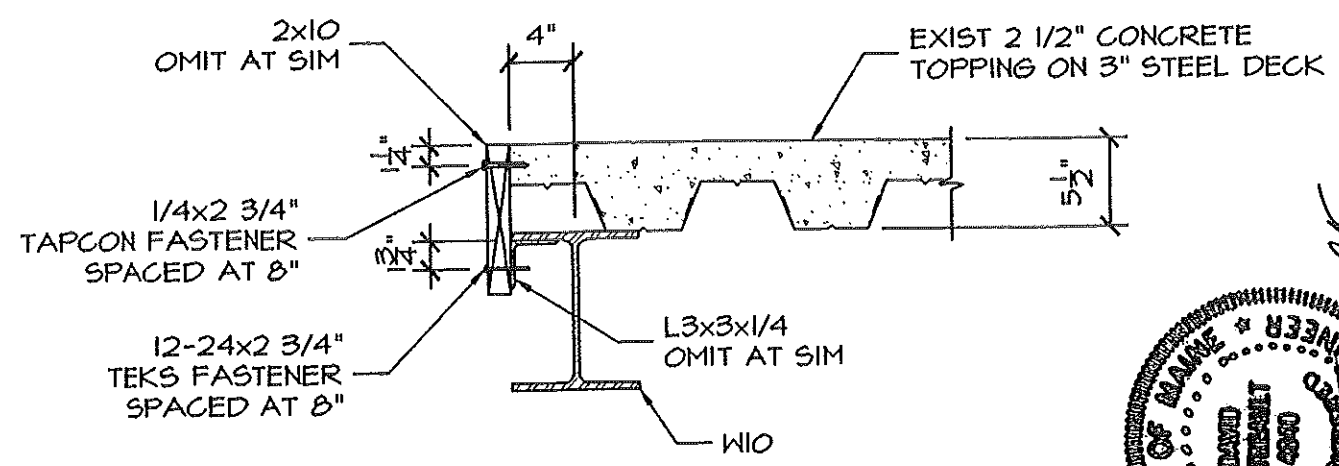
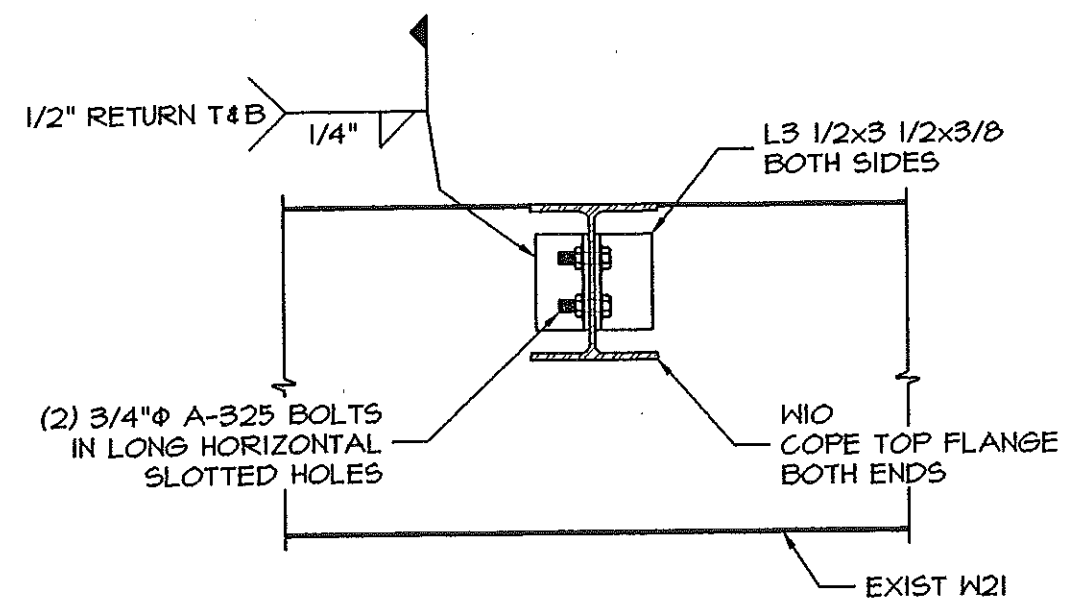


