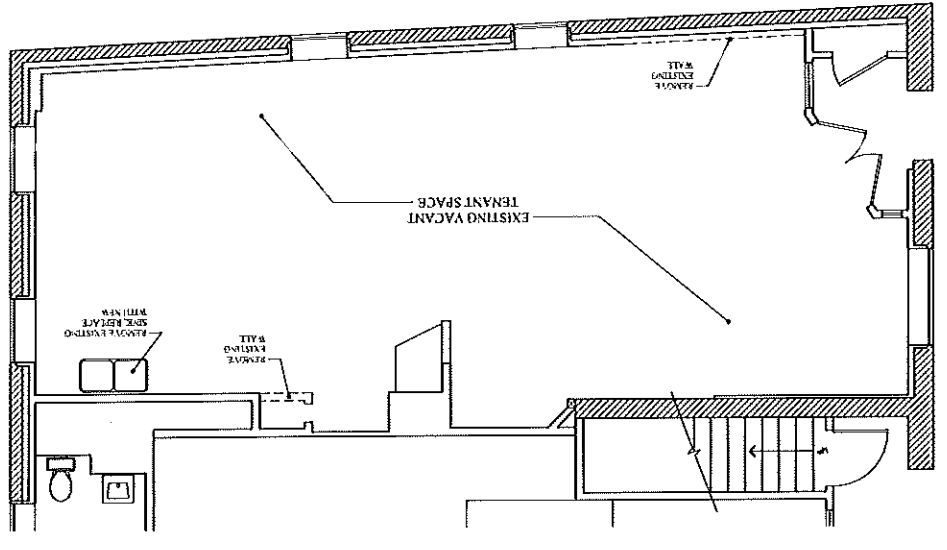
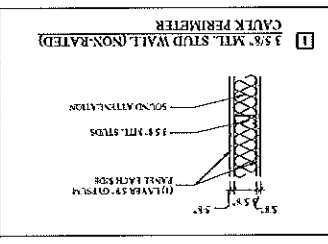
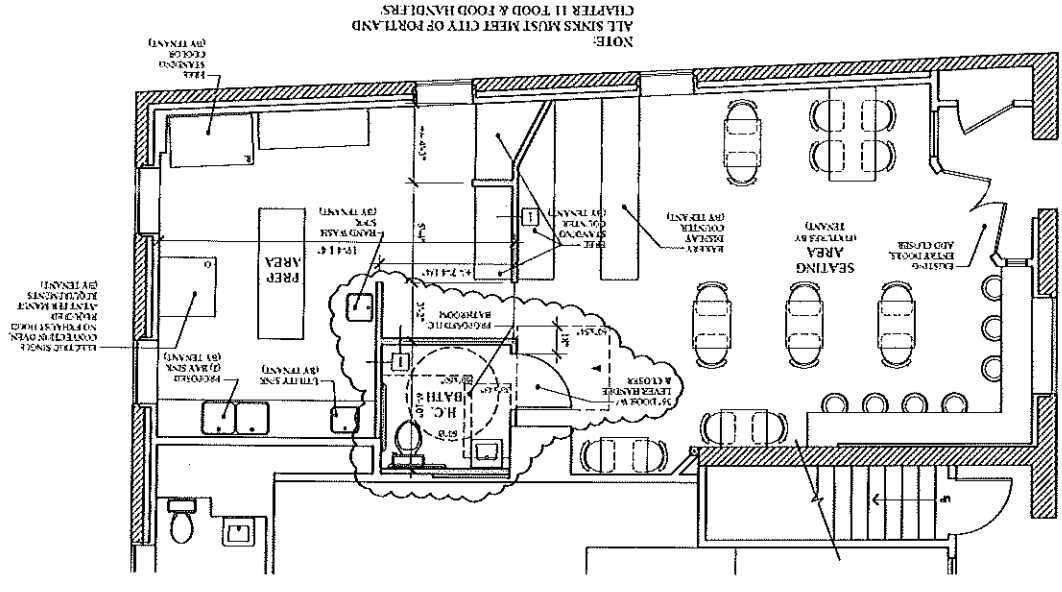


EXISTING/ DEMO FLOOR PLAN  
SCALE: 1/4" = 1'-0"



PROPOSED FLOOR PLAN  
SCALE: 1/4" = 1'-0"

