

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, if Any,
Attached

This is to certify that MIDDLE STREET OFFICE
has permission to Office tenant fit-up

AT 100 MIDDLE ST

provided that the person or persons,
of the provisions of the Statutes of
the construction, maintenance and
this department.

Apply to Public Works for street line
and grade if nature of work requires
such information.

OTHER REQUIRED APPROVALS

Fire Dept. Chris Cass PFD 10-13-
Health Dept. _____
Appeal Board _____
Other _____

Department Name

PERMITS INSPECTION
DOWER B ASSOCIATES/MITCHELL
Stre

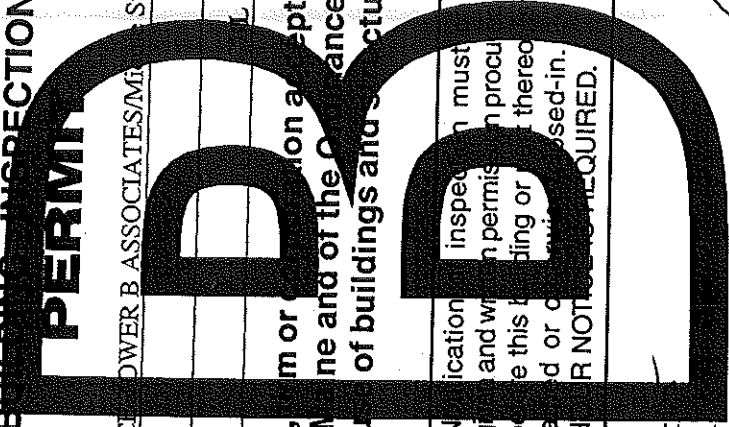
L 029 E026001

Permit Number: 051356

OCT 21 2005

PERMIT ISSUED

CITY OF PORTLAND



Inspection must be procured by the permittee before the building or structure is occupied. A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

Inspection must be procured by the permittee before the building or structure is occupied. A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

Chris Cass
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

From: Mike Nugent
To: hkta@aol.com
Date: 11/1/2005 2:11:32 PM
Subject: Attn. Brian O'donnell

Brian,

RE: 100 Middle St. 2nd and 3rd floors

The submission for the communicating stair is consistent with our discussion and satisfies the applicable condition in Permit # 051356. The assembly must be inspected by our staff prior to closing.

Michael J. Nugent
Inspections Division Director

HKTA / architects

phone: 207 . 774 . 6016

fax: 207 . 774 . 9128

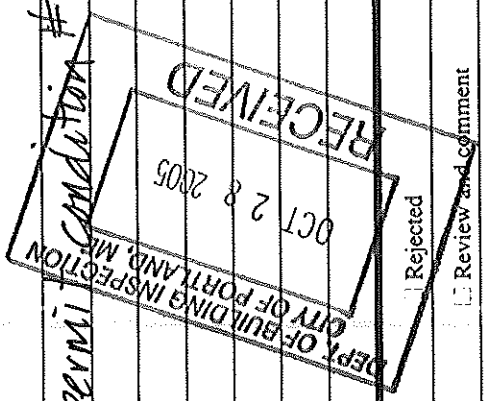
e-mail: hkta@aol.com

Transmittal

To Mike Nugent Date 10/30/05
City of Portland Re: 100 Middle Street
Code Enforcement Dept. Job No. _____

To Attached Hand delivered Under separate cover via
 Shop drawings Prints Samples Specifications
 Copy of letter Change order Other

Copies	Date	No.	Description
1			Response to permit condition #1



Purpose For approval No exception taken Rejected
 For your use Make corrections noted Review and comment
 As requested Revise and resubmit Other

Remarks _____

Copy to Bob Dickerson Signed Miriam O'Donnell
 If enclosures are not as noted, kindly notify us at once

HKTA / architects

HKTA / architects, inc.

482 Congress Street - Suite 200
Portland, Maine 04101

phone: 207 . 774 . 6016

fax: 207 . 774 . 9128

e-mail: hkte@aol.com

October 28, 2005

Mike Nugent
Code Enforcement Department
City of Portland
Portland, Maine 04101

Subject: 100 Middle Street
2nd & 3rd Floor Tenant Fit-up
Building Permit # 05-1356

Dear Mike,

To satisfy Building Permit Condition #1 for Permit #05-1356 approved on 10/13/2005, please review the enclosed drawings pertaining to the assembly of the internal communicating stair. As we discussed, this stair is not part of the required means of egress.

In summary:

The stair supplier/installer has provided fire treated members for the tread and riser support. This includes fire treated material for the stringer and gusset assembly.

Our structural engineer has provided a non-combustible assembly for the stair landing utilizing light gauge metal studs and fire-retardant plywood decking.

With the exception of the tread and risers, landing flooring and associated wall trim, the entire stair assembly is enclosed within metal stud and 5/8" "Type X" gypsum wall board construction.

Should you have additional questions, please call at your convenience.


Brian O'Donnell, AIA
HKTA / architects, Inc.

copy: Bob Dickerson, Middle Street Management
file

Portland, Maine - Building or Use Permit
Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Station of Construction: 100 MIDDLE ST		Permit No: 05-1356	Date Applied For: 09/16/2005	CBL: 029 E026001
Business Name: Middle Street Management	Owner Name: MIDDLE STREET OFFICE TOWE 100 MIDDLE ST	Phone: 100 Middle Street Portland (207) 780-1680		
Lessee/Buyer's Name:	Contractor Name: Middle Street Management	Contractor Address: 100 Middle Street Portland (207) 780-1680		
	Phone:	Permit Type: Alterations - Commercial		

Proposed Use:

Commercial/ Office tenant fit-up 2nd & 3rd floors

Proposed Project Descriptions:

Office tenant fit-up - 2nd & 3rd floors

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 10/13/2005
Note:

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 10/20/2005
Note:

- 1) Prior to fabrication or installation of the interior communicating, non-egress stairway, the architect must submit plans for, and obtain approval for either a non combustible stairway pan or a stairway w/ Flame retardent treated wood stringers and Light gauge steel landings, all elements enclosed in fire rated construction. The treads and other trim can be of acceptable combustible materials. See Section 603 of the 2003 IBC.

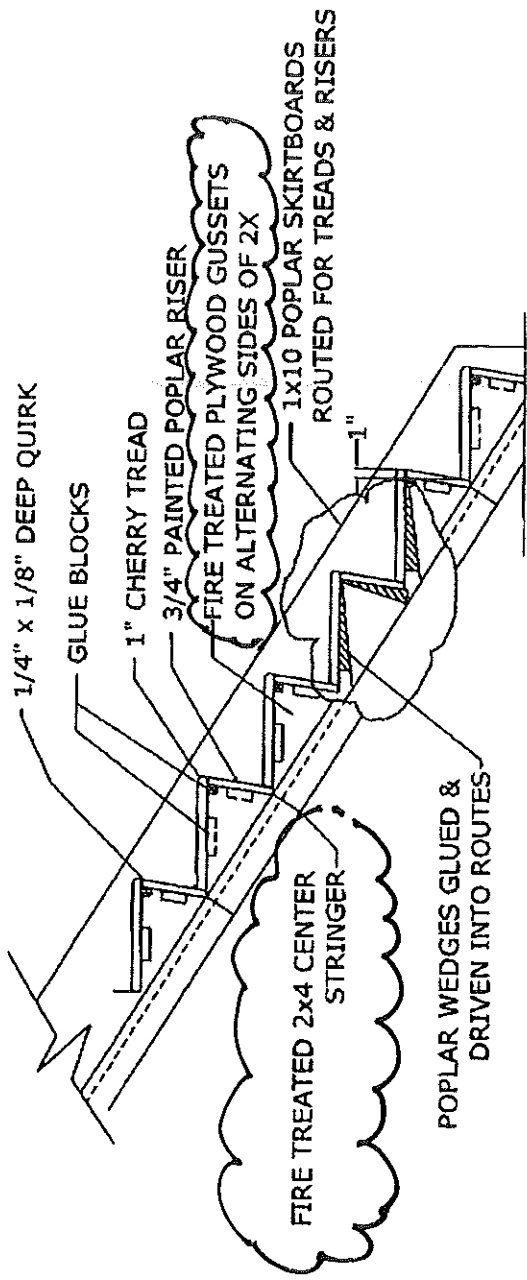
Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cpm Greg Cass **Approval Date:** 10/13/2005
Note:

- 1) All building construction to comply with NFPA 101.
- 2) Any alteration to the life safety systems shall require separate review.

Comments:

- 10/17/2005-rmjn: Need plan for proposed connecting stairway as well as Framing detail for walls. Left message w/ applicant and architect.
- 10/19/2005-rmjn: Architect dropped off stir plans...don't meet code, advised the fabricator, also still need Structural for the new stair opening.