**PARTIAL 3RD FLOOR FRAMING PLAN**  
1/4"=1'-0"



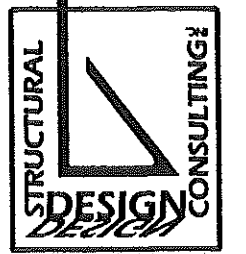
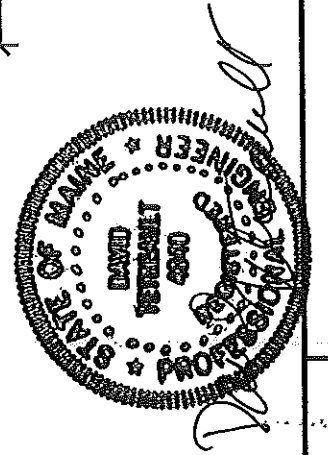
**SECTION 1**  
1"=1'-0"

ALL FASTENERS BY ITW/BUILDEX OR APPROVED ALTERNATE



**SECTION 2**  
1"=1'-0"

SLAB NOT SHOWN  
SEE SECTION 1 FOR BLOCKING



100 MIDDLE STREET  
BUILDING B  
THIRD FLOOR STAIR OPENING

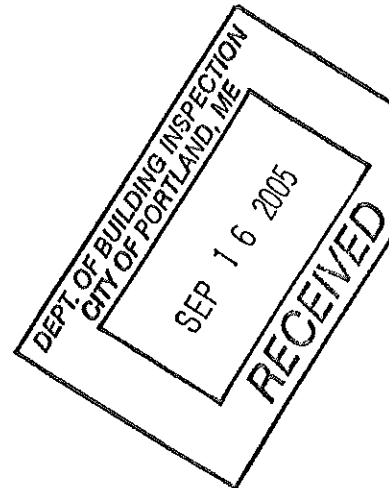
S1

revision number	
date	08/13/05

# TOWER B 100 MIDDLE STREET PORTLAND, ME

## INTERIOR RENOVATIONS

PARTIAL FLOOR 2  
PARTIAL FLOOR 3



**TOWER B ASSOCIATES**  
**C/O MIDDLE STREET MANAGEMENT**  
100 Middle Street  
Portland, Maine  
(207) - 780-1680

### DRAWING LIST TITLE SHEET

A-201EXIST	2nd FLOOR EXISTING CONDITIONS
A-201DEMO	2nd FLOOR DEMOLITION PLAN
A-202	2nd FLOOR PLAN
A-203	2nd FLOOR REFECTED CEILING PLAN
A-204	2nd FLOOR INTERIOR ELEVATIONS
A-205	2nd FLOOR FINISHES PLAN
A-301EXIST	3rd FLOOR EXISTING CONDITIONS
A-301DEMO	3rd FLOOR DEMOLITION PLAN
A-302	3rd FLOOR PLAN
A-303	3rd FLOOR REFECTED CEILING PLAN
A-304	3rd FLOOR INTERIOR ELEVATIONS
A-305	3rd FLOOR FINISHES PLAN