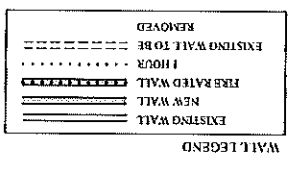


IBC 2009 CODE DATA

GENERAL NOTES	
1. SEE CITY OF PORTLAND PERMITS DEPARTMENT FOR THE LATEST PERMITS AND ALL CITY ORDINANCES.	
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND PERMITS DEPARTMENT.	
3. ALL NEW INTERIOR PARTITIONS SHALL MEET CLASS A OR B - 1 HOUR FIRE RESISTANCE, NOT LESS THAN CLASS 1.	
4. PARTITIONS, PARTS AND EQUIPMENT SHALL BE CLASSIFIED AS PERMITTED BY THE CITY OF PORTLAND PERMITS DEPARTMENT.	
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NFPA 101 2009 CODE DATA

GENERAL NOTES	
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EAST END CUPCAKES  
426 FORE STREET - 1ST FLOOR  
PORTLAND, MAINE

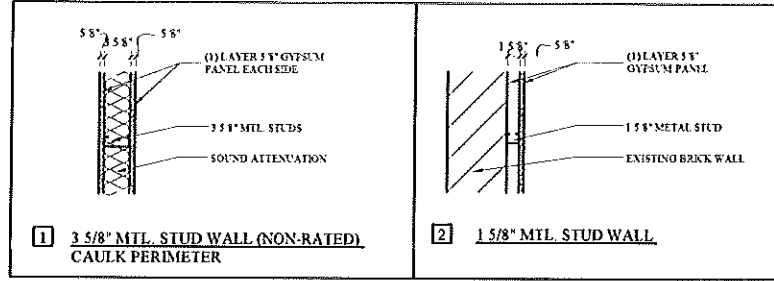
M A R K MUELLER ARCHITECTS AIA  
100 Commercial Street  
Suite 405  
Portland, ME 04101  
Phone: 603.773.8857  
Fax: 603.773.8851  
mka@markmullerarchitect.com

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REVISSED: JUNE 03, 2011  
FOR PERMIT: MAY 03, 2011

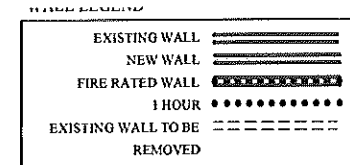
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JUN - 3 2011  
Dept. of Building Inspections  
City of Portland Maine

32-N-12  
*[Handwritten signature]*



IBC 2009 CODE DATA	
OCCUPANT LOAD	21 PEOPLE
USE GROUP CLASSIFICATION	BUSINESS B
TYPE OF CONSTRUCTION	N/A
TENANT SPACE AREA	833 SF
BUILDING AREA (LIMIT ION - SQ. FT. (TENANT SPACE))	N/A
STREET FRONTAGE (INCREASE INCREASE - SQ. FT.)	N/A
AUTOMATIC SPRINKLER SYSTEM (INCREASE INCREASE - SQ. FT.)	N/A
ALLOWABLE BUILDING AREA - SQ. FT.	N/A
BUILDING HEIGHT	(1/2 STORIES) (TENANT SPACE = 1 STORY)
FIRE SUPPRESSION	NONE
FIRE WALLS & PARTY WALLS	N/A
STAIR ENCLOSURES	N/A
SHAFTS	N/A
EXIT ACCESS CORRIDORS	N/A
INTERIOR LOAD BEARING WALLS	N/A
STRUCTURAL MEMBER SUPPORTING WALL	N/A
FLOOR CONSTRUCTION	N/A
ROOF CONSTRUCTION	N/A
GENERAL NOTES: OCCUPANT LOAD	
SEATING AREA - 15 NE/PERSON (80 SF) - 17 PEOPLE	
BUSINESS - 103 SF/620 S/PERSON (113 SF) - 17 PEOPLE	
TOTAL BUILDING OCCUPANT LOAD - 33 PEOPLE	

IBC 2009 CODE DATA	
OCCUPANT LOAD	21 PEOPLE
USE GROUP CLASSIFICATION	BUSINESS B
TYPE OF CONSTRUCTION	N/A
ACTUAL BUILDING AREA	TENANT SPACE AREA 833 SF
BUILDING HEIGHT	4 1/2 STORIES
FIRE SUPPRESSION	NONE
FIRE WALLS & PARTY WALLS	N/A
STAIR ENCLOSURES	N/A
SHAFTS	N/A
EXIT ACCESS CORRIDORS	N/A
INTERIOR LOAD BEARING WALLS	N/A
STRUCTURAL MEMBER SUPPORTING WALL	N/A
FLOOR CONSTRUCTION	N/A
ROOF CONSTRUCTION	N/A
GENERAL NOTES	



INTERIOR FINISHES:  
WALLS & CEILING: CLASS A, B, OR C  
FLOOR: CLASS 1 OR 2  
F.F.R. SHALL MEET NFPA 265 & 701.