STAIR CONSTRUCTION DETAILS
SECTION VIEW THROUGH STAIR



MIDDLE STREET TOWER B ASSOC.
C/O MIDDLE STREET MGMT, LLC
100 MIDDLE STREET
PORTLAND, ME

COLONIAL WOODWORKING, INC.
BRADFORD, NH 03221

DRAWN BY: M. VINCENT
REV A - OCTOBER 21, 2005

CHERRY TREADS, TRIM, FLOORING & WALL CAPS
PRIMED POPLAR SKIRTS & RISERS
NICKLE HANDRAIL BRACKETS
TOTAL RISE + 139.25"
+3/8" ALLOWANCE TOP & BOTTOM
20 RISERS @ 6.9625", 11" RUN
CENTER STRINGER
PLATFORMS & WALLS BY OTHERS

APPROVED: _____

DATE: _____

MIDDLE STREET TOWER B ASSOC.
C/O MIDDLE STREET MGMT, LLC
100 MIDDLE STREET
PORTLAND, ME

COLONIAL WOODWORKING, INC.
BRADFORD, NH 03221

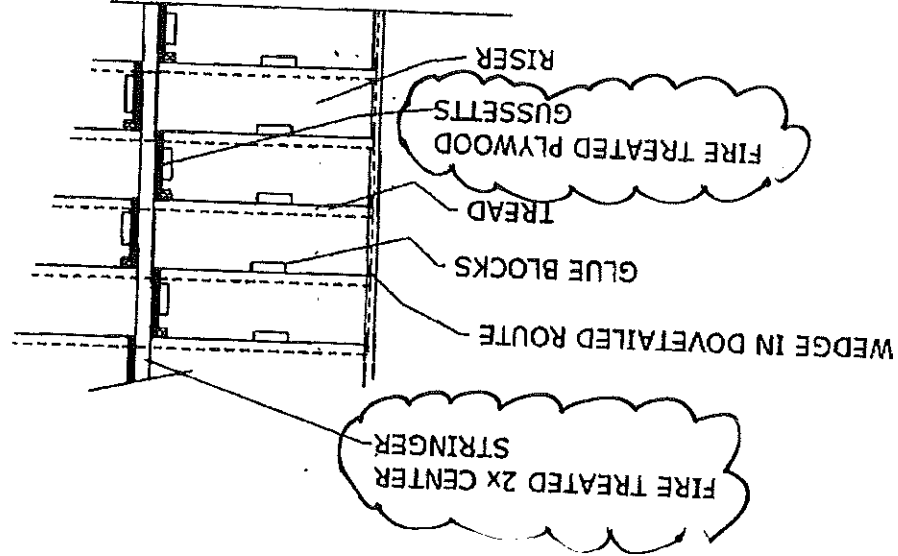
DRAWN BY: M. VINCENT
REV A - OCTOBER 21, 2005

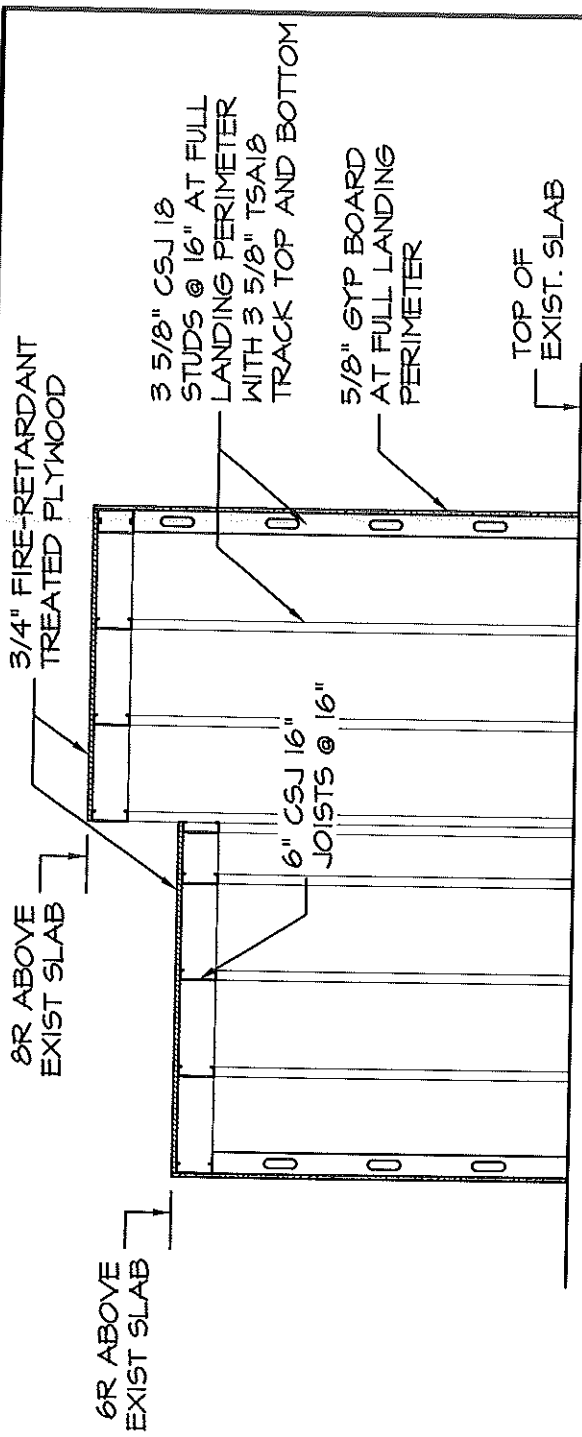
CHERRY TREADS, TRIM, FLOORING & WALL CAPS
PRIMED POPLAR SKIRTS & RISERS
NICKLE HANDRAIL BRACKETS
TOTAL RISE + 139.25"
+3/8" ALLOWANCE TOP & BOTTOM
20 RISERS @ 6.9625", 11" RUN
CENTER STRINGER
PLATFORMS & WALLS BY OTHERS

APPROVED:

DATE:

STAIR CONSTRUCTION DETAILS VIEW FROM BACK OF STAIR

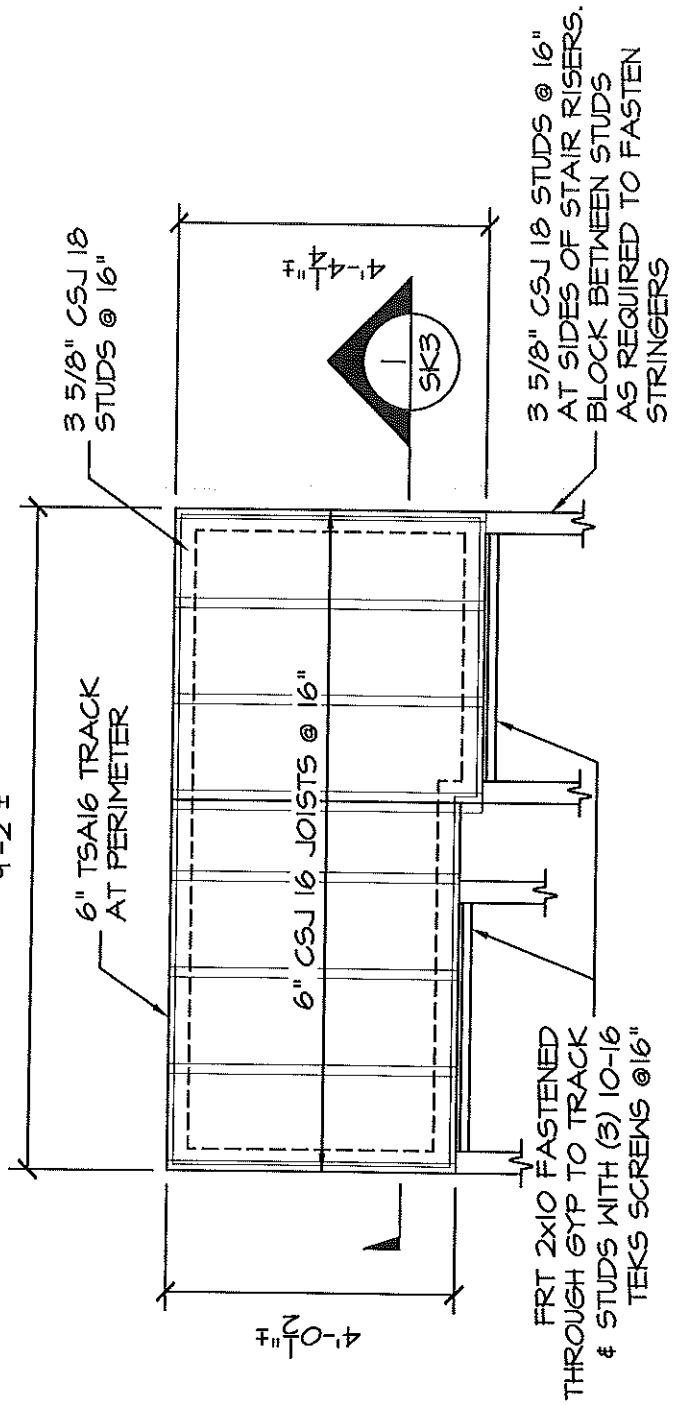




SECTION 1

3/8"=1'-0"

SEE STAIR MANUFACTURER'S DRAWINGS FOR ALL DIMENSIONS AND ELEVATIONS.