1 OF 2 Reference Drawing - EXISTING MILLWORK DETAILS  
2 OF 2 Reference Drawing - EXISTING MILLWORK DETAILS

### PROJECT NOTES

1. During the bidding or pricing, the contractor shall visit the site and acquaint him/herself with all conditions relating to the construction and completion of the project and the employment of labor thereon. Failure to do so will not relieve the contractor of his/her obligations to furnish all equipment, materials, labor, and services necessary to carry out the provisions of the contract. Contractor must consult with Middle Street Management Project Manager for any and all direction.
2. Drawings and specifications in this package are intended for assistance and guidance. Exact dimensions and elevations shall be governed by actual conditions at the site and shall be checked by the contractor. Field verify all dimensions and requirements. Report all discrepancies or omissions to Project Manager.
3. All primary entrances to the site, to the building, path of travel to suite, sanitary facilities, signage, and other applicable areas shall be accessible to a physically handicapped per the current ICC, ADA and other governing codes and regulations.
4. The contractor shall provide any special hoarding and maintain any required lights, warning and directional signs and other protections near and about the site of the renovation work as may be required by local authorities having jurisdiction, and by any other necessary means protect any surrounding adjacent sites, structures, properties and existing utilities, and shall maintain all safety measures until directed to remove them by appropriate parties.
5. Furnish and pay for all HVAC services. Provide all labor, materials and services to alter existing or install new, for a complete operable heating, ventilating and air conditioning system. Provide the above in accordance with all applicable codes, ordinances, and requirements of the servicing utility, and functions shown on drawings and as required for the completion of work. Submit shop drawings for approval and seal-draft drawings upon completion of the work.
6. Furnish and pay for all electrical permits. Electrical work shall consist of a complete wiring system including meter long panel board(s) outlets, wall switches, and installation of lighting fixtures, lamps, bells, appliances, fans and like accessories as indicated on the drawings and required for the completion of the work. Submit shop drawings for approval and seal-draft drawings upon completion of the work. Match building standard cover plates.
7. Furnish and pay for all plumbing permits. Plumbing work shall consist of a complete system including service connections, drain waste and vent lines, hot and cold water lines, and gas lines as indicated on the drawings, installation of all fixtures. The system shall meet the requirements of all governing codes and regulations. Contractor shall coordinate all necessary information between plumbing, millwork and electrical sub-contractors. Submit shop drawings for approval and seal-draft drawings upon completion of the work.
8. Alter sprinkler system as necessitated by new partitions, floors and ceilings. Design shall be adequate for intended use and must conform to governing codes and regulations. Test all systems as required by all governing codes and regulations prior to applying for certificate of occupancy. Match building standard head.
9. Equipment, fixtures, materials and labor necessary for completion of the work shall be provided. Such items shall be of type and quality suitable for the services required, and shall be comparable to adjoining or similar items in the building.
10. Where size, capacity, model, style, or other pertinent information is not indicated on the drawings, furnish equipment, fixtures or material of size, quality, and utility which will meet applicable code requirements and which will adequately service the various building facilities as required.
11. All installation methods and procedures shall match existing building standards unless noted otherwise.
12. Existing electrical to remain unless otherwise noted. See plan for new requirements.
13. Telephone requirements to be determined by Project Manager.
14. Light fixtures to be supported by approved method to structure above, independent of grid. All local codes and ordinances apply. Retain existing light fixtures to accommodate new layout where possible. New light fixtures to match building standard.
15. Existing light switches to remain, unless otherwise noted.
16. Replace all ceiling tiles as noted or required by Project Manager.
17. Clean up is required on a daily basis and final clean up is required to prepare space for occupancy.
18. Replace, repair, or add new window treatments where required by demolition or new construction using building standards, unless otherwise noted.
19. Prior to application of paint, all surfaces are to be properly prepared, taped, and textured, using building standard finish. All transitions between materials are to be smooth.
20. Paint all access plates, panel boxes, etc. to match adjacent painted surface, unless otherwise noted. Contractor to provide additional touch-up paint to the Project Manager.
21. Contractor shall provide and install specified reduction strip at all doors where carpet and resilient flooring meet, unless otherwise noted.
22. Floor covering in closets shall be the same as that of the space onto which the closet door opens unless otherwise noted.
23. Fill, patch, or grind smooth all areas where floor is not level or true prior to flooring installations. Repair and prepare any damage to sub-floor to insure proper installation of new materials.
24. Provide and install specified carpet base for all carpeted areas, unless otherwise noted.
25. Exit doors shall be operable from the inside without use of a key or any special knowledge or effort.
26. Exit signs shall be posted above each required exit doorway and wherever otherwise required to clearly indicated direction of egress.
27. Notice To Proceed.  
Contractor shall not commence construction without complete construction drawings with the latest issue date as determined by the Project Manager.
28. Contractor shall provide a construction schedule to the Project Supervisor prior to the start of construction.

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DATE: 7/20/05  
REVISIONS:  
8/5/05 Permit Set  
8/10/05 Permit Set  
8/24/05 Final

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DRAWING NO.