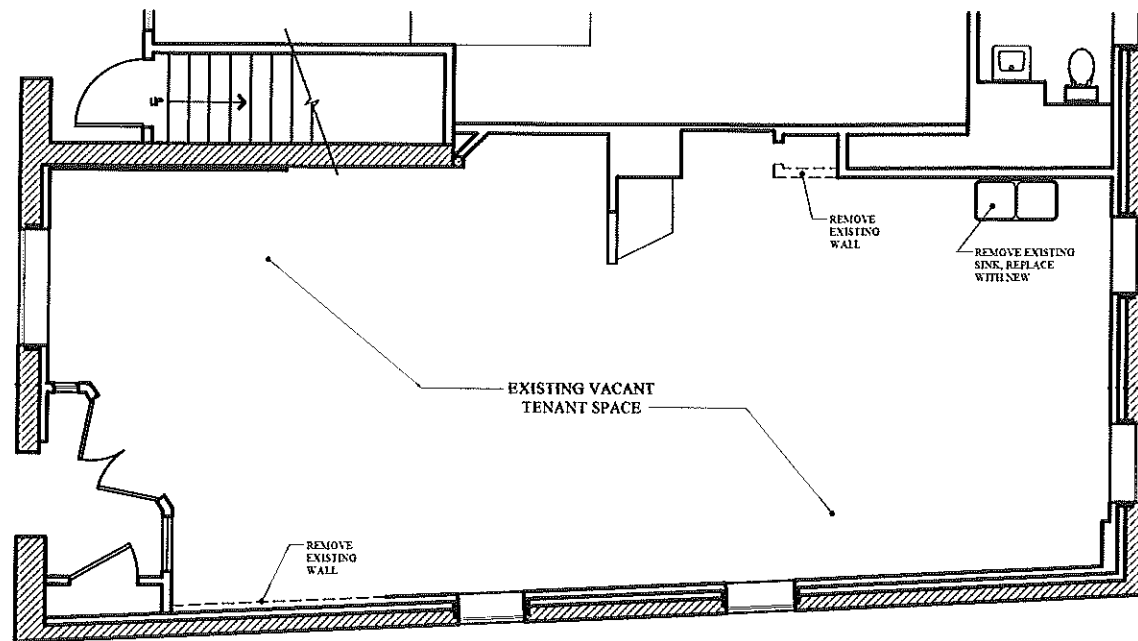
- SCOPE OF WORK: THE PROJECT INCLUDES THE TENANT FIT-UP OF INTERIOR WALLS FOR "EAST END CUPCAKES" (NO CHANGE OF USE)
- ELECTRICAL: ALL NEW WORK SHALL MEET THE NEC AND NFA 70. ALL LIFE SAFETY INTEGRATION WITH EXISTING SHALL MEET NFA 72 & CITY OF PORTLAND FIRE DEPARTMENT.
- ALL NEW INTERIOR FINISHES SHALL MEET: WALLS & CEILING: CLASS A OR B - FLOOR FINISHES: NOT LESS THAN CLASS II
- FURNITURE, FIXTURES AND EQUIPMENT: SHALL BE FLAME RESISTANT & MEET NFA 701, STANDARD METHODS OF FIRE TESTS FOR FLAME PROPAGATION OF TEXTILES & FIRMS
- SPRINKLER SYSTEM - NONE EXISTING
- ALL EXISTING EGRESS COMPONENTS SHALL REMAIN AS SHOWN ON DRAWINGS
- LIFE SAFETY - NO PROPOSED WORK, EXISTING LIFE SAFETY TO REMAIN
- HVAC - VERIFY EXISTING HVAC SYSTEM WITH PROPOSED PLAN

**GENERAL NOTES:**

- THE SPACE SHALL BE CONSTRUCTED TO CONFORM WITH ALL CURRENT APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO, THE LATEST EDITIONS OF IBC, IECC, NFPA 101, ANSI, UFAS, HUD AG, ADA/AG, MGS
- CONTRACTOR SHALL WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE THE DRAWINGS. REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO WORK.
- INSTALL BLOCKING FOR SURFACE APPLIED FIXTURES, TRIM, CABINETS, COUNTER TOPS, AND GRAB BARS WHEN MOUNTED ON STUD WALLS, INCLUDING ALL FUTURE INSTALLATIONS
- INSTALL MOISTURE RESISTANT GYPSUM BOARD IN RECYCLE/TRASH, JANITOR CLOSETS, AND ALL OTHER HIGH HUMIDITY AREAS, INCLUDING UNIT BATHROOMS
- ALL CAULKING AROUND WINDOWS SHALL BE NON-HARDENING TYPE SEALANT.
- INSTALL U.I. FIRE-STOPPING SEALANT SYSTEM EQUAL TO THE FIRE RATED FLOOR, CEILING AND WALL ASSEMBLY.
- FIRESTOP VERTICAL MECHANICAL CHASES @ FLOOR & CEILING PENETRATIONS CAULK JOINTS (IF APPLICABLE)
- CONTINUE SEPARATION WALLS TO UNDERSIDE OF FLOOR CEILING ABOVE. UNIT TO UNIT, UNIT TO CORRIDOR, CORRIDOR WALLS, STORAGE WALLS, ELEVATOR, STAIRWELL WALLS, ETC.
- PATCH & PAINT ALL AREAS OF DEMOLITION THAT ARE EXPOSED PER THE DESIGN UNLESS NOTED OTHERWISE.