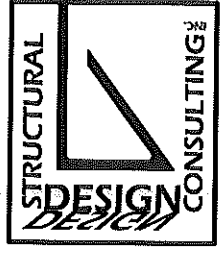


STAIR LANDING FRAMING PLAN

3/8"=1'-0"

ALL FRAMING IS LIGHTGAGE STEEL BY DIETRICH INDUSTRIES OR APPROVED ALTERNATE. LANDING DECK IS 3/4" FIRE-RETARDANT TREATED (FRT) PLYWOOD.

date	revision number
10/27/05	



100 MIDDLE STREET
BUILDING B

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate-of-Occupancy: Prior to any occupancy of the structure or use. ~~NOTE: There is a \$75.00 fee per~~ inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Allyson G. Travis Signature of Applicant/Designee
5/18/05 Date
Stanne Bernke Signature of Inspections Official
5/18/05 Date

CBL: 29 E 026 Building Permit #: 2005 0479

ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date April 27 05
 Permit # 054343
 CBL# 29 E 026

LOCATION: 100 MIDDLE ST. METER MAKE & # _____

CMP ACCOUNT # _____ OWNER _____
 TENANT BURNSTEIN, SHIR, SAWYER & NELSON PHONE # _____

OUTLETS	Receptacles	Switches	Smoke Detector	TOTAL EACH FEE
FIXTURES	Incandescent	Fluorescent	Strips	.20
SERVICES	Overhead	Underground	TTL AMPS <800	15.00
	Overhead	Underground	>800	25.00
Temporary Service	Overhead	Underground	TTL AMPS	25.00
METERS	(number of)			25.00
MOTORS	(number of)			1.00
RESID/COM	Electric units			2.00
HEATING	oil/gas units	Interior	Exterior	1.00
	Ranges	Cook Tops	Wall Ovens	5.00
APPLIANCES	Insta-Hot	Water heaters	Fans	2.00
	Dryers	Disposals	Dishwasher	2.00
MISC. (number of)	Compactors	Spa	Washing Machine	2.00
	Others (denote)			2.00
	Air Cond/win			3.00
	Air Cond/cent			10.00
	HVAC	EMS	Pools	10.00
	Signs		Thermostat	5.00
	Alarms/res			10.00
	Alarms/com			5.00
	Heavy Duty(CRKT)			15.00
	Circus/Carnv			2.00
	Alterations			25.00
	Fire Repairs			5.00
	E Lights			15.00
	E Generators			1.00
				20.00
PANELS	Service	Remote	Main	4.00
TRANSFORMER	0-25 Kva			5.00
	25-200 Kva			8.00
	Over 200 Kva			10.00
	MINIMUM FEE/COMMERCIAL 45.00		TOTAL AMOUNT DUE	35.00
			MINIMUM FEE	45.00

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 APR 27 2005
 RECEIVED

CONTRACTORS NAME SIMPLEX GRANELL MASTER LIC. # _____
 ADDRESS 20 THOMAS DR, WESTBROOK, ME LIMITED LIC. # LM 50016770
 TELEPHONE 207-842-6440

SIGNATURE OF CONTRACTOR Argyria Adams

1410

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1356	Issue Date: PERMIT ISSUED	CBL: E026001
Owner Address: 100 MIDDLE ST	Phone: OCT 21 2005	
Contractor Address: 100 Middle Street Portland	Phone: 207 801680	
Permit Type: Alterations - Commercial	Zone: 33	

Permit Fee: \$4,413.00	Cost of Work: \$487,300.00	CEO District: 1
---------------------------	-------------------------------	--------------------

FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B Type: 2B
---	---

Signature: *[Signature]*
 TO NEPA 101
 Signature: *[Signature]*
 PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
 Action: Approved Approved w/Conditions Denied
 Signature: _____ Date: _____

Past Use:
Commercial/ Office

Proposed Use:
Commercial/ Office tenant fit-up

Proposed Project Description:
Office tenant fit-up
2nd & 3rd floors

Permit Taken By:
Idobson

Date Applied For:
09/16/2005

Zoning Approval

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.

2. Building permits do not include plumbing, septic or electrical work.

3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK with conditions</i> Date: <i>9/13/05</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1356	Date Applied For: 09/16/2005	CBL: 029 E026001
-----------------------	---------------------------------	---------------------

Location of Construction: 100 MIDDLE ST	Owner Name: MIDDLE STREET OFFICE TOWE	Owner Address: 100 MIDDLE ST	Phone:
Business Name: 	Contractor Name: Middle Street Management	Contractor Address: 100 Middle Street Portland	Phone: (207) 780-1680
Lessee/Buyer's Name 	Phone: 	Permit Type: Alterations - Commercial	

Proposed Use: Commercial/ Office tenant fit-up 2nd & 3rd floors	Proposed Project Description: Office tenant fit-up - 2nd & 3rd floors
--	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schnuckal **Approval Date:** 10/13/2005
Note: **Ok to Issue:**

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 10/20/2005
Note: **Ok to Issue:**

- 1) Prior to fabrication or installation of the interior communicating, non-egress stairway, the architect must submit plans for, and obtain approval for either a non combustible stairway pan or a stairway w/ Flame retardent treated wood stringers and Light guage steel landings. all elements enclosed in fire rated construction. The treads and other trim can be of acceptable combustible materials. See Section 603 of the 2003 IBC.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 10/13/2005
Note: **Ok to Issue:**

- 1) All building construction to comply with NFPA 101.
- 2) Any alteration to the life safety systems shall require seperate review.

Comments:

10/17/2005-mjn: Need plan for proposed connecting stairway as well as Framing detail for walls. Left message w/ applicant and architect.
 10/19/2005-mjn: Architect dropped off stir plans...don't meet code, advised the fabircator, also still need Structural for the new stair opening.

MIDDLE STREET TOWER B ASSOC.
C/O MIDDLE STREET MGMT, LLC
100 MIDDLE STREET
PORTLAND, ME

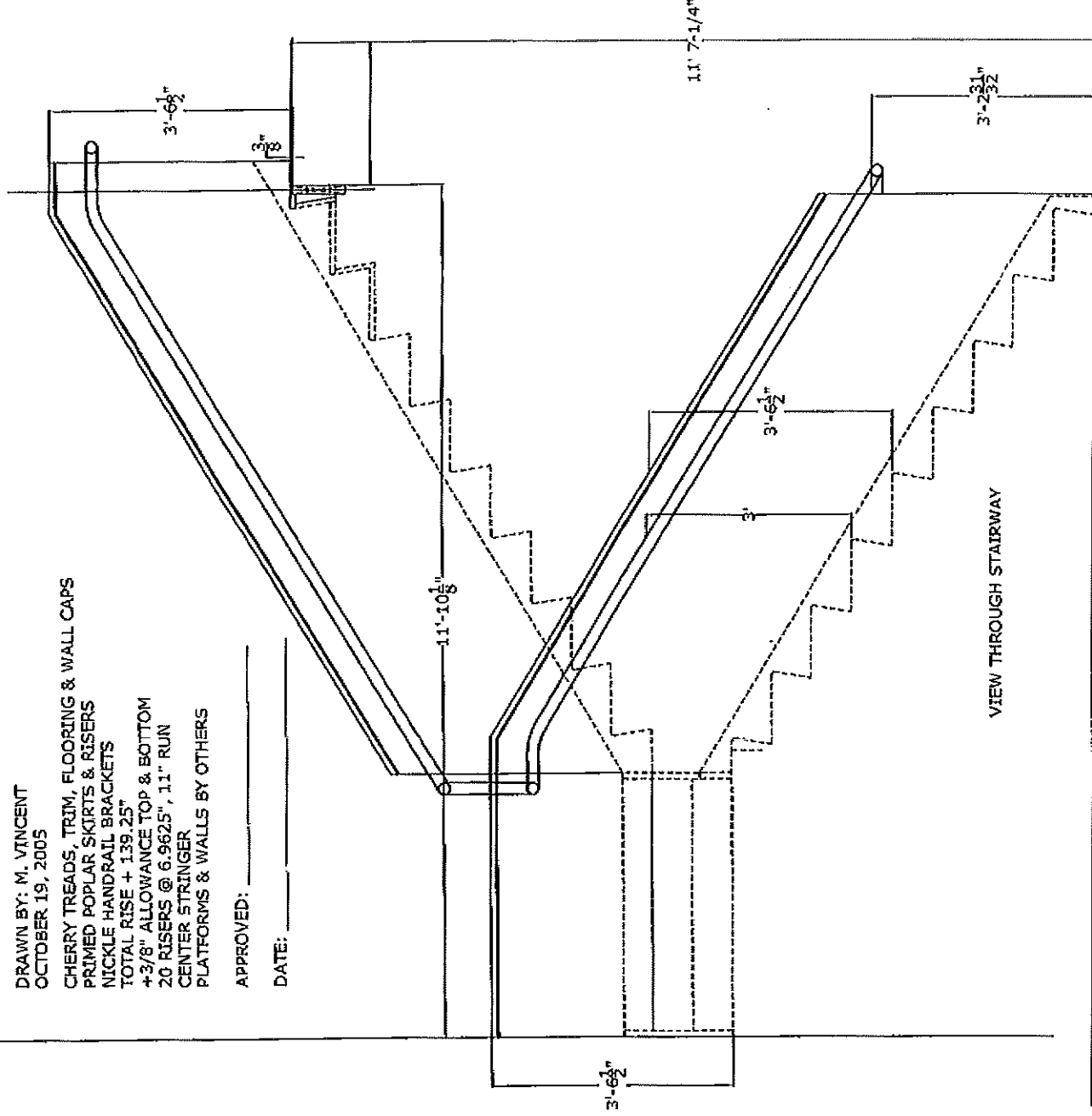
COLONIAL WOODWORKING, INC.
BRADFORD, NH 03221