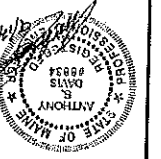
**TITLE**

Project No. 0000000000  
 Date: 08/12/09  
 Drawing No. 0000000000  
 Scale: ASB  
 Project Name: SECOND FLOOR MECHANICAL PLAN

Client: MIDDLE STREET MANAGEMENT  
 Project: SECOND & THIRD FLOOR TENANT FIT-UP - WEST TOWER  
 Location: 100 MIDDLE STREET, PORTLAND, MAINE

Project Title: MIDDLE STREET MANAGEMENT  
 SECOND & THIRD FLOOR  
 TENANT FIT-UP - WEST TOWER  
 100 MIDDLE STREET, PORTLAND, MAINE

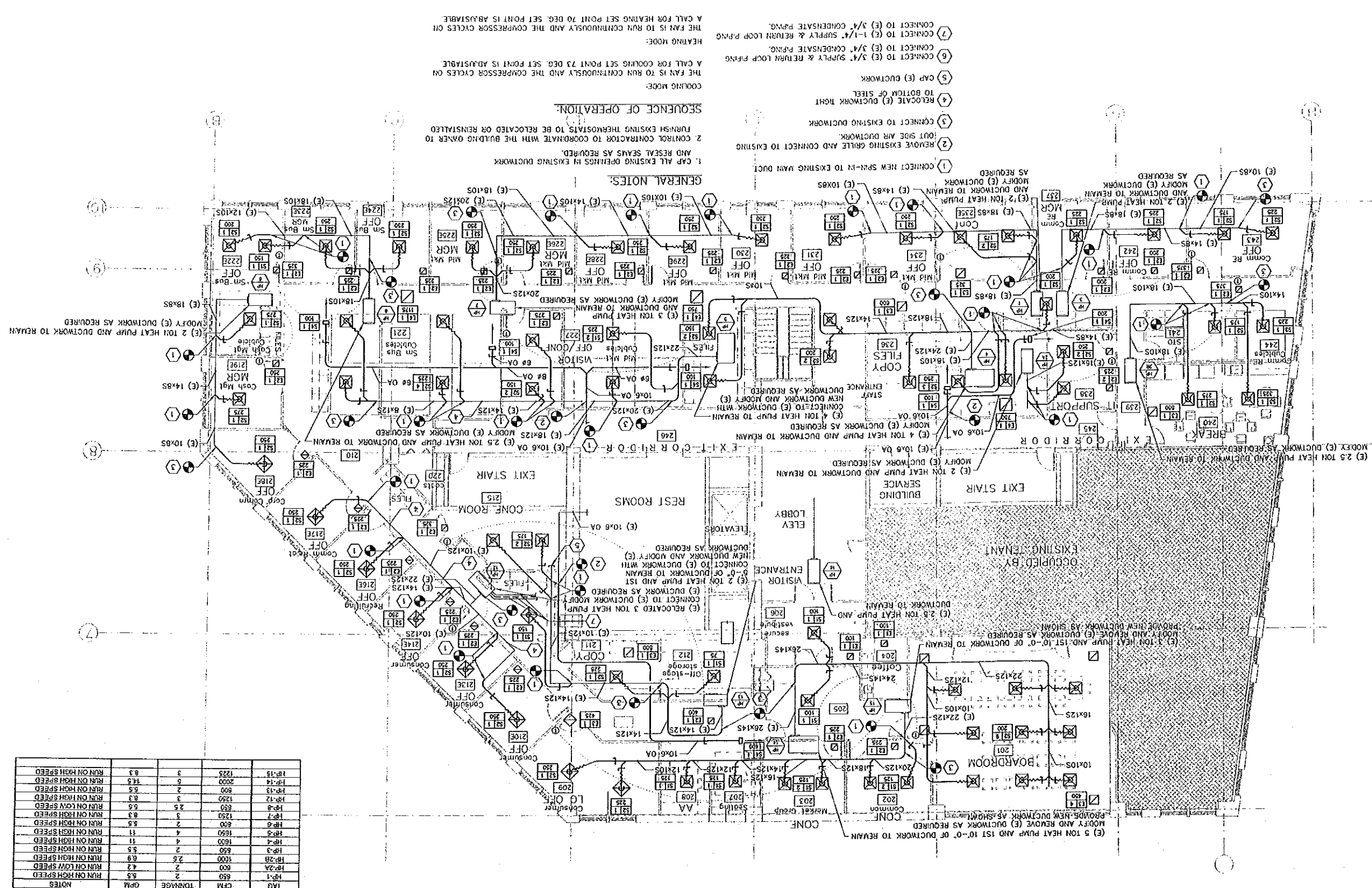
Project No. 0000000000



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 Fax: 207-741-6010  
 Website: www.hxta.com



**SEQUENCE OF OPERATION:**  
 1. CAP ALL EXISTING OPENINGS IN EXISTING DUCTWORK AND RESEAL SEAMS AS REQUIRED.  
 2. CONTROL CONTRACTOR TO COORDINATE WITH THE BUILDING OWNER TO FURNISH EXISTING THERMOSTATS TO BE RELOCATED OR REINSTALLED.  
 3. REMOVE EXISTING GRILLE AND CONNECT TO EXISTING OUT SIDE AIR DUCTWORK.  
 4. RELOCATE (E) DUCTWORK RIGHT TO BOTTOM OF STEEL.  
 5. CAP (E) DUCTWORK.  
 6. CONNECT TO (E) 3/4" SUPPLY & RETURN LOOP PIPING CONDENSATE PIPING.  
 7. CONNECT TO (E) 1-1/4" SUPPLY & RETURN LOOP PIPING CONDENSATE PIPING.  
 8. THE FAN IS TO RUN CONTINUOUSLY AND THE COMPRESSOR CYCLES ON HEATING MODE.  