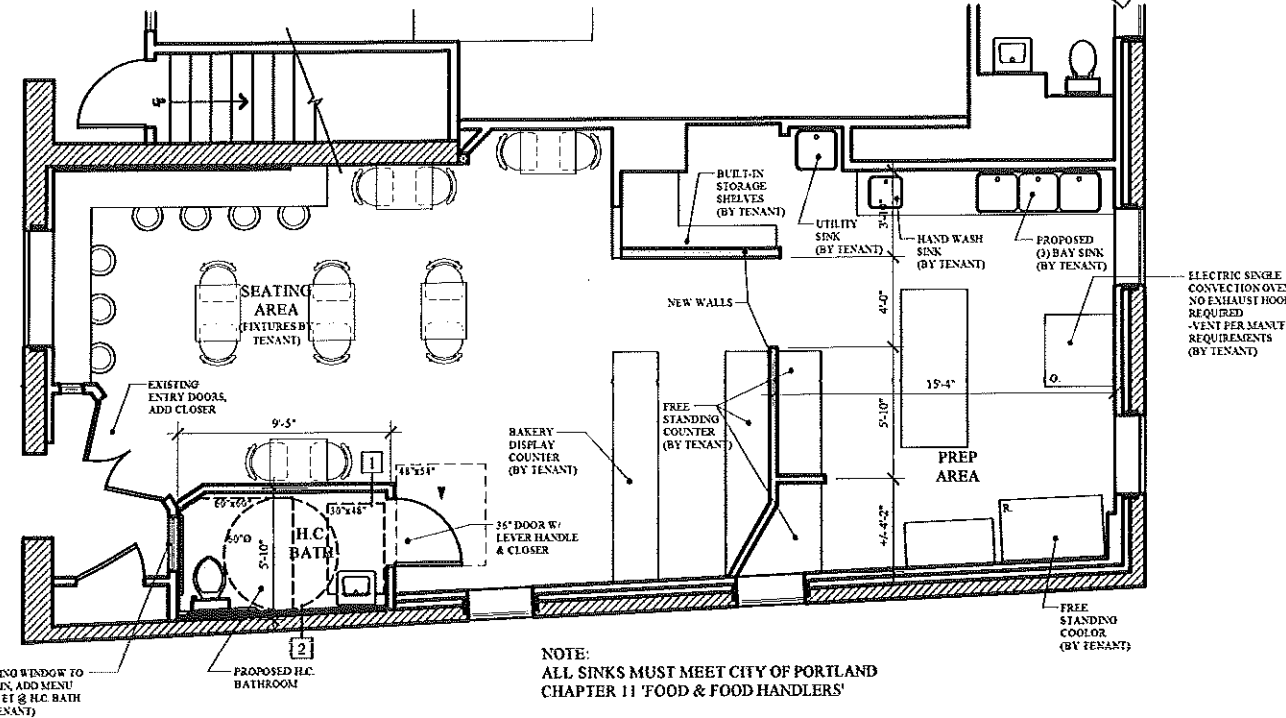
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MAY - 5 2011  
Dept. of Building Inspections  
City of Portland Maine



EXISTING/ DEMO FLOOR PLAN

SCALE: 1/4" = 1'-0"



NOTE: ALL SINKS MUST MEET CITY OF PORTLAND CHAPTER 11 'FOOD & FOOD HANDLERS'

PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

MARK MUELLER ARCHITECTS A.I.A.  
100 Commercial Street  
9th Floor  
Portland, Maine 04101  
Phone: 207.774.8057  
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m.muellerarchitects.com

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EAST END CUPCAKES  
426 FORE STREET - 1ST FLOOR  
PORTLAND, MAINE

PROPOSED PLAN  
DATE: MAY 03 2011  
PROJECT: EAST END CUPCAKES  
DRAWN BY: [blank]  
APP: [blank]  
CHECKED BY: [blank]

FOR PERMIT: MAY 03, 2011

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