DRAWN BY: M. VINCENT
OCTOBER 19, 2005

CHERRY TREADS, TRIM, FLOORING & WALL CAPS
PRIMED POPLAR SKIRTS & RISERS
NICKLE HANDRAIL BRACKETS
TOTAL RISE + 139.25"
+3/8" ALLOWANCE TOP & BOTTOM
20 RISERS @ 6.9625", 11" RUN
CENTER STRINGER
PLATFORMS & WALLS BY OTHERS

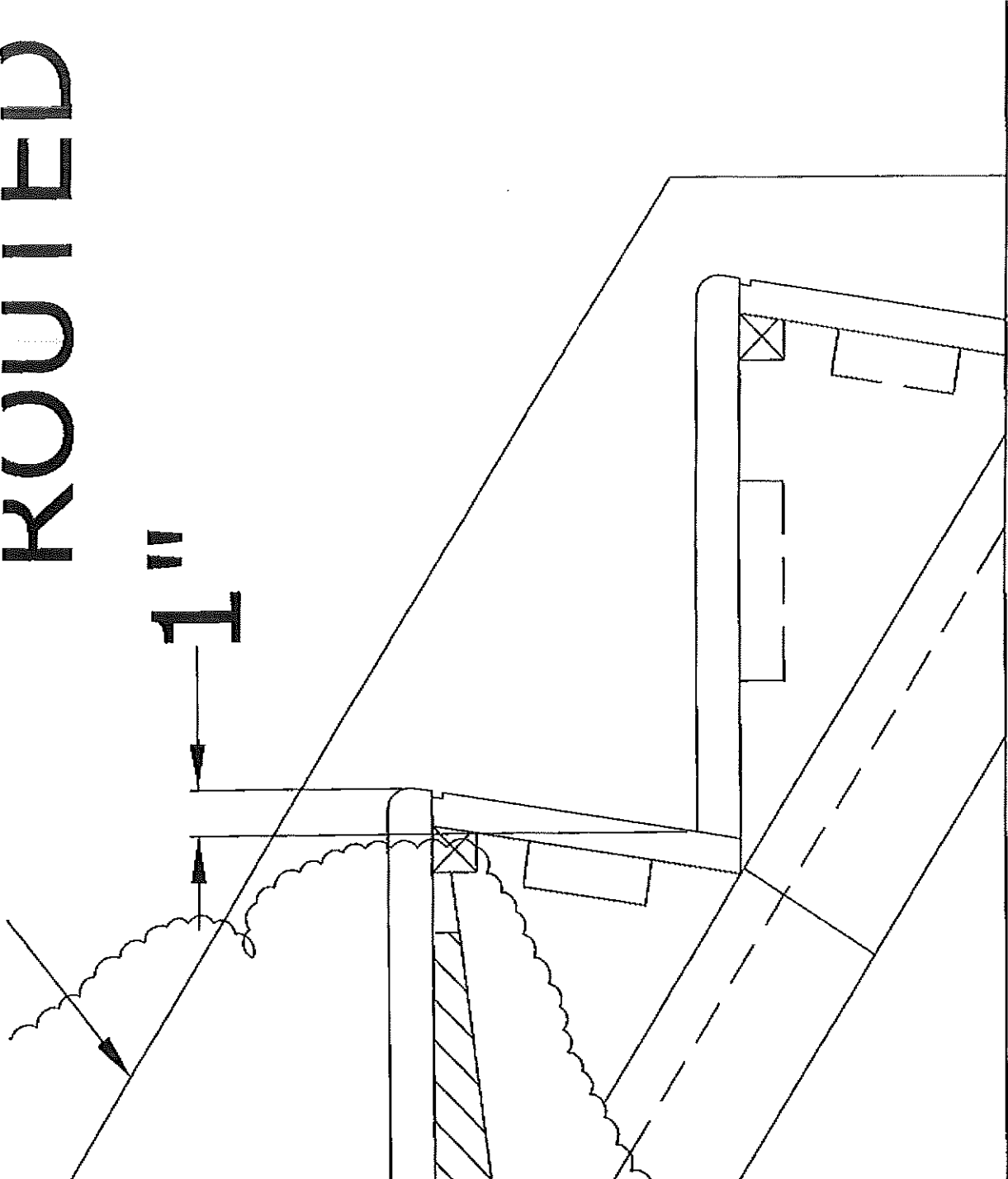
APPROVED: _____

DATE: _____

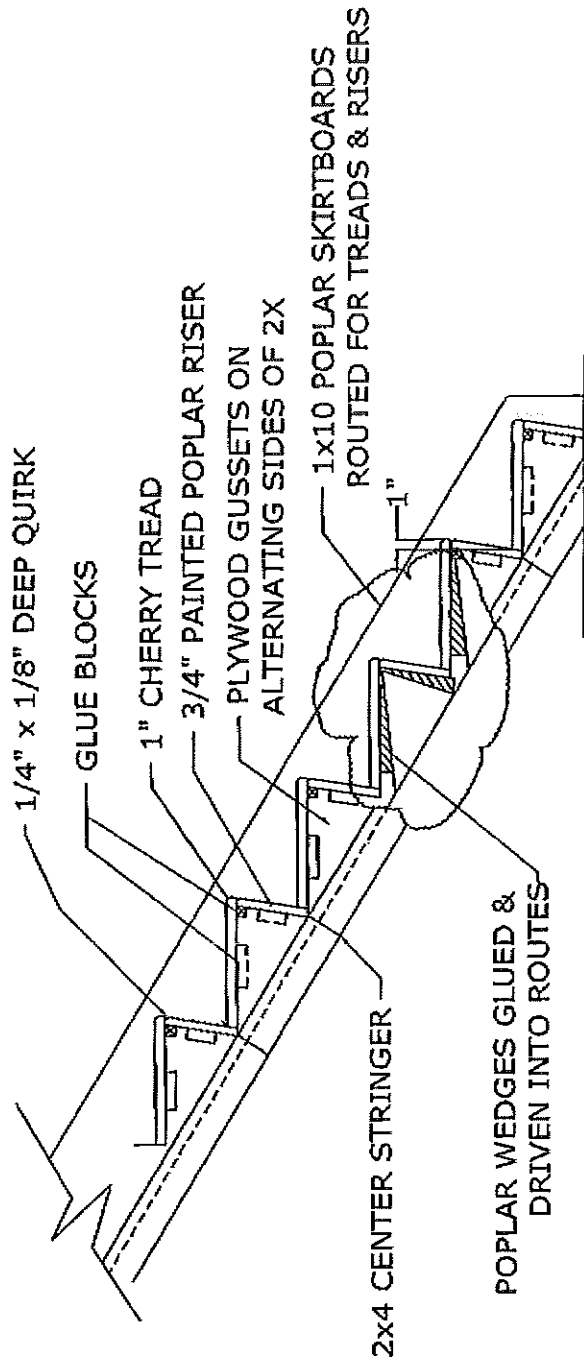


NOT DRAWN TO CORRECT RISE

ROUILED F



STAIR CONSTRUCTION DETAILS SECTION VIEW THROUGH STAIR



MIDDLE STREET TOWER B ASSOC.
C/O MIDDLE STREET MGMT, LLC
100 MIDDLE STREET
PORTLAND, ME

COLONIAL WOODWORKING, INC.
BRADFORD, NH 03221

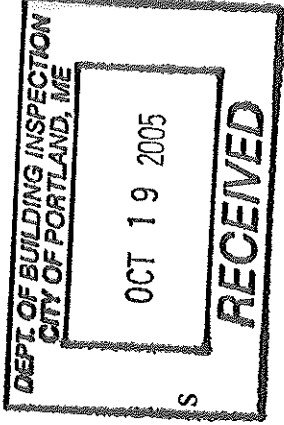
DRAWN BY: M. VINCENT
OCTOBER 19, 2005

CHERRY TREADS, TRIM, FLOORING & WALL CAPS
PRIMED POPLAR SKIRTS & RISERS
NICKLE HANDRAIL BRACKETS
TOTAL RISE + 139.25"
+3/8" ALLOWANCE TOP & BOTTOM
20 RISERS @ 6.9625", 11" RUN
CENTER STRINGER
PLATFORMS & WALLS BY OTHERS