 9. THE FAN IS TO RUN CONTINUOUSLY AND THE COMPRESSOR CYCLES ON COOLING MODE.  
 10. A CALL FOR HEATING SET POINT 70 DEG. SET POINT IS ADJUSTABLE.  
 11. A CALL FOR COOLING SET POINT 73 DEG. SET POINT IS ADJUSTABLE.

**GENERAL NOTES:**

1. CAP ALL EXISTING OPENINGS IN EXISTING DUCTWORK AND RESEAL SEAMS AS REQUIRED.  
 2. CONTROL CONTRACTOR TO COORDINATE WITH THE BUILDING OWNER TO FURNISH EXISTING THERMOSTATS TO BE RELOCATED OR REINSTALLED.  
 3. REMOVE EXISTING GRILLE AND CONNECT TO EXISTING OUT SIDE AIR DUCTWORK.  
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 10. A CALL FOR HEATING SET POINT 70 DEG. SET POINT IS ADJUSTABLE.  
 11. A CALL FOR COOLING SET POINT 73 DEG. SET POINT IS ADJUSTABLE.

**EXISTING WATER SOURCE HEAT PUMP SCHEDULE**

TAG	CFM	TONNAGE	GPM	NOTES
HP-1	850	2	5.5	RUN ON HIGH SPEED
HP-2A	800	2	4.2	RUN ON LOW SPEED
HP-3	650	1.5	4.5	RUN ON HIGH SPEED
HP-4	1600	4	11	RUN ON HIGH SPEED
HP-5	1650	4	11	RUN ON HIGH SPEED
HP-6	800	2	5.5	RUN ON HIGH SPEED
HP-7	1250	3	8.3	RUN ON HIGH SPEED
HP-8	850	2.5	5.6	RUN ON LOW SPEED
HP-9	1250	3	8.3	RUN ON HIGH SPEED
HP-10	1250	3	8.3	RUN ON HIGH SPEED
HP-11	1250	3	8.3	RUN ON HIGH SPEED
HP-12	1250	3	8.3	RUN ON HIGH SPEED
HP-13	600	2	5.5	RUN ON HIGH SPEED
HP-14	2000	5	14.5	RUN ON HIGH SPEED
HP-15	1225	3	8.3	RUN ON HIGH SPEED