APPROVED: _____

DATE: _____

HKTA / architects



HKTA / architects, inc.
482 Congress Street - Suite 200
Portland, Maine 04101

phone: 207 . 774 . 6016
fax: 207 . 774 . 9128
e-mail: hkta@aol.com

Transmittal

603 938-5131
5

To MIKE NUGENT Date 10/19/05
CITY OF PORTLAND
COPE ENFORCEMENT 180 MIDDLE STREET
Job No. TOWER B

To Attached Hand delivered Under separate cover via
 Shop drawings Prints Samples Specifications
 Copy of letter Change order Other

Copies	Date	No.	Description
1	10/19/05	7	pages - Internal stair details by colonial woodworking
1			Wall construction detail from construction documents set - dated 8/24/05

Purpose For approval No exception taken Rejected
 For your use Make corrections noted Review and comment
 As requested Revise and resubmit Other

Remarks

Copy to Middle St. Mt. Signed Amir Al-Samir
If enclosures are not as noted, kindly notify us at once

MIDDLE STREET TOWER B ASSOC
C/O MIDDLE STREET MGMT, LLC
100 MIDDLE STREET
PORTLAND, ME

COLONIAL WOODWORKING, INC
BRADFORD, NH 03221

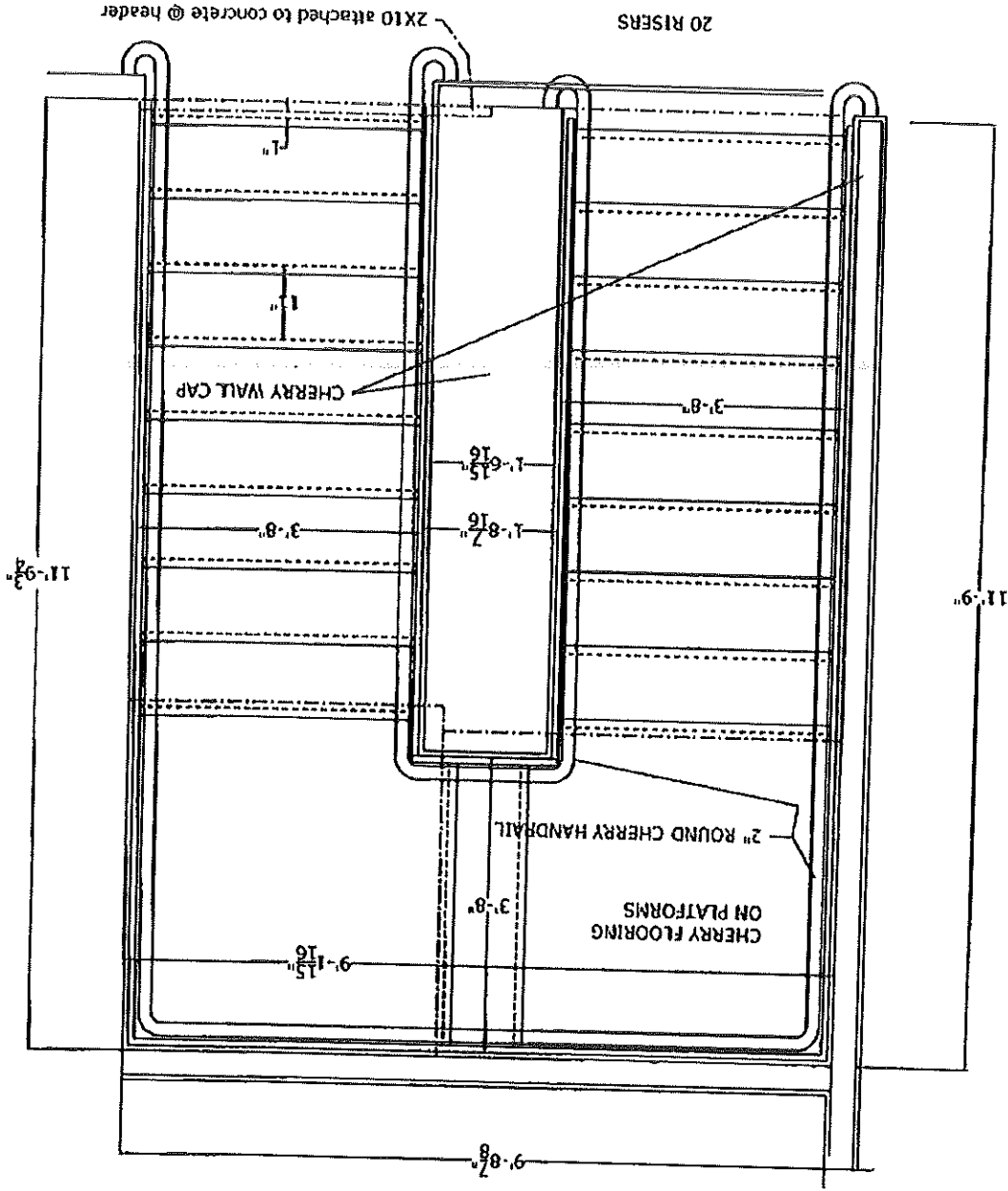
DRAWN BY: M. VINCENT

OCTOBER 19, 2005

CHERRY TREADS, TRIM, FLOORING & WALL CAPS
PRIMED POPLAR SKIRTS & RISERS
NICKLE HANDRAIL BRACKETS
TOTAL RISE + 139.25"
+3/8" ALLOWANCE TOP & BOTTOM
20 RISERS @ 6.9625", 11" RUN
CENTER STRINGER
PLATFORMS & WALLS BY OTHERS

APPROVED:

DATE:



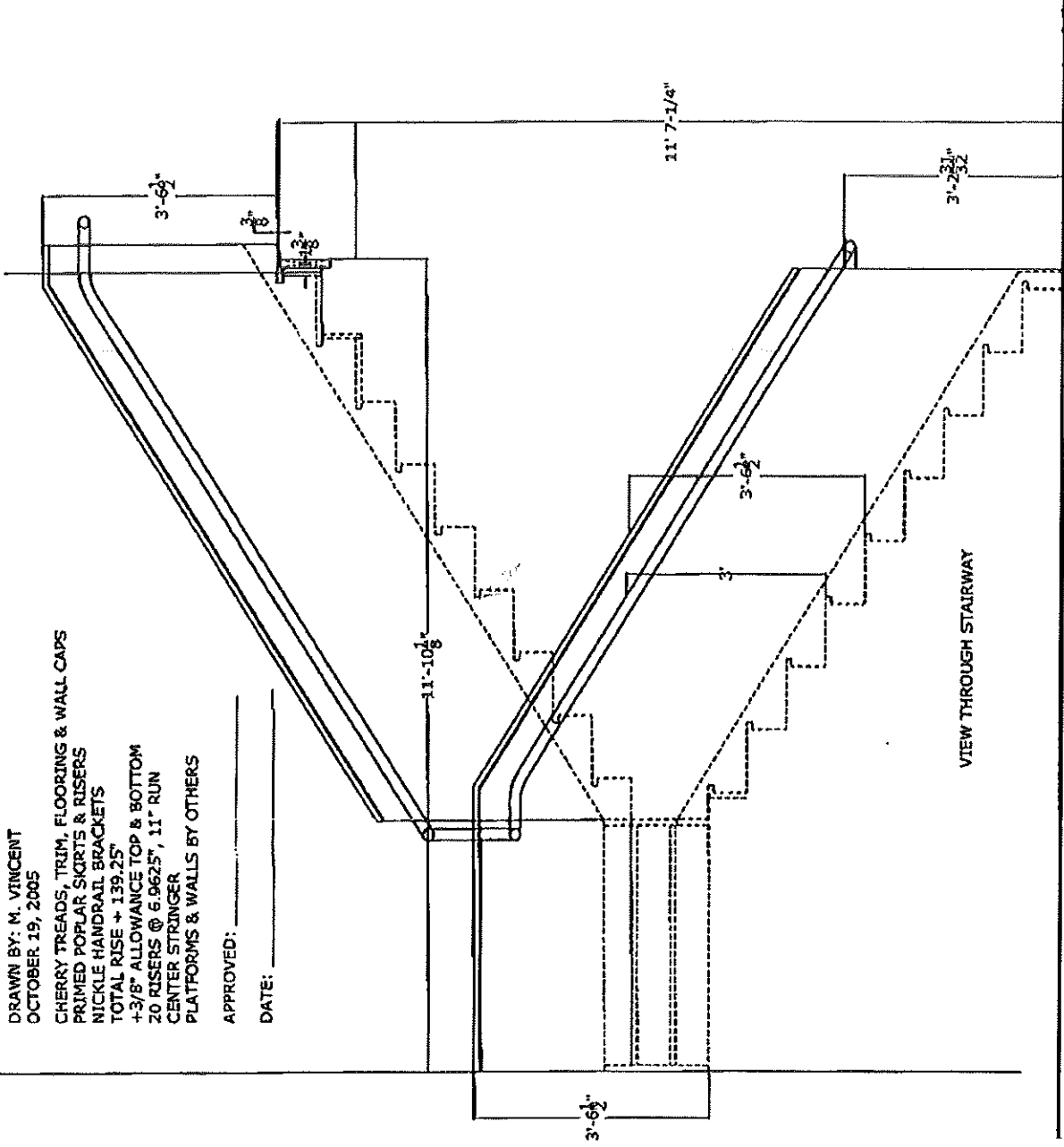
MIDDLE STREET TOWER B ASSOC.
C/O MIDDLE STREET MGMT, LLC
100 MIDDLE STREET
PORTLAND, ME

COLONIAL WOODWORKING, INC.
BRADFORD, NH 03221

DRAWN BY: M. VINCENT
OCTOBER 19, 2005

CHERRY TREADS, TRIM, FLOORING & WALL CAPS
PRIMED POPLAR SKIRTS & RISERS
NICKLE HANDRAIL BRACKETS
TOTAL RISE + 139.25"
+3/8" ALLOWANCE TOP & BOTTOM
20 RISERS @ 6.9625", 11" RUN
CENTER STRINGER
PLATFORMS & WALLS BY OTHERS

APPROVED: _____
DATE: _____



NOT DRAWN TO CORRECT RISE

MIDDLE STREET TOWER B ASSOC.
 C/O MIDDLE STREET MGMT, LLC
 100 MIDDLE STREET
 PORTLAND, ME
 COLONIAL WOODWORKING, INC.
 BRADFORD, NH 03221

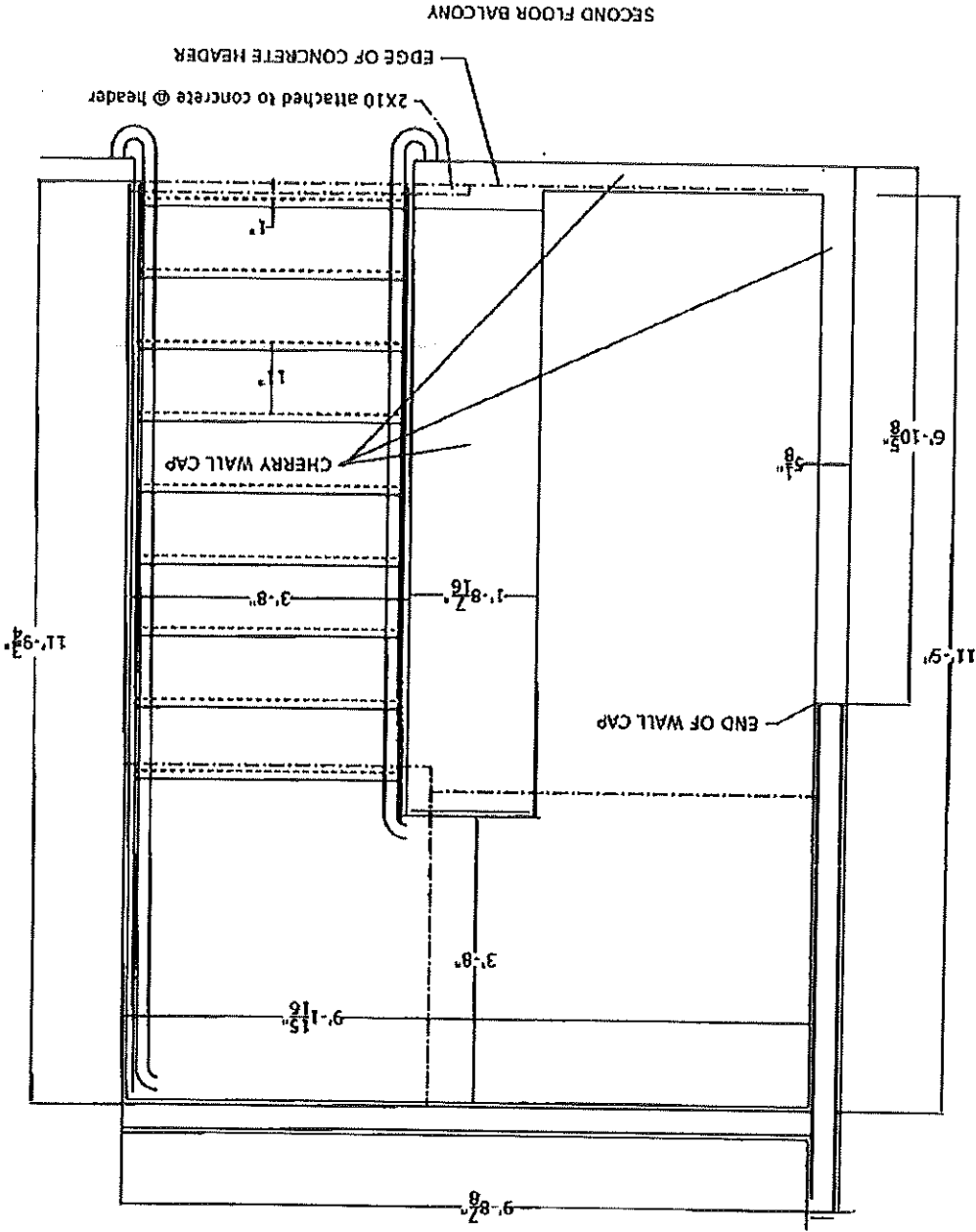
DRAWN BY: M. VINCENT

OCTOBER 19, 2005

CHERRY TREADS, TRIM, FLOORING & WALL CAPS
 PRIMED POPLAR SKIRTS & RISERS
 NICKLE HANDRAIL BRACKETS
 TOTAL RISE + 139.25"
 +3/8" ALLOWANCE TOP & BOTTOM
 20 RISERS @ 6.9625", 11" RUN
 CENTER STRINGER
 PLATFORMS & WALLS BY OTHERS

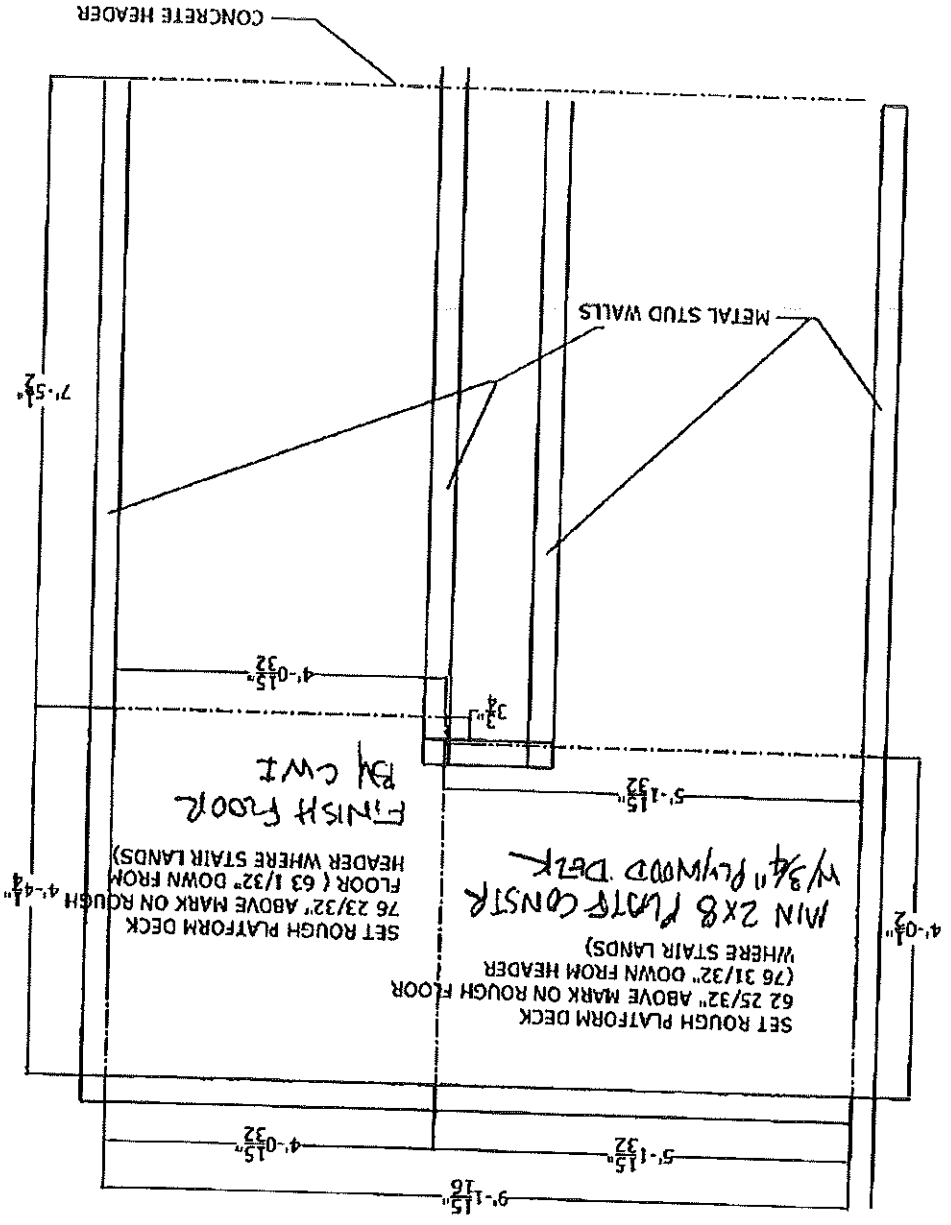
APPROVED: _____

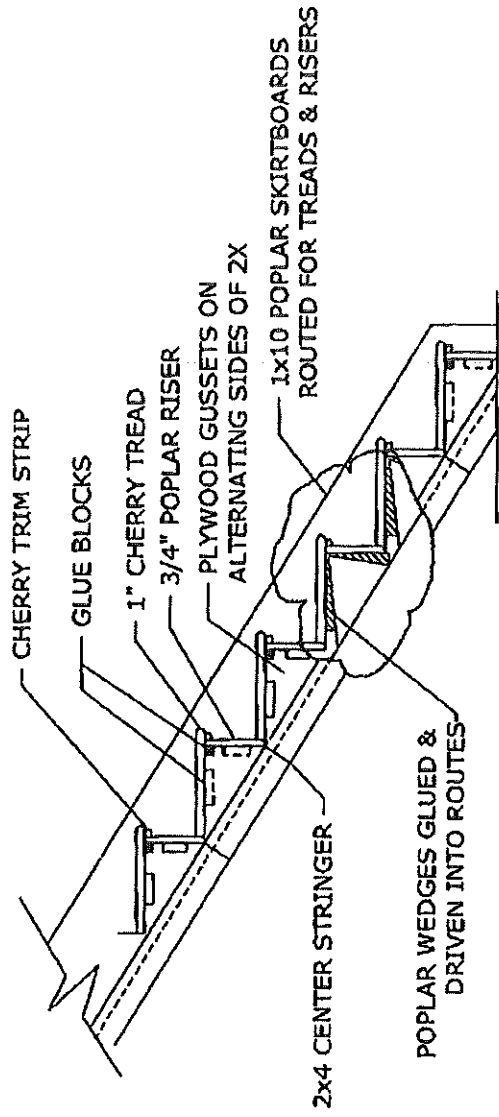
DATE: _____



MIDDLE STREET TOWER B ASSOC.
 C/O MIDDLE STREET MGMT, LLC
 100 MIDDLE STREET
 PORTLAND, ME
 COLONIAL WOODWORKING, INC.
 BRADFORD, NH 03221
 DRAWN BY: M. VINCENT
 OCTOBER 19, 2005
 CHERRY TREADS, TRIM, FLOORING & WALL CAPS
 PRIMED POPLAR SKIRTS & RISERS
 NICKLE HANDRAIL BRACKETS
 TOTAL RISE + 139.25"
 +3/8" ALLOWANCE TOP & BOTTOM
 20 RISERS @ 6.9625", 11" RUN
 CENTER STRINGER
 PLATFORMS & WALLS BY OTHERS

APPROVED: _____
 DATE: _____





MIDDLE STREET TOWER B ASSOC.
 C/O MIDDLE STREET MGMT, LLC
 100 MIDDLE STREET
 PORTLAND, ME

COLONIAL WOODWORKING, INC.
 BRADFORD, NH 03221

DRAWN BY: M. VINCENT
 OCTOBER 19, 2005

CHERRY TREADS, TRIM, FLOORING & WALL CAPS
 PRIMED POPLAR SKIRTS & RISERS
 NICKLE HANDRAIL BRACKETS
 TOTAL RISE + 139.25"
 +3/8" ALLOWANCE TOP & BOTTOM
 20 RISERS @ 6.9625", 11" RUN
 CENTER STRINGER
 PLATFORMS & WALLS BY OTHERS

APPROVED: _____

DATE: _____

MIDDLE STREET TOWER B ASSOC.
C/O MIDDLE STREET MGMT, LLC
100 MIDDLE STREET
PORTLAND, ME

COLONIAL WOODWORKING, INC.
BRADFORD, NH 03221

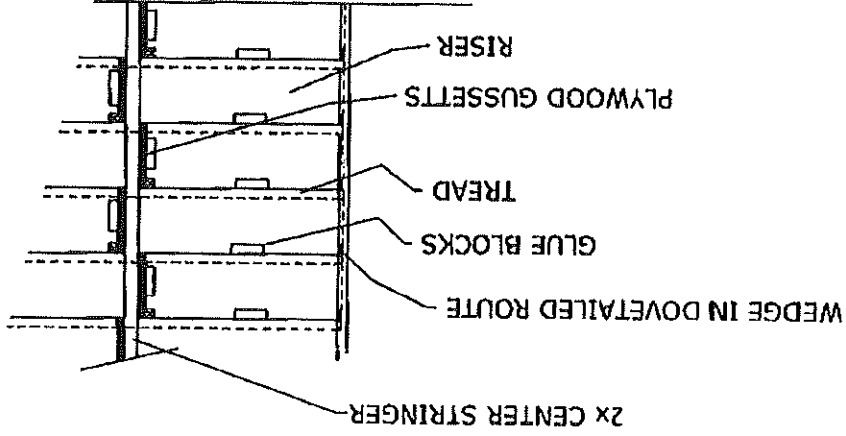
DRAWN BY: M. VINCENT
OCTOBER 19, 2005

CHERRY TREADS, TRIM, FLOORING & WALL CAPS
PRIMED POPLAR SKIRTS & RISERS
NICKLE HANDRAIL BRACKETS
TOTAL RISE + 139.25"
+3/8" ALLOWANCE TOP & BOTTOM
20 RISERS @ 6.9625", 11" RUN
CENTER STRINGER
PLATFORMS & WALLS BY OTHERS

APPROVED: _____

DATE: _____

STAIR CONSTRUCTION DETAILS VIEW FROM BACK OF STAIR



100 Middle Street

DEEP TOP RUNNER CHANNEL FOR DEFLECTION/SLIP CONNECTION

UNDERSIDE OF DECK

RUN GWB TO 1/4" FROM UNDERSIDE OF DECK, BOTH SIDES, PROVIDE ACOUST SEALANT @ TOP OF GWB

SLIP SPACE @ TOP OF STUDS, TYP.

FINISHED CEILING HEIGHT VARIES 5/8" GWB, BOTH SIDES.

TYPE "X" AT TYPE 2 WALL

3 5/8" METAL STUDS @ 16" O.C.

ACOUST INSULATION RUN FULL HEIGHT TO DECK FOR ACOUSTIC SEPARATION

BASE MOLDING, WOOD OR VINYL. SEE FIN SCHEDULE

ACOUST SEALANT (SEE SPEC) AT JOINT, BOTH SIDES UNDER WALLBOARD 1/4" GAP TYP

SHEETS
A-202
A-302

232

1 PARTITION TYPE 1 - NOT RATED

2 PARTITION TYPE 2 - 1 HR RATED - UL DESIGN NO. U465

FINISH SCHEDULE

xxx CARPET #1 CROSSLEY 30367 Gazebo-02673 Lakeview with Lifespan backing UNLESS NOTED OTHERWISE

201 202 203 205 208 209

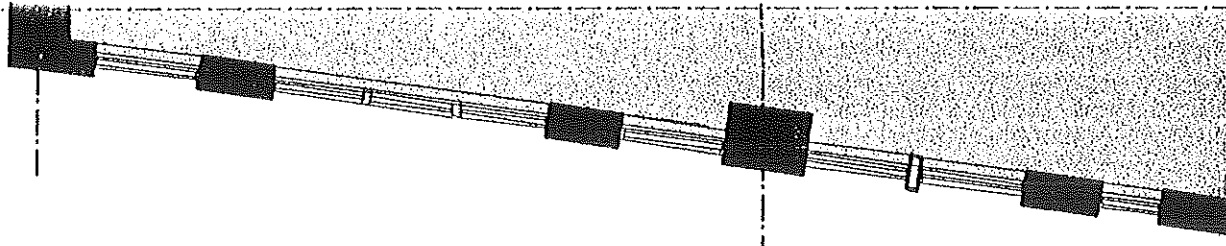
CARPET #1 WITH BORDER CARPET #2 TRELIS 30368-0267 Lakeview with Lifespan backing UNLESS NOTED OTHERWISE

211 212 220 233 236 240 241

204 VCT1 WITH VINYL BASE

VCT2 WITH WOOD BASE

WHERE CARPET IS INSTALLED, PROVIDE WOOD BASE TO MATCH EXISTING INSTALLATION. WHERE EXISTING WOOD BASE IS TO BE REMOVED FOR NEW CONSTRUCTION, SALVAGE WOOD BASE FOR RE-USE AT NEW LOCATIONS. WHERE WOOD BASE IS DAMAGED, SAND AND REPAIR AS NECESSARY FOR



City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1356	Date Applied For: 09/16/2005	CBL: 029 E026001
Owner Name: MIDDLE STREET OFFICE TOWE	Owner Address: 100 MIDDLE ST	Phone:
Business Name: Middle Street Management	Contractor Name: 100 Middle Street Portland	Phone: (207) 780-1680
Lessee/Buyer's Name: 	Permit Type: Alterations - Commercial	

Proposed Use: Commercial/ Office tenant fit-up 2nd & 3rd floors	Proposed Project Description: Office tenant fit-up - 2nd & 3rd floors
--	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 10/13/2005
Note: **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) Separate permits shall be required for any new signage.

Dept: Building **Status:** Pending **Reviewer:** Mike Nugent **Approval Date:** **Ok to Issue:**

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 10/13/2005
Note: **Ok to Issue:**

- 1) Any alteration to the life safety systems shall require seperate review.
- 2) All building construction to comply with NFPA 101.

Comments:

10/17/2005-mjn: Need plan for proposed connecting stairway as well as Framing detail for walls. Left message w/ applicant and architect.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1356	Date Applied For: 09/16/2005	CBL: 029 E026001
-----------------------	---------------------------------	---------------------

Location of Construction: 100 MIDDLE ST	Owner Name: MIDDLE STREET OFFICE TOWE	Owner Address: 100 MIDDLE ST	Phone:
Business Name: 	Contractor Name: Middle Street Management	Contractor Address: 100 Middle Street Portland	Phone: (207) 780-1680
Lessee/Buyer's Name: 	Phone: 	Permit Type: Alterations - Commercial	

Proposed Use: Commercial/ Office tenant fit-up 2nd & 3rd floors	Proposed Project Description: Office tenant fit-up - 2nd & 3rd floors
--	--

Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 10/13/2005
Note:	1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.		
	2) Separate permits shall be required for any new signage.		
Dept: Building	Status: Pending	Reviewer: Mike Nugent	Approval Date:
Note:	Ok to Issue: <input type="checkbox"/>		
Dept: Fire	Status: Approved with Conditions	Reviewer: Cptn Greg Cass	Approval Date: 10/13/2005
Note:	1) Any alteration to the life safety systems shall require separate review.		
	2) All building construction to comply with NFPA 101.		

Comments:
10/17/2005-mjn: Need plan for proposed connecting stairway as well as Framing detail for walls. Left message w/ applicant and architect.

FROM DESIGNER: HKA/Architects
 DATE: 9/16/05
 Job Name: TENANT RENOVATIONS FLR. 2+3 TOWER B
 Address of Construction: 100 MIDDLE STREET PORTLAND, ME.

2003 International Building Code
 Construction project was designed according to the building code criteria listed below:

Building Code and Year 2003 IBC Use Group Classification(s) GROUP B
 Type of Construction TENANT RENOVATION
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC Yes
 Is the Structure mixed use? No if yes, separated or not separated (see Section 302.3)
 Supervisory alarm system? Yes Geotechnical/Soils report required? (See Section 1802.2) N/A

STRUCTURAL DESGN CALCULATIONS
 Submitted for all structural members (Table 1601.1.1)
N/A

DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1603)
 Uniformly distributed floor live loads (1603.1.1, 1607)
 Floor Area Use Loads Shown
N/A

Live load reduction (1603.1.1, 1607.9, 1607.10)
 Roof live loads (1603.1.2, 1607.11)
Roof snow loads (1603.7.3, 1608)

Ground snow load, P_g (1603.2)
 If $P_g > 10$ psf, flat roof snow load, P_f (1603.3)
 If $P_g > 10$ psf, snow exposure factor, C_e (Table 1603.3.1)
N/A

If $P_g > 10$ psf, snow load importance factor, I_s (Table 1603.4)
Roof thermal factor, C_t (Table 1603.3.2)
 Sloped roof snowload, P_s (1603.4)

Wind loads (1603.1.4, 1609)
 Design option utilized (1603.1.1, 1609.6)
 Basic wind speed (1609.3)
 Building category and wind importance factor, I_w (Table 1604.5, 1609.5)
 Wind exposure category (1609.4)
 Internal pressure coefficient (ASCE 7)
 Component and cladding pressures (1609.1.1, 1609.6.2.2)
 Main force wind pressures (1603.1.1, 1609.6.2.1)
N/A

Seismic design category (1617.6.3)
 Basic seismic force-resisting system (Table 1617.6.2)
 Response modification coefficient, R , and deflection amplification factor, C_d (Table 1617.6.2)
 Analysis procedure (1617.6, 1617.5.1)
 Design base shear (1617.4, 1617.5.1)
 Flood loads (1603.1.4, 1617.2)
 Flood hazard area (1612.3)
 Elevation of structure
N/A
 Other loads

Earthquake design data (1603.1.5, 1614-1623)
 Design option utilized (1614.1)
 Seismic use group ("Category") (Table 1604.5, 1616.2)
 Spectral response coefficients, S_{DS} & S_{D1} (1616.1)
N/A

Concentrated loads (1607.4)
 Partition loads (1607.5)
 Impact loads (1607.8)
 Misc. loads (Table 1607.6, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)
 She class (1615.1.6)



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: HKTA/architects

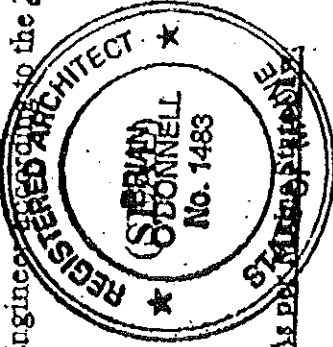
RE: Certificate of Design

DATE: 9/16/05

These plans and / or specifications covering construction work on:

TENANT RENOVATIONS 2nd + 3rd FLOORS
TOWER B

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer, in accordance to the 2003 International Building Code and local amendments.



Signature: Stephen O'Donnell

Title: Architect

Firm: HKTA/architects

Address: 482 Congress St.
Portland, Me.

\$50,000.00 or more in new construction, repair expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>100 MIDDLE STREET TOWER B</u>		Square Footage of Lot
Total Square Footage of Proposed Structure <u>24,065 S.F.</u>		
Tax Assessor's Chart, Block & Lot Chart# <u>029</u> Block# <u>6026-001</u> Lot#	Owner: <u>MIDDLE ST. OFFICE TOWER B ASSOCIATES L.P.</u>	Telephone: <u>(607) 780-1680 EXT 3</u>
Lessee/Buyer's Name (if Applicable) <u>BANK OF AMERICA</u>	Applicant name, address & telephone: <u>MIDDLE STREET MANAGEMENT 100 MIDDLE STREET BOSTON, MAINE 04101 (607) 780-1680 EXT #3</u>	Cost Of Work: \$ <u>487,500</u> Fee: \$
Current use: <u>PROFESSIONAL OFFICES</u>		
If the location is currently vacant, what was prior use: <u>PROFESSIONAL OFFICES</u>		
Approximately how long has it been vacant: <u>7 MONTHS.</u>		
Proposed use: <u>PROFESSIONAL OFFICES</u>		
Project description: <u>RENOVATE EXISTING OFFICES FOR USE BY NEW TENANT. REWORK EXISTING OFFICES AND ADD 9 NEW OFFICES, BREAK ROOM + TRAP CONFERENCE ROOMS, INTERNAL STAIRWELL.</u>		
Contractor's name, address & telephone: <u>MIDDLE STREET MANAGEMENT LLC. 100 MIDDLE STREET BOSTON, MAINE 04101</u>		
Who should we contact when the permit is ready: <u>BILL MATHUGH (607) 780-1680 EXT #3</u>		
Mailing address: <u>100 MIDDLE STREET BOSTON, MAINE 04101</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>(607) 780-1680 EXT #3</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: William J. Mathugh Date: 9/15/04

This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall