

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read Application And Notes, if Any, Attached

BUILDING INSPECTION PERMIT ISSUED
Permit Number: 030219

MAY 22 2003

This is to certify that Neal Alexandra K / Goduni Building Co.
has permission to Construct "New" Single Family Home,
AT 30 West Shore Dr Great Island CITY OF PORTLAND
083B A002001

provided that the person or persons of the provisions of the Statutes of the construction, maintenance and this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Inspection must be made on project before this permit is issued or advised. PERMITS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

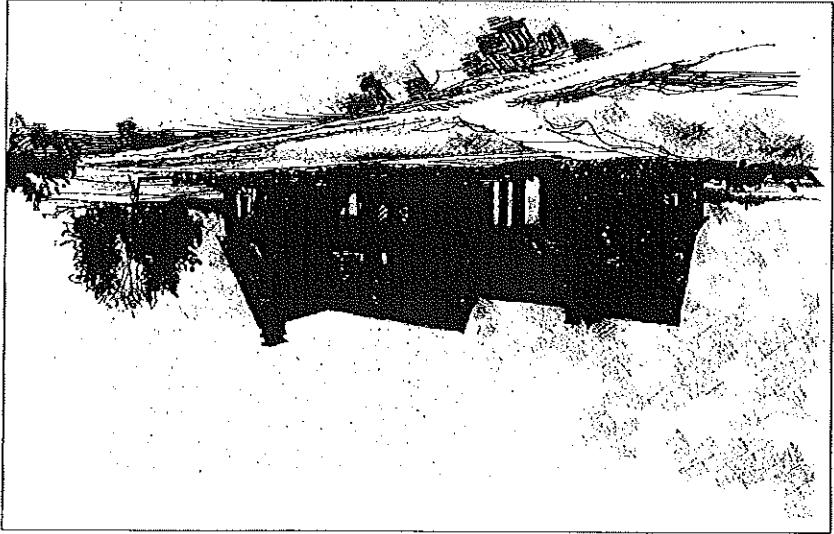
OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

Janice Burke 5/22/03
Director - Building's Inspection Services

PENALTY FOR REMOVING THIS CARD

Residence For Alex and Byron Neal 30 West Shore Drive, Great Diamond Island, Maine



DEPT. OF BUILDING INSPECTION
CITY OF FORT AND, MS
MAY 12 2003
REGISTER

CONTRACT
REVISIONS
DATE
BY
NO.

7-1
DATE
BY
NO.

DIAMOND ISLAND SHEET
TITLE SHEET

NEAL RESIDENCE
GREAT DIAMOND ISLAND, MAINE

REVISIONS
DATE
BY
NO.

CONTRACT
REVISIONS
DATE
BY
NO.

INSULATION

- 1. All exterior walls shall be insulated with rigid insulation...
2. All exterior walls shall be insulated with rigid insulation...
3. All exterior walls shall be insulated with rigid insulation...

MISCELLANEOUS NOTES

- A. Contractor shall verify all conditions and dimensions prior to beginning work...
B. All exterior walls shall be insulated with rigid insulation...
C. All exterior walls shall be insulated with rigid insulation...

NOTES

- 1. All exterior walls shall be insulated with rigid insulation...
2. All exterior walls shall be insulated with rigid insulation...
3. All exterior walls shall be insulated with rigid insulation...

LEGEND

- 1. All exterior walls shall be insulated with rigid insulation...
2. All exterior walls shall be insulated with rigid insulation...
3. All exterior walls shall be insulated with rigid insulation...

REINFORCING STEEL

WOOD FRAMING

GENERAL NOTES:

- 1. All exterior walls shall be insulated with rigid insulation...
2. All exterior walls shall be insulated with rigid insulation...
3. All exterior walls shall be insulated with rigid insulation...

DESIGN LOADS:

- 1. All exterior walls shall be insulated with rigid insulation...
2. All exterior walls shall be insulated with rigid insulation...
3. All exterior walls shall be insulated with rigid insulation...

FOUNDATIONS:

- 1. All exterior walls shall be insulated with rigid insulation...
2. All exterior walls shall be insulated with rigid insulation...
3. All exterior walls shall be insulated with rigid insulation...

- 1. TIME SHEET
2. SHEET PLAN
3. SHEET PLAN
4. GROUND FLOOR PLAN
5. FIRST FLOOR PLAN
6. SECOND FLOOR PLAN
7. ELEVATIONS
8. BUILDING SECTIONS
9. BUILDING SECTIONS
10. BUILDING SECTIONS
11. BUILDING SECTIONS
12. BUILDING SECTIONS
13. BUILDING SECTIONS
14. BUILDING SECTIONS
15. BUILDING SECTIONS
16. BUILDING SECTIONS
17. BUILDING SECTIONS
18. BUILDING SECTIONS
19. BUILDING SECTIONS
20. BUILDING SECTIONS
21. BUILDING SECTIONS
22. BUILDING SECTIONS
23. BUILDING SECTIONS
24. BUILDING SECTIONS
25. BUILDING SECTIONS
26. BUILDING SECTIONS
27. BUILDING SECTIONS
28. BUILDING SECTIONS
29. BUILDING SECTIONS
30. BUILDING SECTIONS
31. BUILDING SECTIONS
32. BUILDING SECTIONS
33. BUILDING SECTIONS
34. BUILDING SECTIONS
35. BUILDING SECTIONS
36. BUILDING SECTIONS
37. BUILDING SECTIONS
38. BUILDING SECTIONS
39. BUILDING SECTIONS
40. BUILDING SECTIONS
41. BUILDING SECTIONS
42. BUILDING SECTIONS
43. BUILDING SECTIONS
44. BUILDING SECTIONS
45. BUILDING SECTIONS
46. BUILDING SECTIONS
47. BUILDING SECTIONS
48. BUILDING SECTIONS
49. BUILDING SECTIONS
50. BUILDING SECTIONS
51. BUILDING SECTIONS
52. BUILDING SECTIONS
53. BUILDING SECTIONS
54. BUILDING SECTIONS
55. BUILDING SECTIONS
56. BUILDING SECTIONS
57. BUILDING SECTIONS
58. BUILDING SECTIONS
59. BUILDING SECTIONS
60. BUILDING SECTIONS
61. BUILDING SECTIONS
62. BUILDING SECTIONS
63. BUILDING SECTIONS
64. BUILDING SECTIONS
65. BUILDING SECTIONS
66. BUILDING SECTIONS
67. BUILDING SECTIONS
68. BUILDING SECTIONS
69. BUILDING SECTIONS
70. BUILDING SECTIONS
71. BUILDING SECTIONS
72. BUILDING SECTIONS
73. BUILDING SECTIONS
74. BUILDING SECTIONS
75. BUILDING SECTIONS
76. BUILDING SECTIONS
77. BUILDING SECTIONS
78. BUILDING SECTIONS
79. BUILDING SECTIONS
80. BUILDING SECTIONS
81. BUILDING SECTIONS
82. BUILDING SECTIONS
83. BUILDING SECTIONS
84. BUILDING SECTIONS
85. BUILDING SECTIONS
86. BUILDING SECTIONS
87. BUILDING SECTIONS
88. BUILDING SECTIONS
89. BUILDING SECTIONS
90. BUILDING SECTIONS
91. BUILDING SECTIONS
92. BUILDING SECTIONS
93. BUILDING SECTIONS
94. BUILDING SECTIONS
95. BUILDING SECTIONS
96. BUILDING SECTIONS
97. BUILDING SECTIONS
98. BUILDING SECTIONS
99. BUILDING SECTIONS
100. BUILDING SECTIONS

© COPYRIGHT
 ALL RIGHTS RESERVED
 NO PART OF THIS PUBLICATION
 MAY BE REPRODUCED OR
 TRANSMITTED IN ANY FORM
 OR BY ANY MEANS
 WITHOUT PERMISSION
 FROM THE PUBLISHER

A-0

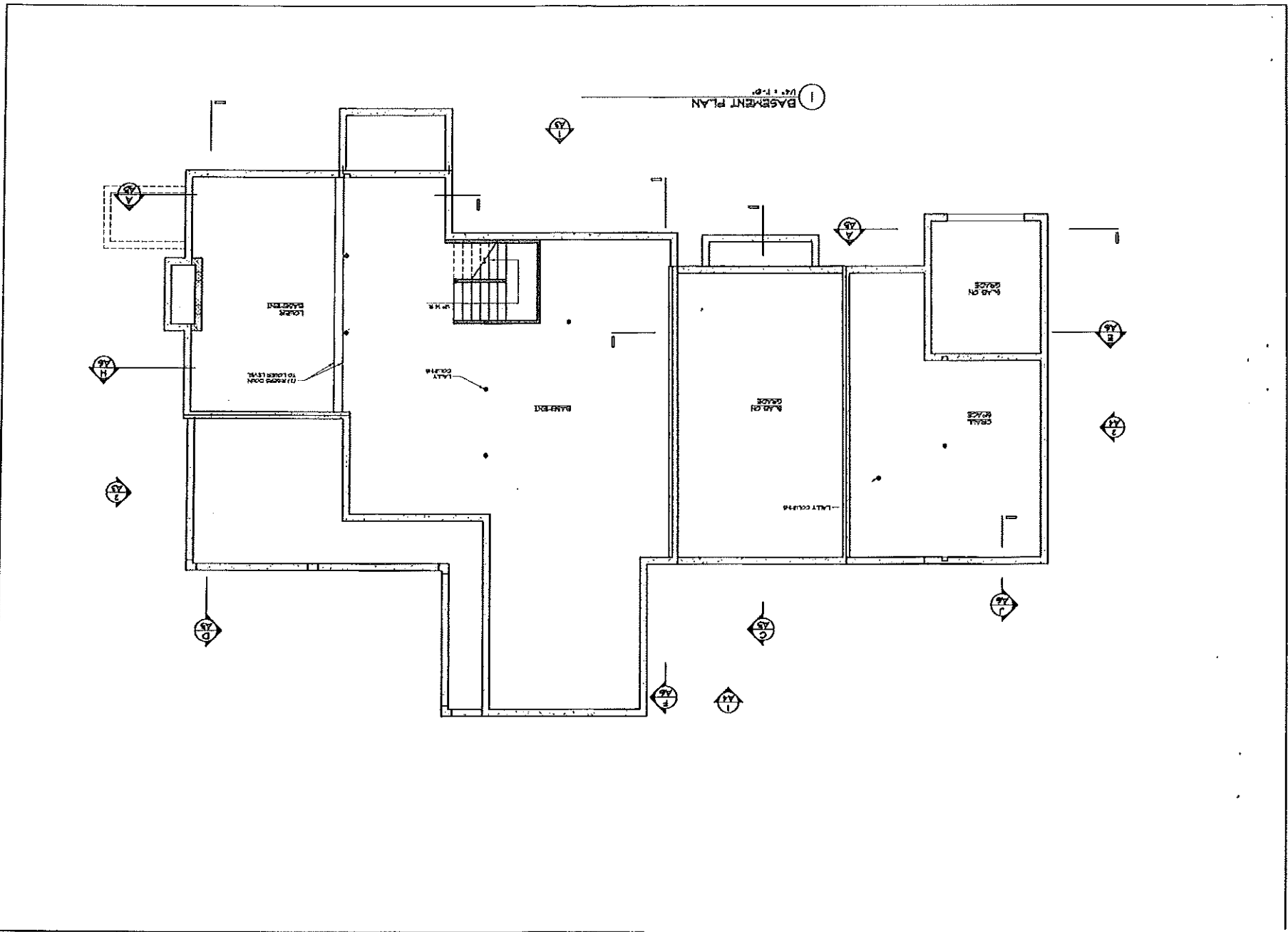
DATE	1-8-20
NUMBER	
DESIGN BY	LD
CHECKED BY	

DATE OF THIS SHEET _____
BASMENT PLAN

NEAL RESIDENCE
 GREAT DIVISION ROAD, PAINE

NO.	DESCRIPTION
1	
2	

1017 Highland Avenue, St. Paul, MN 55104
 Phone: (612) 434-3444
 Fax: (612) 434-3444
 Email: info@jamescooney.com



DATE: 1-2-03
 DRAWN BY: [unintelligible]
 CHECKED BY: [unintelligible]

A-1

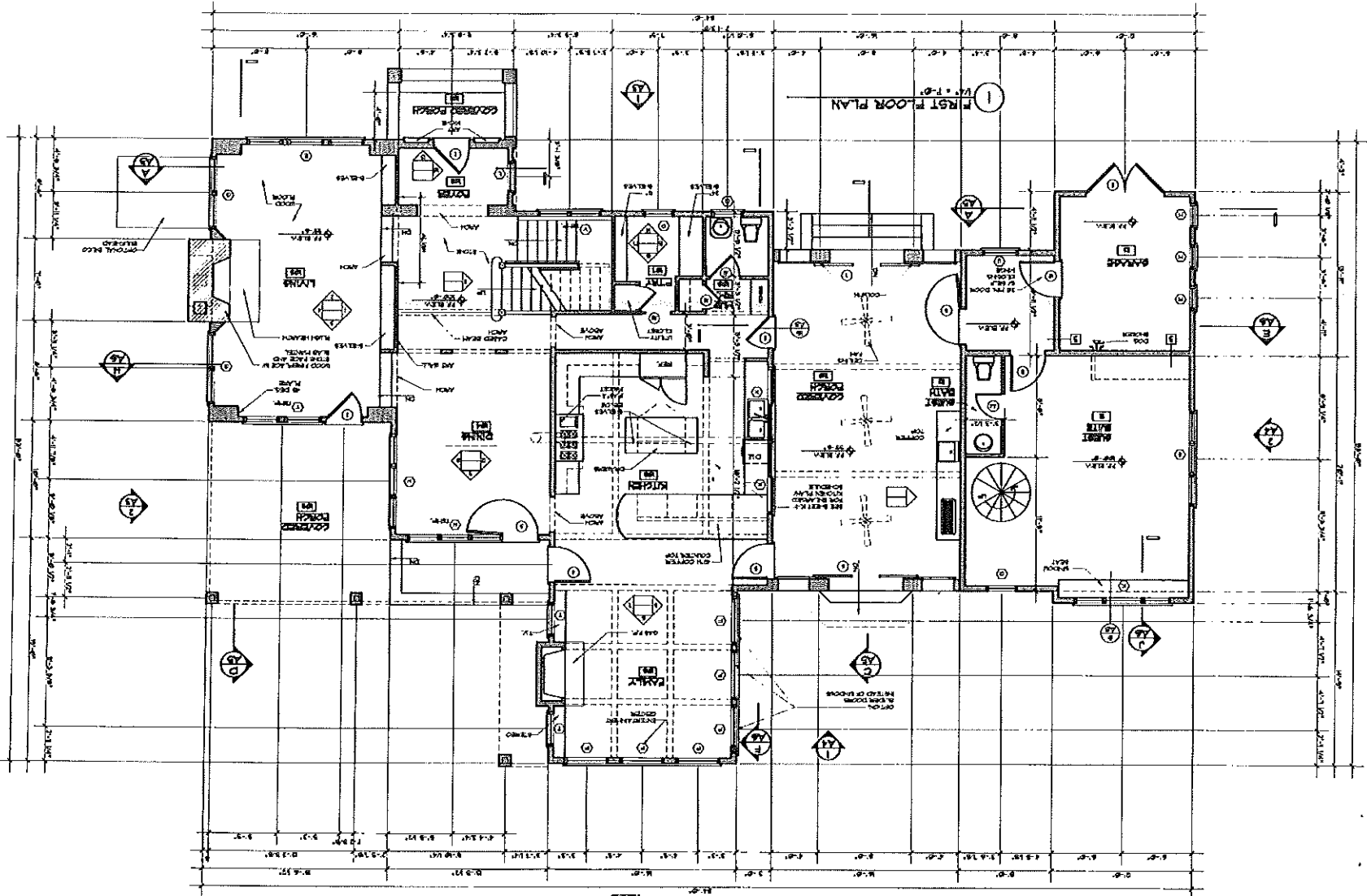
PROJECT: NEAL RESIDENCE
 SHEET: 1 OF 1

FRONT FLOOR PLAN

NEAL RESIDENCE
 GREAT DIAMOND ISLAND PLANT

REVISIONS

DATE: 1-2-03
 DRAWN BY: [unintelligible]
 CHECKED BY: [unintelligible]



- WALL TYPES
- 1 TYPICAL INTERIOR WALL
 - 2 TYPICAL INTERIOR WALL
 - 3 TYPICAL INTERIOR WALL
 - 4 TYPICAL INTERIOR WALL
 - 5 TYPICAL INTERIOR WALL
 - 6 TYPICAL INTERIOR WALL
 - 7 TYPICAL INTERIOR WALL
 - 8 TYPICAL INTERIOR WALL
 - 9 TYPICAL INTERIOR WALL
 - 10 TYPICAL INTERIOR WALL
 - 11 TYPICAL INTERIOR WALL
 - 12 TYPICAL INTERIOR WALL
 - 13 TYPICAL INTERIOR WALL
 - 14 TYPICAL INTERIOR WALL
 - 15 TYPICAL INTERIOR WALL
 - 16 TYPICAL INTERIOR WALL
 - 17 TYPICAL INTERIOR WALL
 - 18 TYPICAL INTERIOR WALL
 - 19 TYPICAL INTERIOR WALL
 - 20 TYPICAL INTERIOR WALL
 - 21 TYPICAL INTERIOR WALL
 - 22 TYPICAL INTERIOR WALL
 - 23 TYPICAL INTERIOR WALL
 - 24 TYPICAL INTERIOR WALL
 - 25 TYPICAL INTERIOR WALL
 - 26 TYPICAL INTERIOR WALL
 - 27 TYPICAL INTERIOR WALL
 - 28 TYPICAL INTERIOR WALL
 - 29 TYPICAL INTERIOR WALL
 - 30 TYPICAL INTERIOR WALL
 - 31 TYPICAL INTERIOR WALL
 - 32 TYPICAL INTERIOR WALL
 - 33 TYPICAL INTERIOR WALL
 - 34 TYPICAL INTERIOR WALL
 - 35 TYPICAL INTERIOR WALL
 - 36 TYPICAL INTERIOR WALL
 - 37 TYPICAL INTERIOR WALL
 - 38 TYPICAL INTERIOR WALL
 - 39 TYPICAL INTERIOR WALL
 - 40 TYPICAL INTERIOR WALL
 - 41 TYPICAL INTERIOR WALL
 - 42 TYPICAL INTERIOR WALL
 - 43 TYPICAL INTERIOR WALL
 - 44 TYPICAL INTERIOR WALL
 - 45 TYPICAL INTERIOR WALL
 - 46 TYPICAL INTERIOR WALL
 - 47 TYPICAL INTERIOR WALL
 - 48 TYPICAL INTERIOR WALL
 - 49 TYPICAL INTERIOR WALL
 - 50 TYPICAL INTERIOR WALL
 - 51 TYPICAL INTERIOR WALL
 - 52 TYPICAL INTERIOR WALL
 - 53 TYPICAL INTERIOR WALL
 - 54 TYPICAL INTERIOR WALL
 - 55 TYPICAL INTERIOR WALL
 - 56 TYPICAL INTERIOR WALL
 - 57 TYPICAL INTERIOR WALL
 - 58 TYPICAL INTERIOR WALL
 - 59 TYPICAL INTERIOR WALL
 - 60 TYPICAL INTERIOR WALL
 - 61 TYPICAL INTERIOR WALL
 - 62 TYPICAL INTERIOR WALL
 - 63 TYPICAL INTERIOR WALL
 - 64 TYPICAL INTERIOR WALL
 - 65 TYPICAL INTERIOR WALL
 - 66 TYPICAL INTERIOR WALL
 - 67 TYPICAL INTERIOR WALL
 - 68 TYPICAL INTERIOR WALL
 - 69 TYPICAL INTERIOR WALL
 - 70 TYPICAL INTERIOR WALL
 - 71 TYPICAL INTERIOR WALL
 - 72 TYPICAL INTERIOR WALL
 - 73 TYPICAL INTERIOR WALL
 - 74 TYPICAL INTERIOR WALL
 - 75 TYPICAL INTERIOR WALL
 - 76 TYPICAL INTERIOR WALL
 - 77 TYPICAL INTERIOR WALL
 - 78 TYPICAL INTERIOR WALL
 - 79 TYPICAL INTERIOR WALL
 - 80 TYPICAL INTERIOR WALL
 - 81 TYPICAL INTERIOR WALL
 - 82 TYPICAL INTERIOR WALL
 - 83 TYPICAL INTERIOR WALL
 - 84 TYPICAL INTERIOR WALL
 - 85 TYPICAL INTERIOR WALL
 - 86 TYPICAL INTERIOR WALL
 - 87 TYPICAL INTERIOR WALL
 - 88 TYPICAL INTERIOR WALL
 - 89 TYPICAL INTERIOR WALL
 - 90 TYPICAL INTERIOR WALL
 - 91 TYPICAL INTERIOR WALL
 - 92 TYPICAL INTERIOR WALL
 - 93 TYPICAL INTERIOR WALL
 - 94 TYPICAL INTERIOR WALL
 - 95 TYPICAL INTERIOR WALL
 - 96 TYPICAL INTERIOR WALL
 - 97 TYPICAL INTERIOR WALL
 - 98 TYPICAL INTERIOR WALL
 - 99 TYPICAL INTERIOR WALL
 - 100 TYPICAL INTERIOR WALL

CONTRACTOR'S NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. VERIFY ALL FIELD DIMENSIONS AND LOCATIONS PRIOR TO CONSTRUCTION.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL ORDINANCES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.
 5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 6. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 9. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORKING SITE AT ALL TIMES.
 10. ALL WASTE MATERIALS SHALL BE PROPERLY DISPOSED OF AT THE END OF EACH DAY.

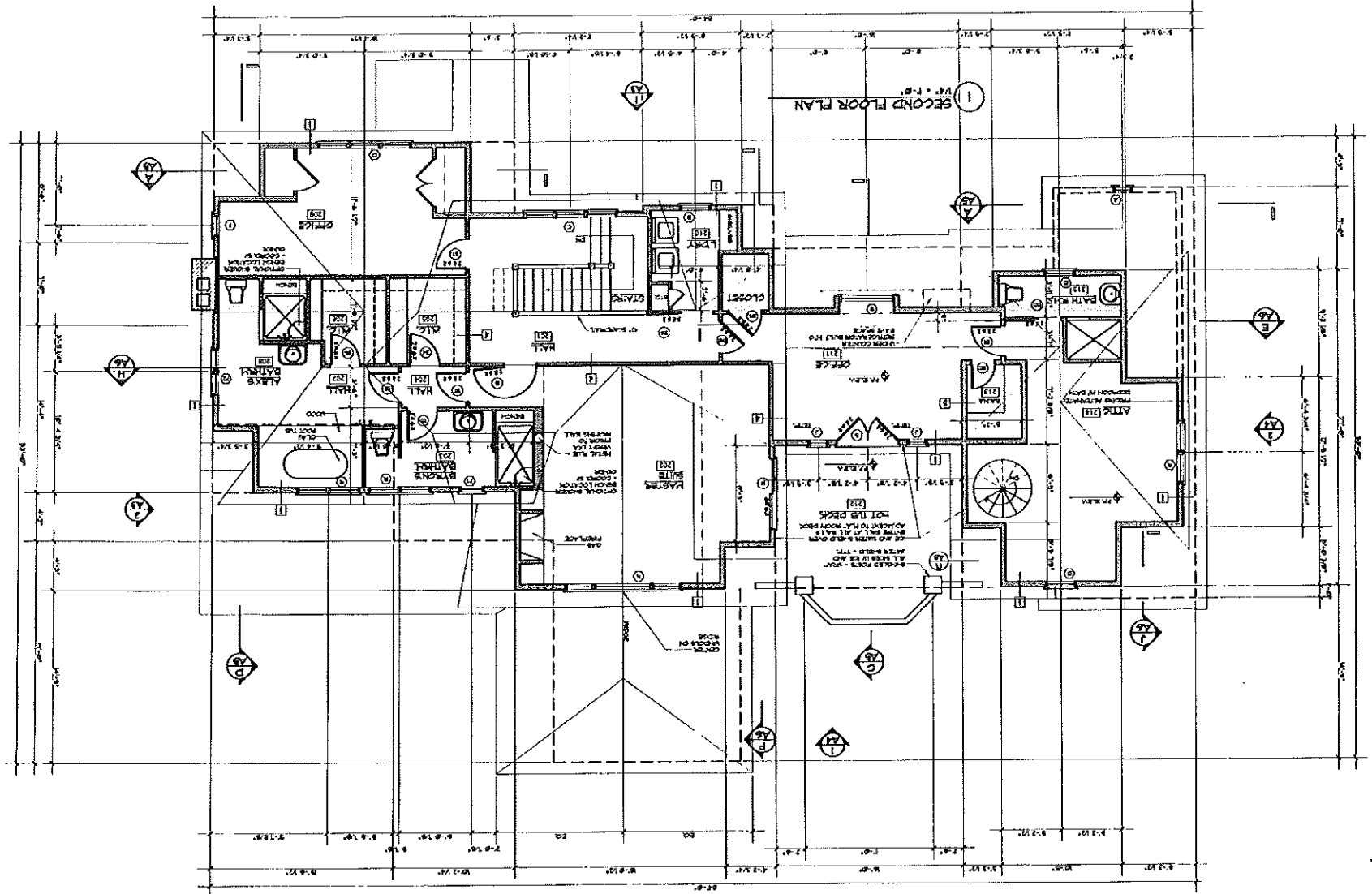
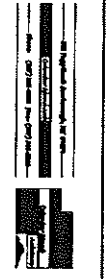
A-2

DATE: 12-15-23
 DRAWN BY: J.S.
 CHECKED BY: M.S.

DIMENSIONS THIS SHEET:
 SECOND FLOOR PLAN

NEAL RESIDENCE
 GREAT DIAMOND BLVD, HANE

REVISIONS:



- WALL TYPES
- 1 TYPICAL EXTERIOR WALL
 12" CMU
 2" POLYURETHANE INSULATION
 1/2" GYPSUM BOARD
 1/2" GYPSUM BOARD
 1/2" GYPSUM BOARD
 1/2" GYPSUM BOARD
 - 2 TYPICAL INTERIOR WALL
 5/8" CMU
 1/2" GYPSUM BOARD
 1/2" GYPSUM BOARD
 - 3 TYPICAL EXTERIOR WALL, NON-FINISH
 12" CMU
 1/2" GYPSUM BOARD
 1/2" GYPSUM BOARD
 - 4 TYPICAL EXTERIOR WALL, NON-FINISH
 12" CMU
 1/2" GYPSUM BOARD
 1/2" GYPSUM BOARD
 - 5 TYPICAL EXTERIOR WALL, NON-FINISH
 12" CMU
 1/2" GYPSUM BOARD
 1/2" GYPSUM BOARD
 - 6 TYPICAL EXTERIOR WALL, NON-FINISH
 12" CMU
 1/2" GYPSUM BOARD
 1/2" GYPSUM BOARD
 - 7 TYPICAL EXTERIOR WALL, NON-FINISH
 12" CMU
 1/2" GYPSUM BOARD
 1/2" GYPSUM BOARD
 - 8 TYPICAL EXTERIOR WALL, NON-FINISH
 12" CMU
 1/2" GYPSUM BOARD
 1/2" GYPSUM BOARD
 - 9 TYPICAL EXTERIOR WALL, NON-FINISH
 12" CMU
 1/2" GYPSUM BOARD
 1/2" GYPSUM BOARD
 - 10 TYPICAL EXTERIOR WALL, NON-FINISH
 12" CMU
 1/2" GYPSUM BOARD
 1/2" GYPSUM BOARD

PROJECT NO. 100-1000
 SHEET NO. A-3
 DATE 1-2-21
 DRAWN BY J.S.
 CHECKED BY J.S.
 APPROVED BY J.S.

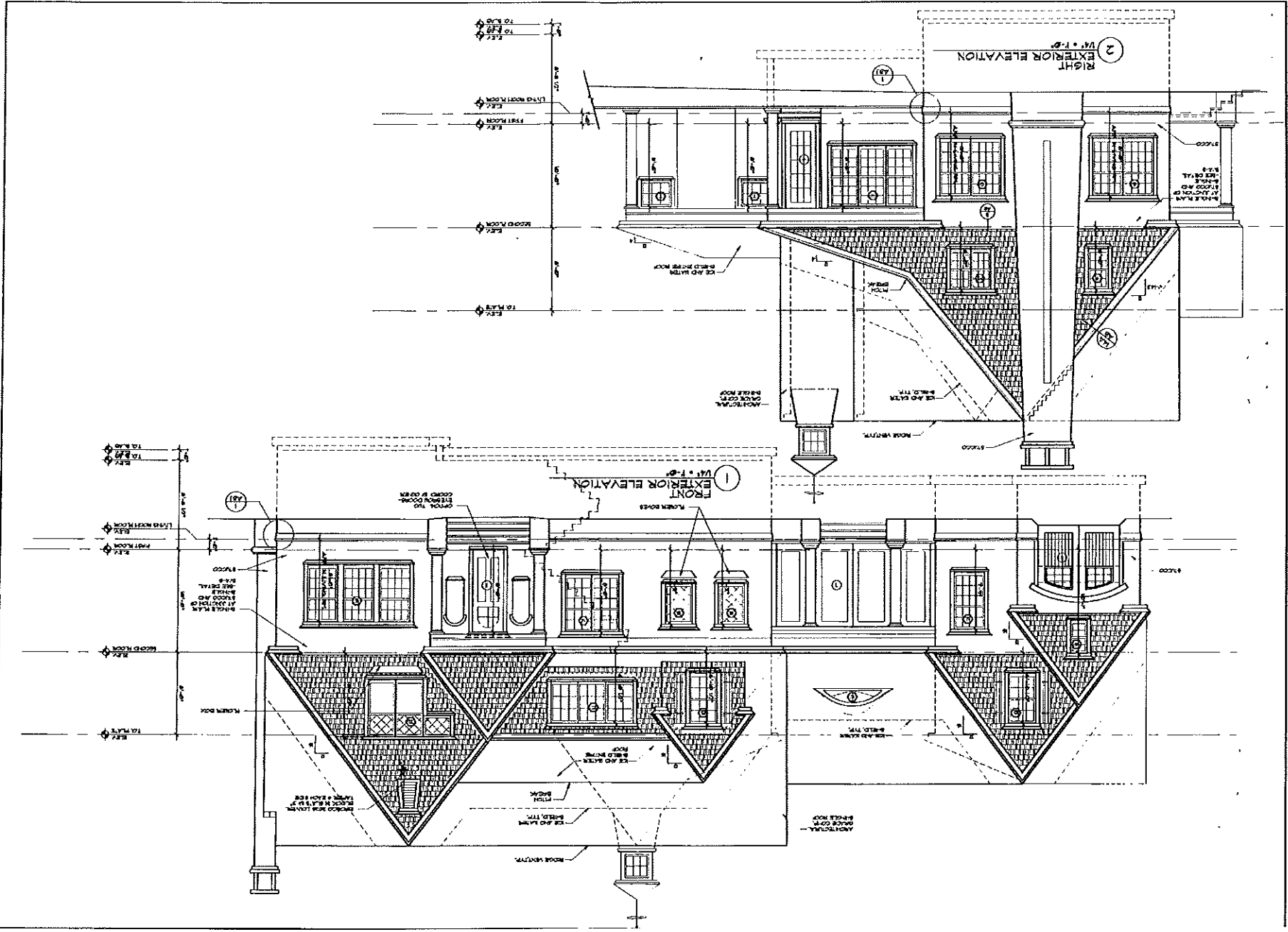
A-3

DRAWINGS THIS SHEET
 ELEVATIONS

NEAL RESIDENCE
 GREAT DUNEDON ISLAND, MAINE

SCALE
 ARCHITECTURAL
 1/4" = 1'-0"

ALL RIGHTS RESERVED BY THE ARCHITECT
 NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT



DATE: 12/15/11
DRAWN BY: [Signature]
CHECKED BY: [Signature]
PROJECT: NEAL RESIDENCE

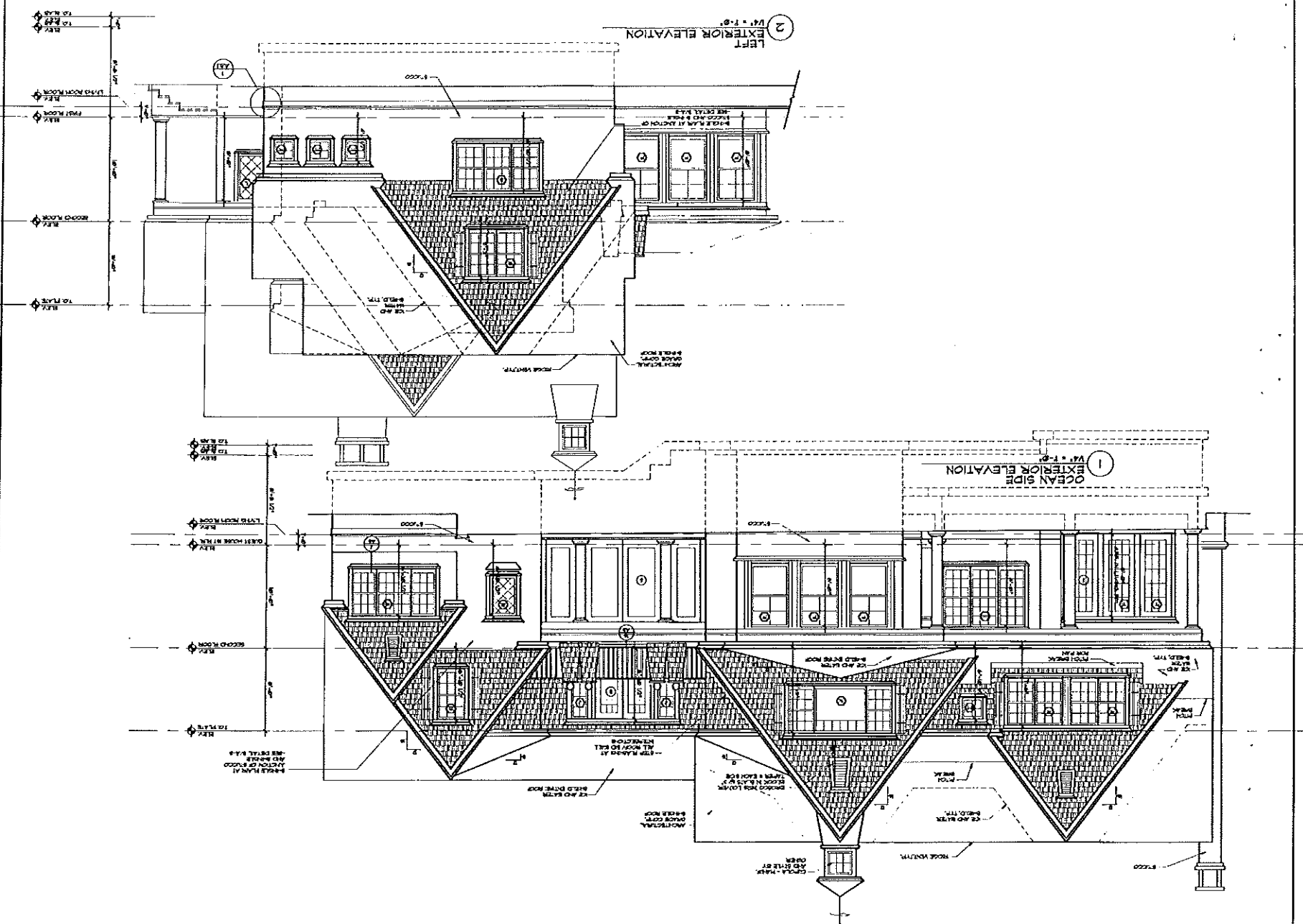
NO. 1
NO. 2
NO. 3
NO. 4
NO. 5
NO. 6
NO. 7
NO. 8
NO. 9
NO. 10
NO. 11
NO. 12
NO. 13
NO. 14
NO. 15
NO. 16
NO. 17
NO. 18
NO. 19
NO. 20
NO. 21
NO. 22
NO. 23
NO. 24
NO. 25
NO. 26
NO. 27
NO. 28
NO. 29
NO. 30
NO. 31
NO. 32
NO. 33
NO. 34
NO. 35
NO. 36
NO. 37
NO. 38
NO. 39
NO. 40
NO. 41
NO. 42
NO. 43
NO. 44
NO. 45
NO. 46
NO. 47
NO. 48
NO. 49
NO. 50
NO. 51
NO. 52
NO. 53
NO. 54
NO. 55
NO. 56
NO. 57
NO. 58
NO. 59
NO. 60
NO. 61
NO. 62
NO. 63
NO. 64
NO. 65
NO. 66
NO. 67
NO. 68
NO. 69
NO. 70
NO. 71
NO. 72
NO. 73
NO. 74
NO. 75
NO. 76
NO. 77
NO. 78
NO. 79
NO. 80
NO. 81
NO. 82
NO. 83
NO. 84
NO. 85
NO. 86
NO. 87
NO. 88
NO. 89
NO. 90
NO. 91
NO. 92
NO. 93
NO. 94
NO. 95
NO. 96
NO. 97
NO. 98
NO. 99
NO. 100

DIMENSIONS THIS SHEET
ELEVATIONS

NEAL RESIDENCE
OCEAN TOWNHOMES PHASE 1, UNIT 101

DATE: 12/15/11
DRAWN BY: [Signature]
CHECKED BY: [Signature]

PROJECT: NEAL RESIDENCE
OCEAN TOWNHOMES PHASE 1, UNIT 101



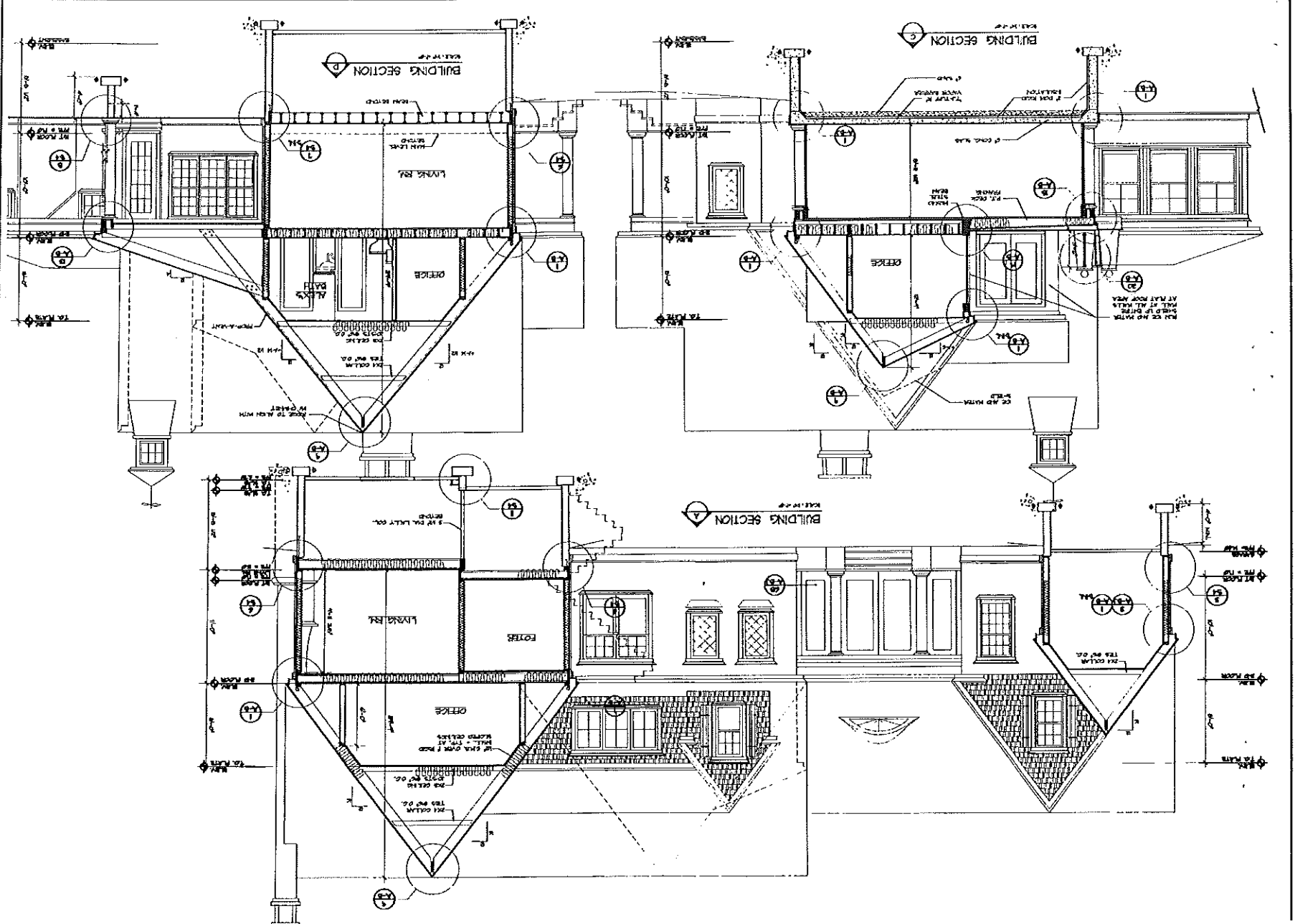
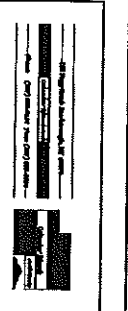
CONTRACTOR: [REDACTED]
SHEET NO. 1 OF 2
DATE: 1-1-83

A-5
DRAWN BY: [REDACTED]
CHECKED BY: [REDACTED]
SCALE: 1/8" = 1'-0"

DRAWINGS THIS SHEET
BUILDING SECTIONS

NEAL RESIDENCE
GREAT DIAMOND BLVD., HAVANA

NOTES:
1. SEE SHEET A-4 FOR PLAN AND SECTION C-1.
2. SEE SHEET A-6 FOR PLAN AND SECTION D-1.



SECTION
 DRAWING NO. 100-1000
 SHEET NO. 100-1000

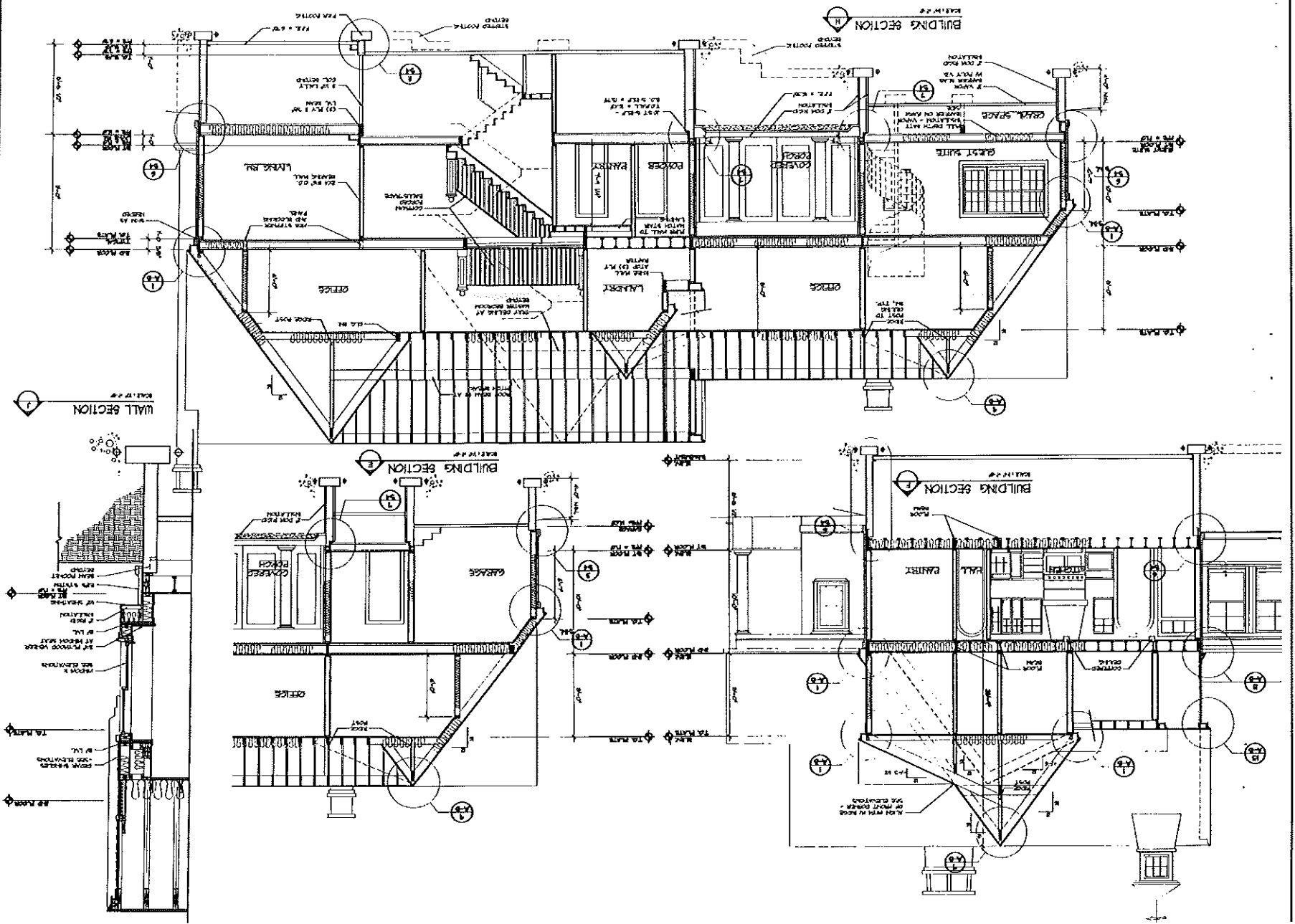
A-6

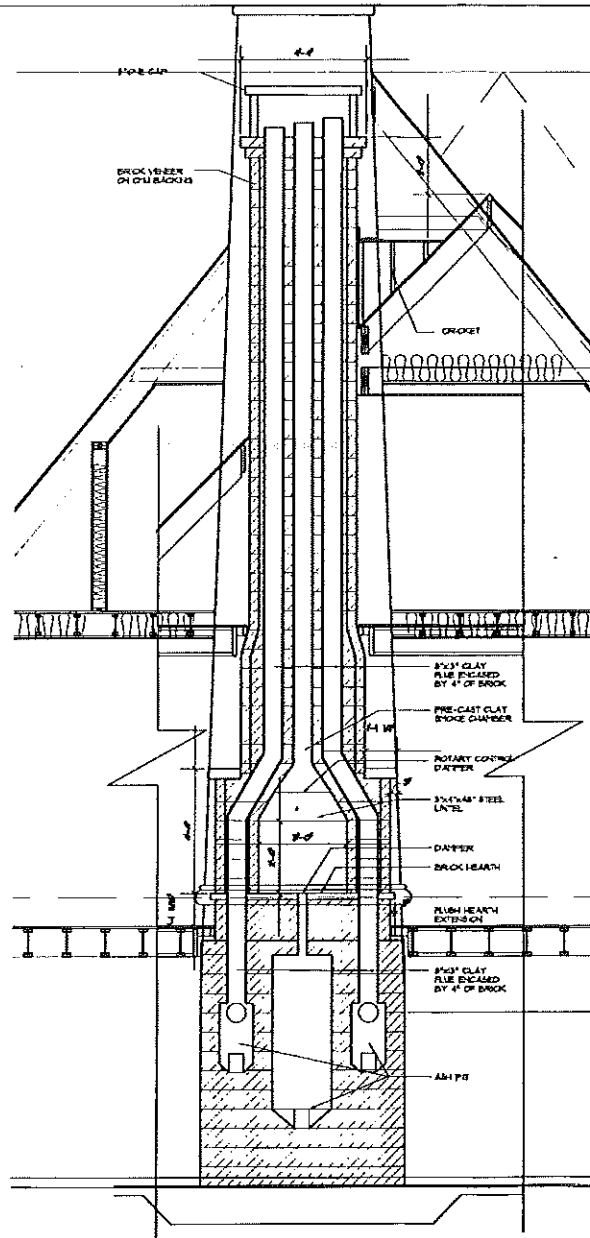
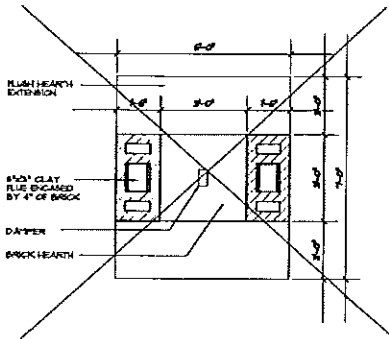
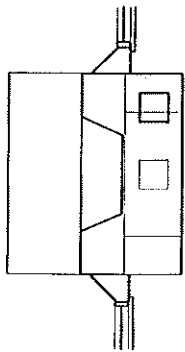
DATE	BY

BUILDING SECTIONS

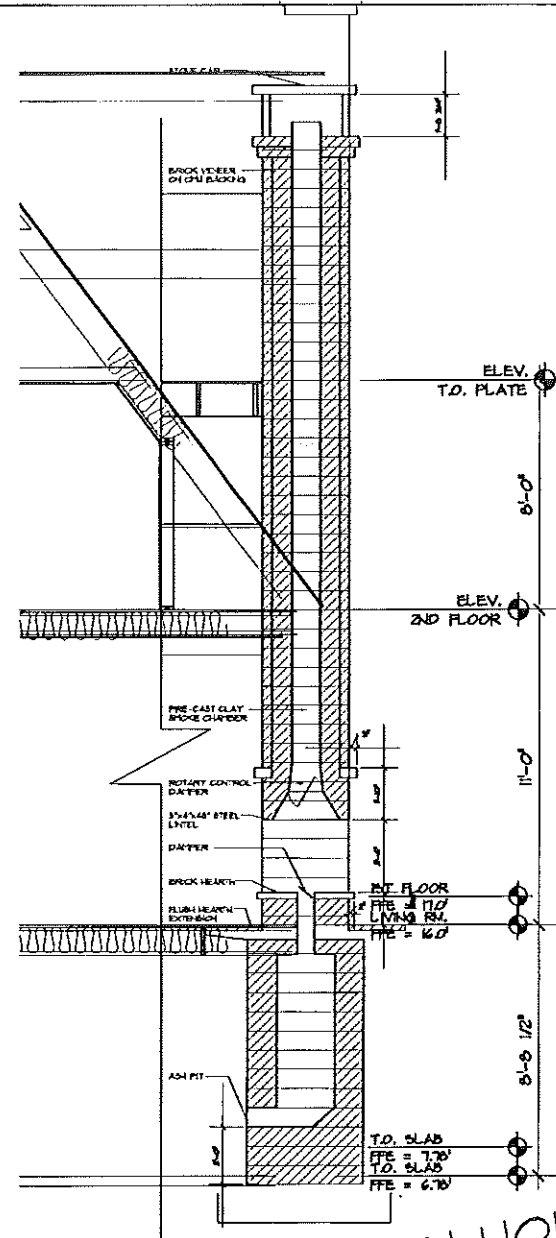
NEAL RESIDENCE
 GREAT DIAMOND ISLAND, MAINE

SECTION





① WALL SECTION
SCALE: 3/4" = 1'-0"



ON HOLD



REVISIONS	DATE	BY	DESCRIPTION

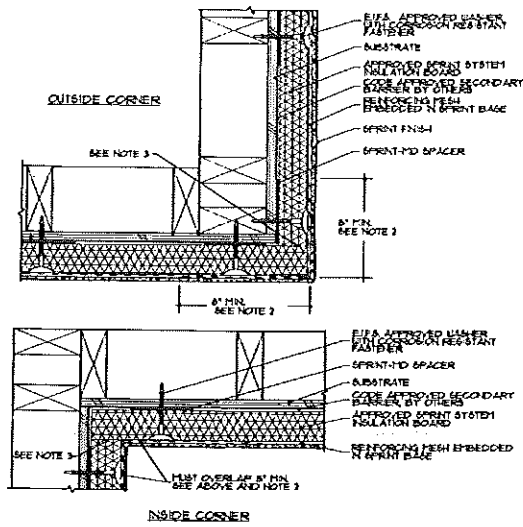
NEAL RESIDENCE
GREAT DIAMOND BLVD, FAIRFAX

DRAWING THIS SHEET
PREPARED BY
CANNETT
DETAIL

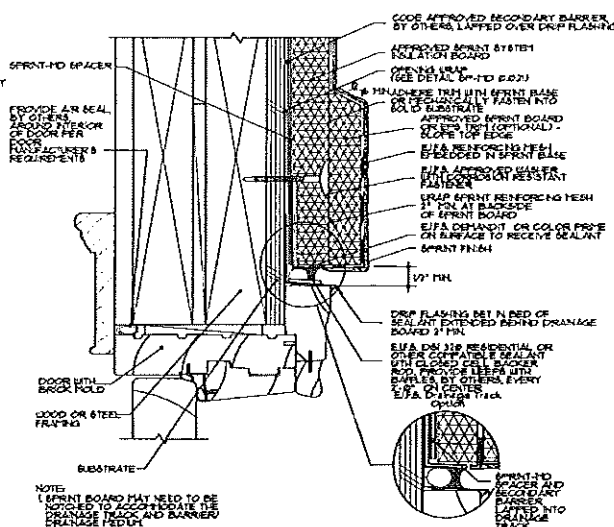
DATE	3-8-01
DRAWN BY	J.B.
CHECKED BY	W.

A-6.2

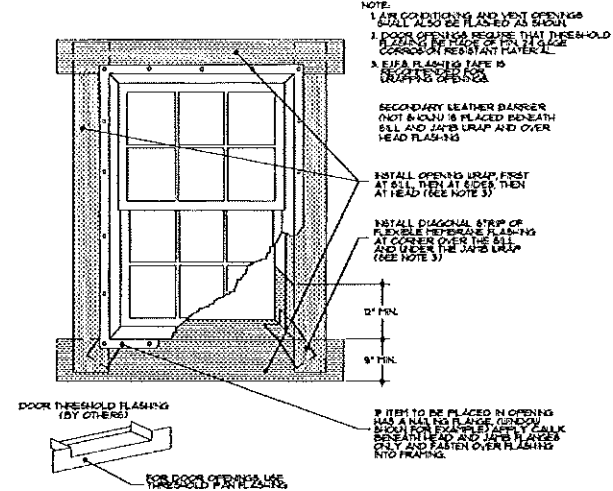
© COPYRIGHT
No part of this drawing or any part hereof
may be reproduced without the
written consent of the architect.



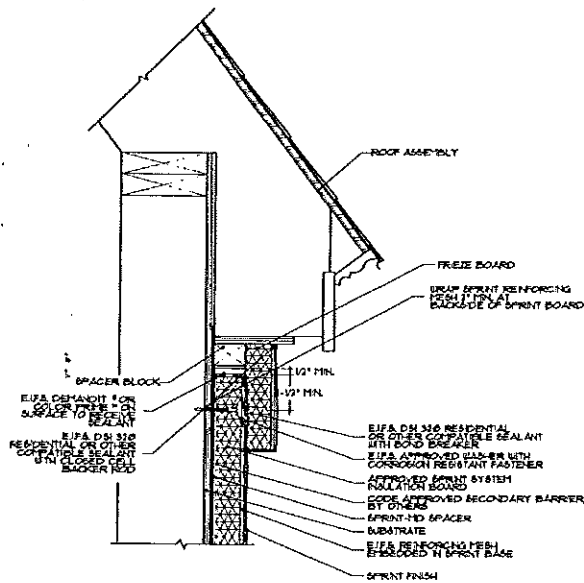
6 INSIDE/ OUTSIDE CORNERS
NO SCALE



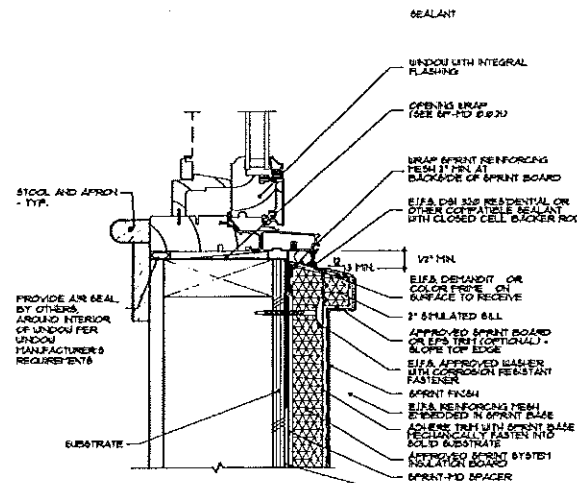
5 DOOR HEAD WITH BRICK MOLD
NO SCALE



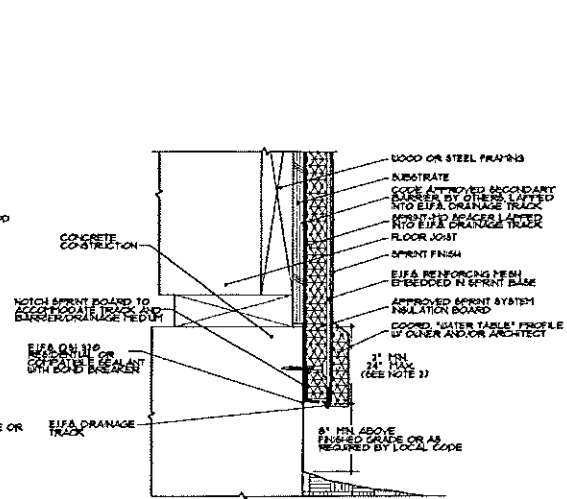
4 WRAPPING OF OPENINGS
NO SCALE



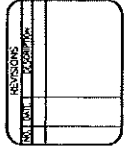
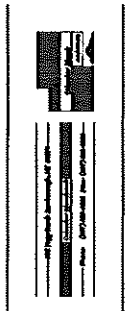
3 SOFFIT W/ FRIEZE BD. DETAIL
NO SCALE



2 WINDOW SILL DETAIL
NO SCALE



1 TERMINATION @ GRADE DTL.
NO SCALE



NEAL RESIDENCE
GREAT DIAMOND ISLAND, MAINE

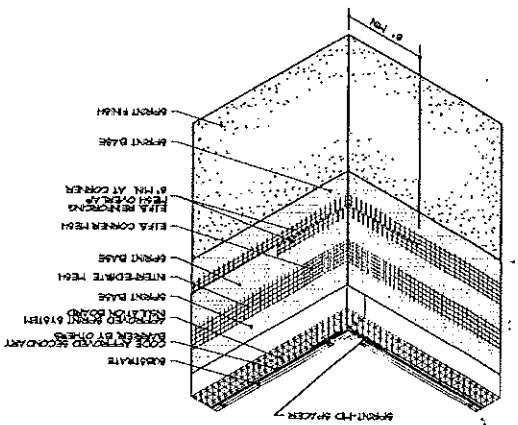
EIFA DETAILS

DATE: _____
DRAWN BY: _____
CHECKED BY: _____

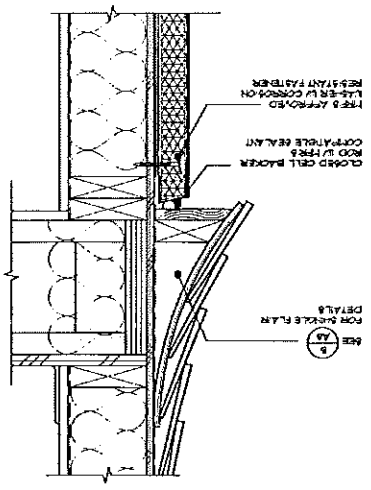
A-8.1

© COPYRIGHT
DRAWING BY: _____
CHECKED BY: _____

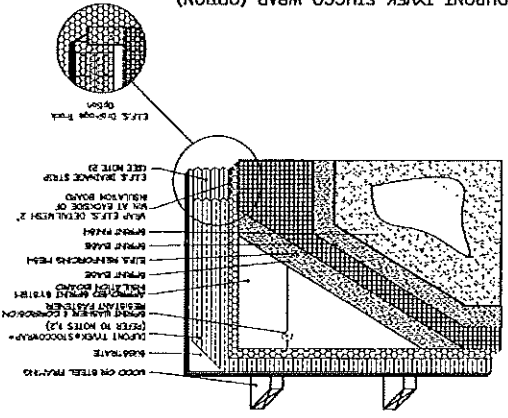
① OUTSIDE CORNER/ HIGH IMPACT
NO SCALE



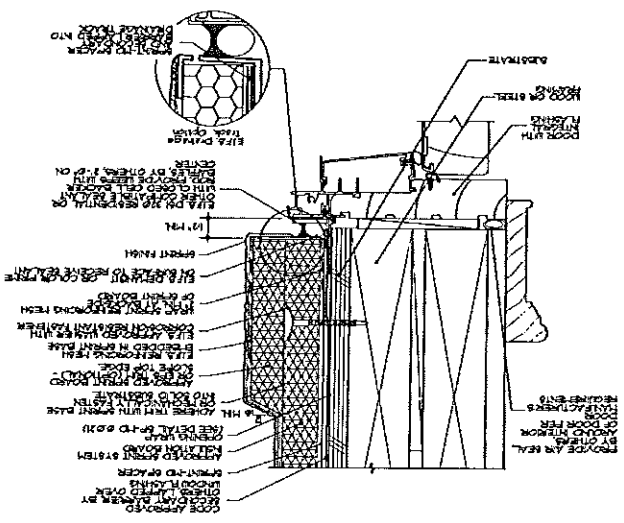
④ EFS/ SHINGLE FLAIR TRANSITION
NO SCALE



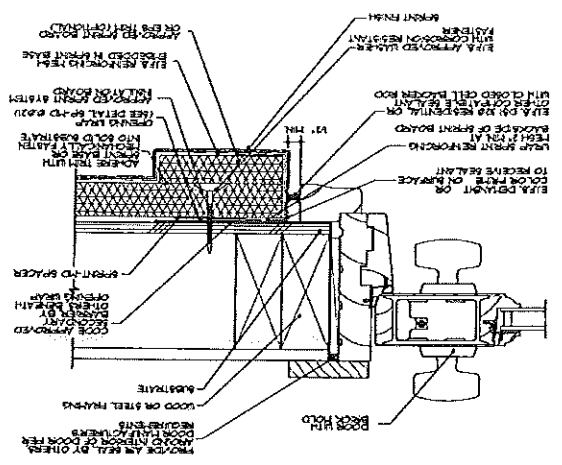
② DUPONT TYVEK STUCCO WRAP (OPTION)
NO SCALE



③ DOOR HEAD WITH INTEGRAL FLASHING
NO SCALE



⑤ DOOR JAMB W/ BRICK MOLD
NO SCALE



© Copyright 2000 by Neal Residences, Inc. All rights reserved. This drawing is the property of Neal Residences, Inc. and is not to be reproduced without written permission.

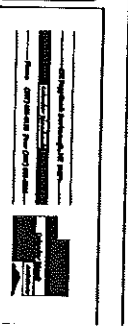
A-82

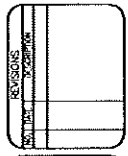
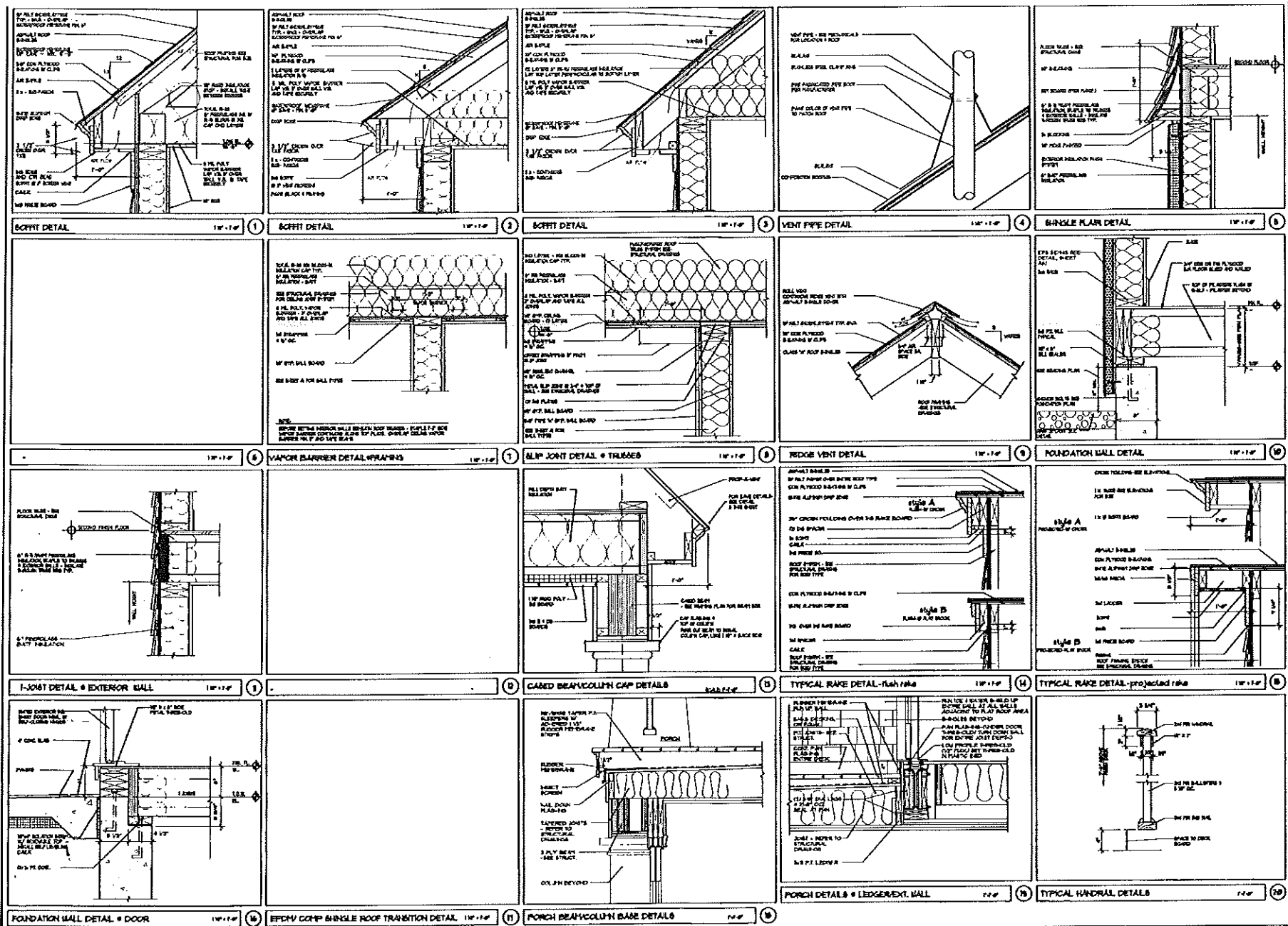
DATE	REVISION

DRAWINGS: THIS SCALE
EFS DETAILS

NEAL RESIDENCE
GREAT DIAMOND BLVD, PLAZA

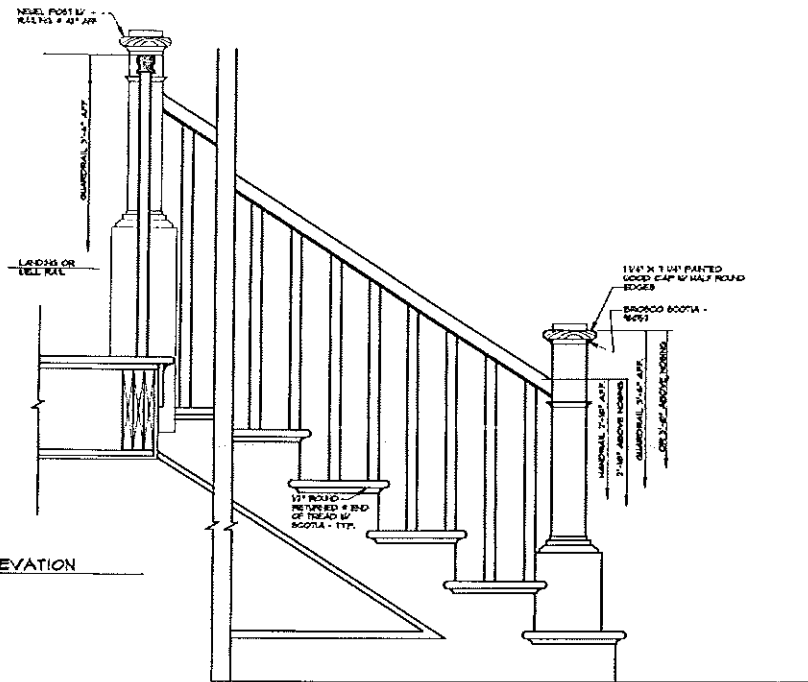
NO. OF SHEETS	TOTAL SHEETS



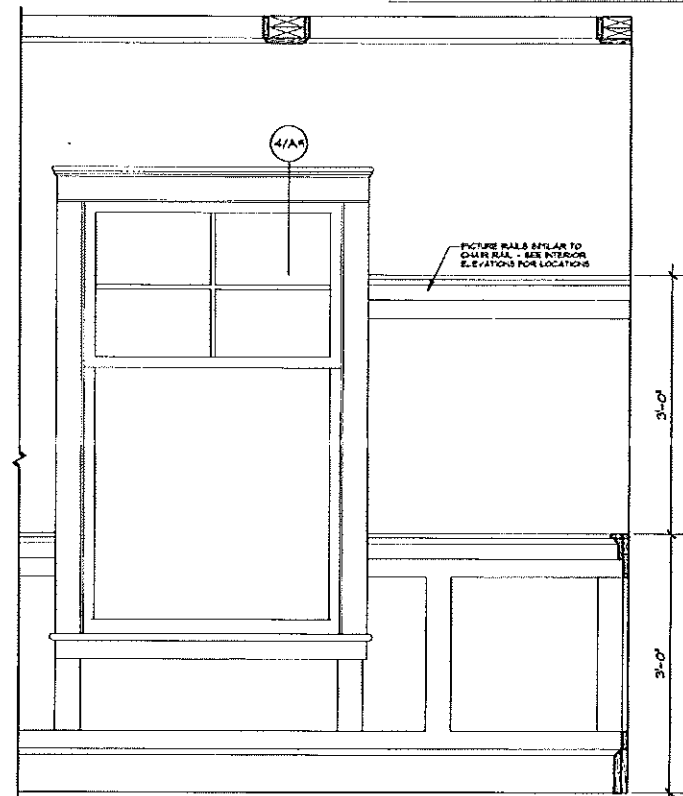


NEAL RESIDENCE
 GREAT DIAMOND ISLAND, MAINE

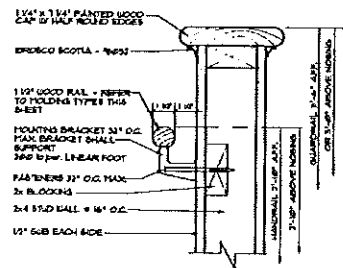
MISC. DETAILS



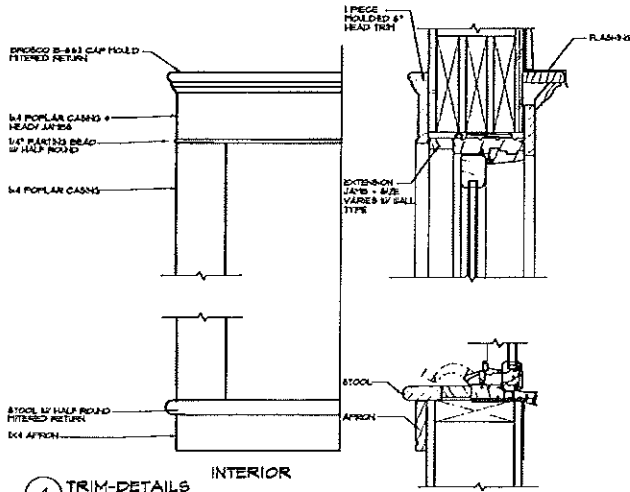
1 STAIR ELEVATION
1/2" = 1'-0"



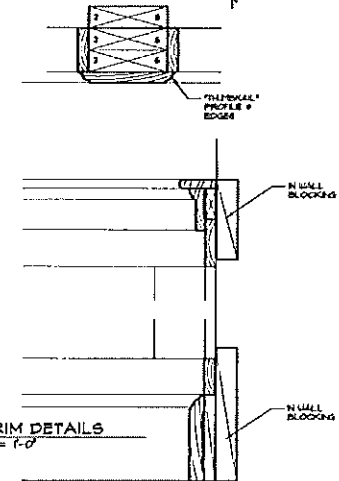
3 TRIM DETAILS
1/2" = 1'-0"



2 HALF WALL/ RAIL DETAIL
3/4" = 1'-0"



4 TRIM-DETAILS INTERIOR
3/4" = 1'-0"



5 TRIM DETAILS
3/4" = 1'-0"

DATE	DESCRIPTION

DATE	DESCRIPTION

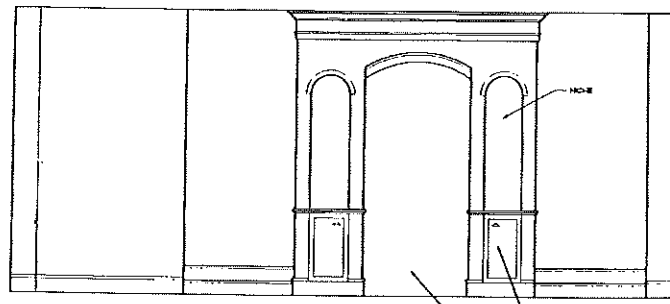
NEAL RESIDENCE
GREAT DIAMOND ISLAND, MAINE

TRIM DETAILS
DRAWINGS THIS SHEET

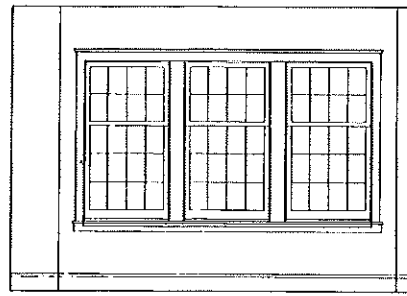
DATE	5-8-03
PLANNER	
CHECKED BY	SJ
COLOR BY	BP

A-9

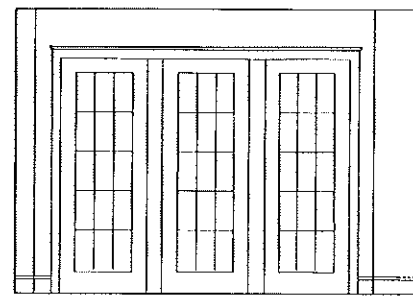
© COPYRIGHT
REPRODUCED IN WHOLE OR IN PART
WITHOUT THE WRITTEN PERMISSION
OF THE ARCHITECT



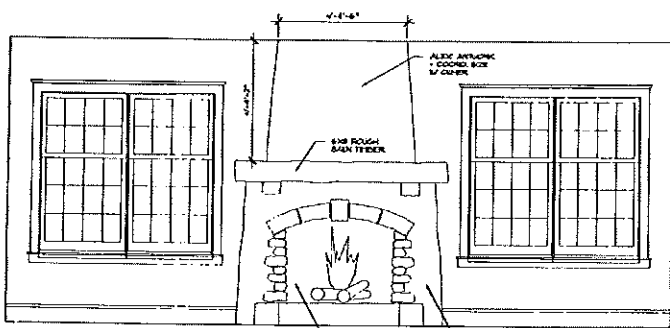
1 LIVING ROOM
SCALE: 1/2" = 1'-0"



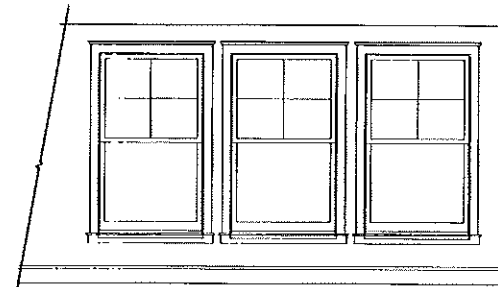
2 LIVING ROOM
SCALE: 1/2" = 1'-0"



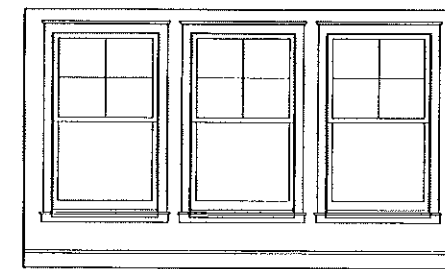
3 LIVING ROOM
SCALE: 1/2" = 1'-0"



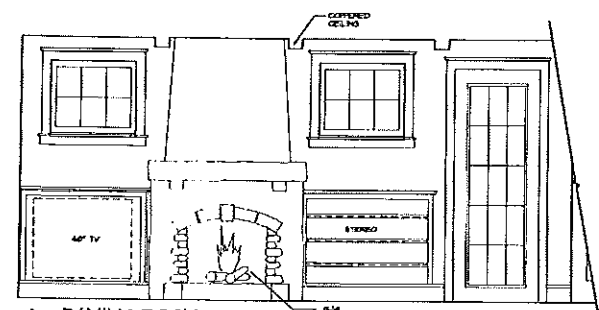
4 LIVING ROOM
SCALE: 1/2" = 1'-0"



5 FAMILY ROOM
SCALE: 1/2" = 1'-0"



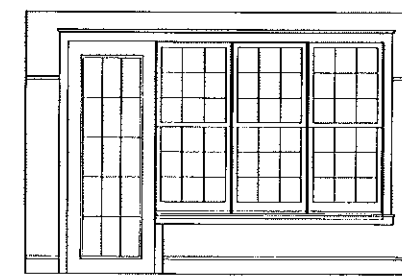
6 FAMILY ROOM
SCALE: 1/2" = 1'-0"



7 FAMILY ROOM
SCALE: 1/2" = 1'-0"



8 DINING ROOM
SCALE: 1/2" = 1'-0"



9 DINING ROOM
SCALE: 1/2" = 1'-0"



REVISIONS	DATE

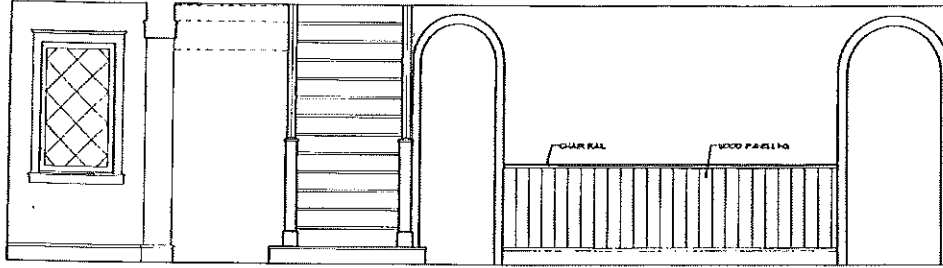
NEAL RESIDENCE
GREAT DIAMOND ISLAND, MAINE

DRAWINGS THIS SHEET
INTERIOR ELEVATIONS

DATE	1-8-23
DESIGNER	BLB
DRAWN BY	BLB
CHECKED BY	BP

A-10.1

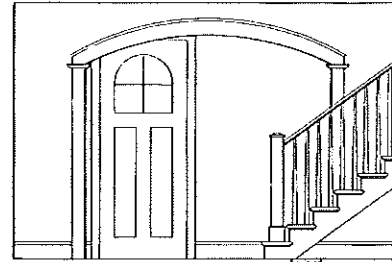
© COPYRIGHT
REPRODUCTION OF ANY PART OF
THIS DRAWING IS PROHIBITED
WITHOUT THE WRITTEN PERMISSION
OF THE ARCHITECT



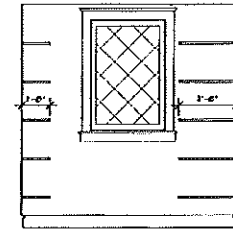
10 FOYER
SOUTH SCALE: 1/2" = 1'-0"

11 STAIR HALL
SOUTH SCALE: 1/2" = 1'-0"

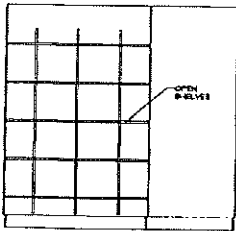
12 DINING ROOM
SOUTH SCALE: 1/2" = 1'-0"



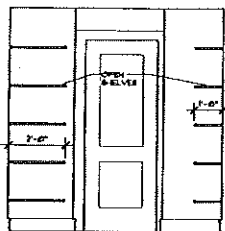
13 FOYER
EAST SCALE: 1/2" = 1'-0"



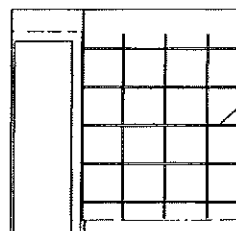
14 PANTRY
EAST SCALE: 1/2" = 1'-0"



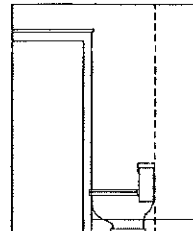
15 PANTRY
SOUTH SCALE: 1/2" = 1'-0"



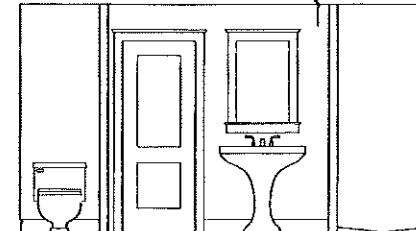
16 PANTRY
WEST SCALE: 1/2" = 1'-0"



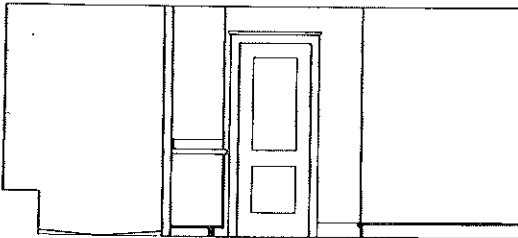
17 PANTRY
NORTH SCALE: 1/2" = 1'-0"



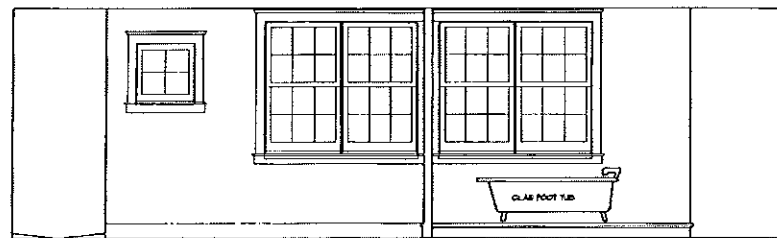
18 BYRON'S BATH
NORTH SCALE: 1/2" = 1'-0"



19 BYRON'S BATH
EAST SCALE: 1/2" = 1'-0"

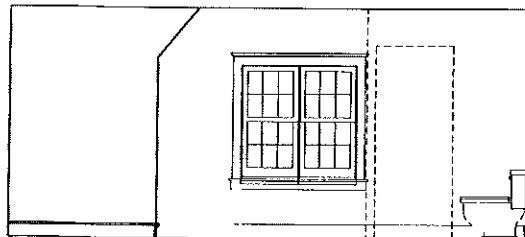


20 ALEX'S BATH
SOUTH SCALE: 1/2" = 1'-0"

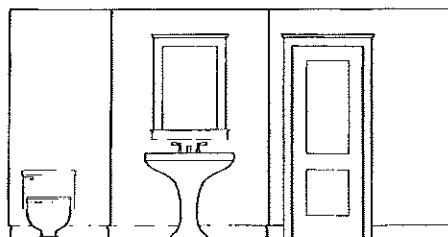


21 BYRON'S BATH
WEST SCALE: 1/2" = 1'-0"

22 ALEX'S BATH
WEST SCALE: 1/2" = 1'-0"



23 ALEX'S BATH
NORTH SCALE: 1/2" = 1'-0"



24 ALEX'S BATH
EAST SCALE: 1/2" = 1'-0"



REV.	DATE	DESCRIPTION

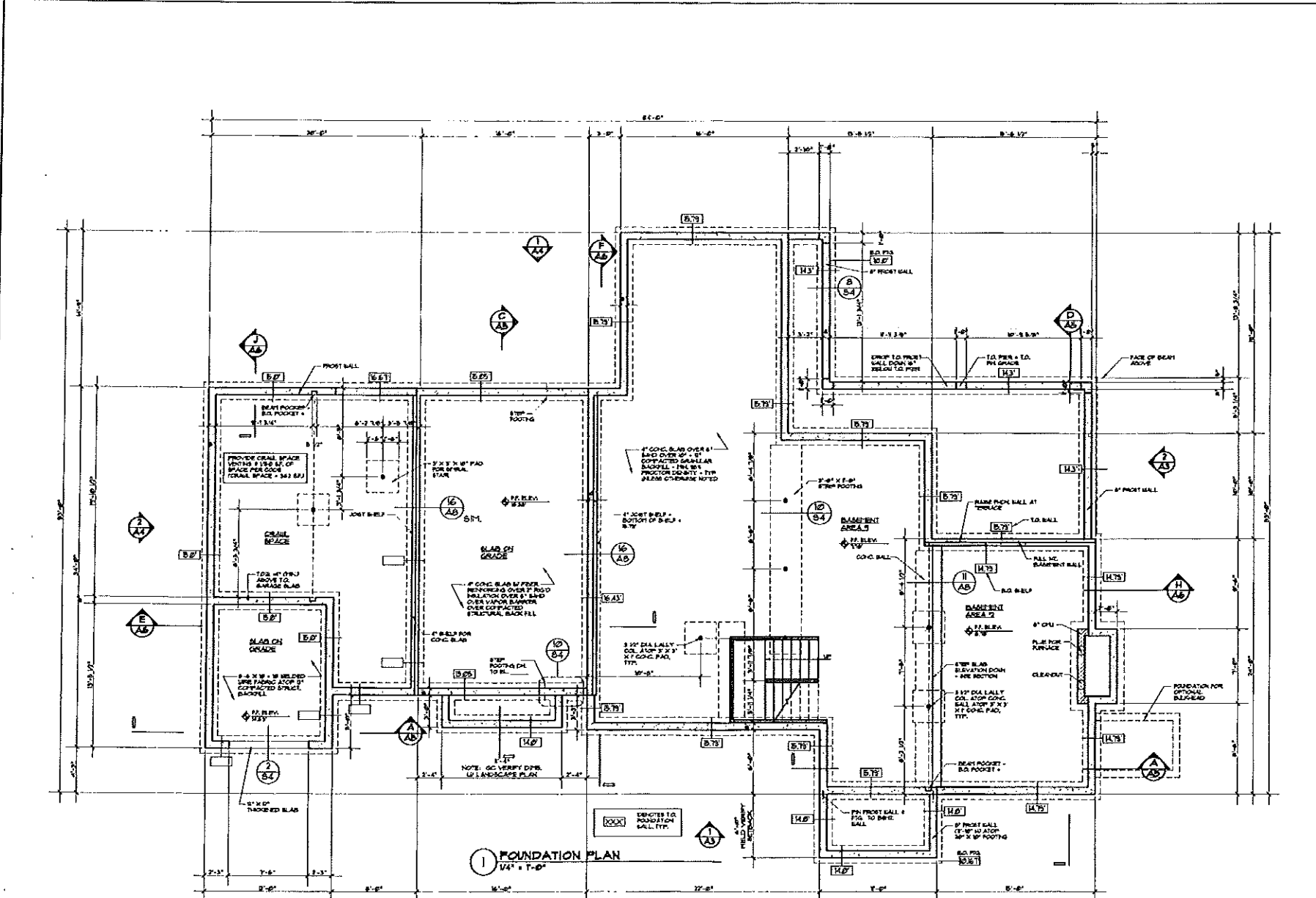
NEAL RESIDENCE
GREAT DIAMOND ISLAND, MAINE

DRAWINGS THIS SHEET
INTERIOR ELEVATIONS

DATE	12-8-01
DRAWN BY	EJS
CHECKED BY	

A-10.2

© COPYRIGHT
PROPERTY OF EJS ARCHITECTS
ALL RIGHTS RESERVED



REVISIONS	DATE	DESCRIPTION

NEAL RESIDENCE
GREAT DIAMOND ISLAND, MAINE

FOUNDATION PLAN

DRAWN: THIS SHEET
FOUNDATION PLAN

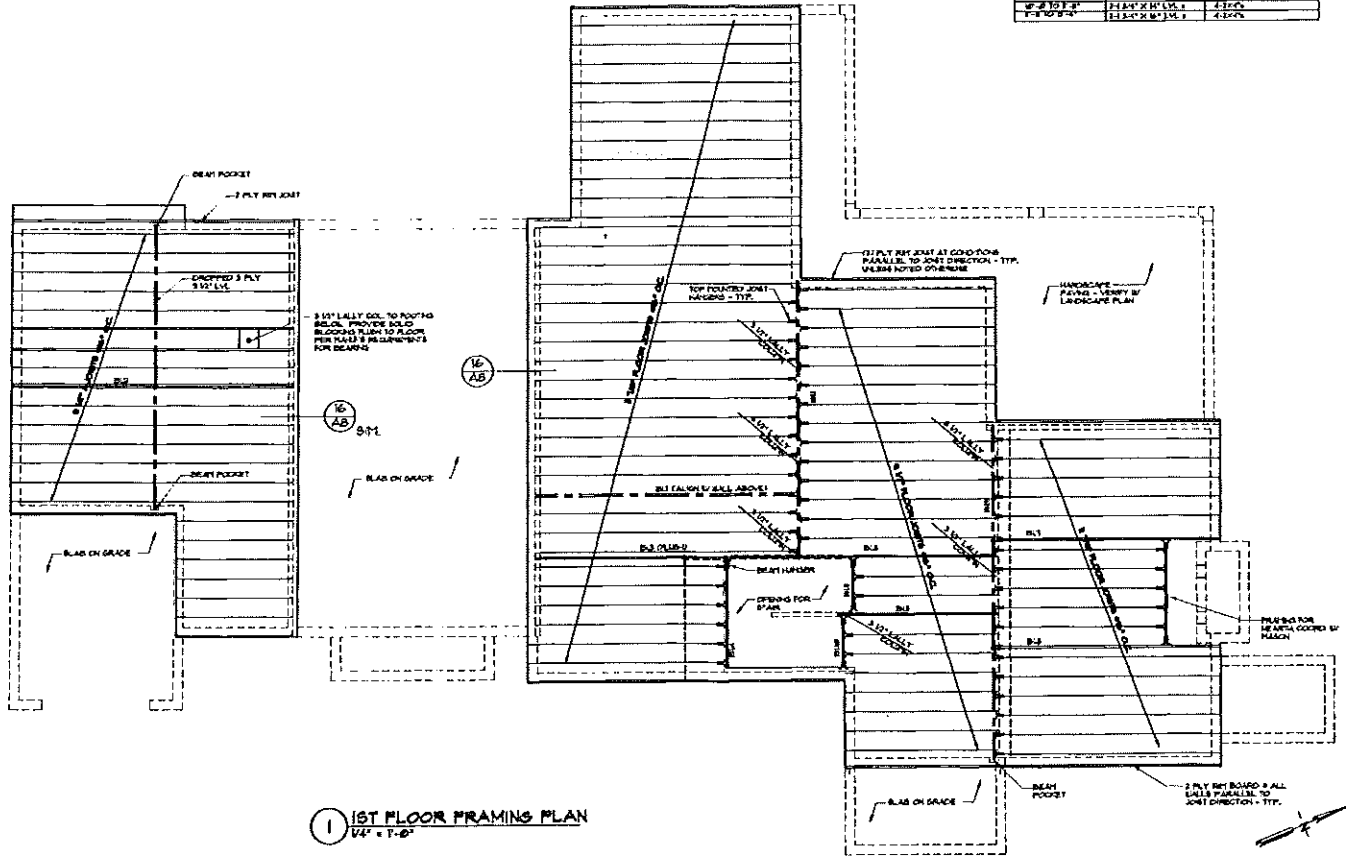
DATE: 5-8-83
DRAWN BY: EUB
CHECKED BY: WJ

SO

© COPYRIGHT
PROTECTED BY NOTE BY THE
DRAWING BOARD OF THE
STATE OF MAINE REGISTERED
PROFESSIONAL ENGINEERS

BEAM SCHEDULE		
NO.	MEMBER SIZE	NO. MEMBERS
B1	12" x 12" x 12' x 12' x 12'	12
B2	12" x 12" x 12' x 12' x 12'	12
B3	12" x 12" x 12' x 12' x 12'	12
B4	12" x 12" x 12' x 12' x 12'	12
B5	12" x 12" x 12' x 12' x 12'	12
B6	12" x 12" x 12' x 12' x 12'	12
B7	12" x 12" x 12' x 12' x 12'	12

HEADER SCHEDULE		
SPAN	HEADER SIZE	POST @ EACH END
10' TO 10' 0"	2" x 8" x 12'	2" x 8" x 12'
10' 0" TO 10' 0"	2" x 8" x 12'	2" x 8" x 12'
10' 0" TO 10' 0"	2" x 8" x 12'	2" x 8" x 12'
10' 0" TO 10' 0"	2" x 8" x 12'	2" x 8" x 12'
10' 0" TO 10' 0"	2" x 8" x 12'	2" x 8" x 12'
10' 0" TO 10' 0"	2" x 8" x 12'	2" x 8" x 12'
10' 0" TO 10' 0"	2" x 8" x 12'	2" x 8" x 12'
10' 0" TO 10' 0"	2" x 8" x 12'	2" x 8" x 12'
10' 0" TO 10' 0"	2" x 8" x 12'	2" x 8" x 12'
10' 0" TO 10' 0"	2" x 8" x 12'	2" x 8" x 12'



1 1ST FLOOR FRAMING PLAN
1/4" = 1'-0"



REVISIONS
NO. DATE DESCRIPTION

NEAL RESIDENCE
GREAT DIAMOND ISLAND PLANE

DRAWING THIS SHEET
FIRST FLOOR PLAN

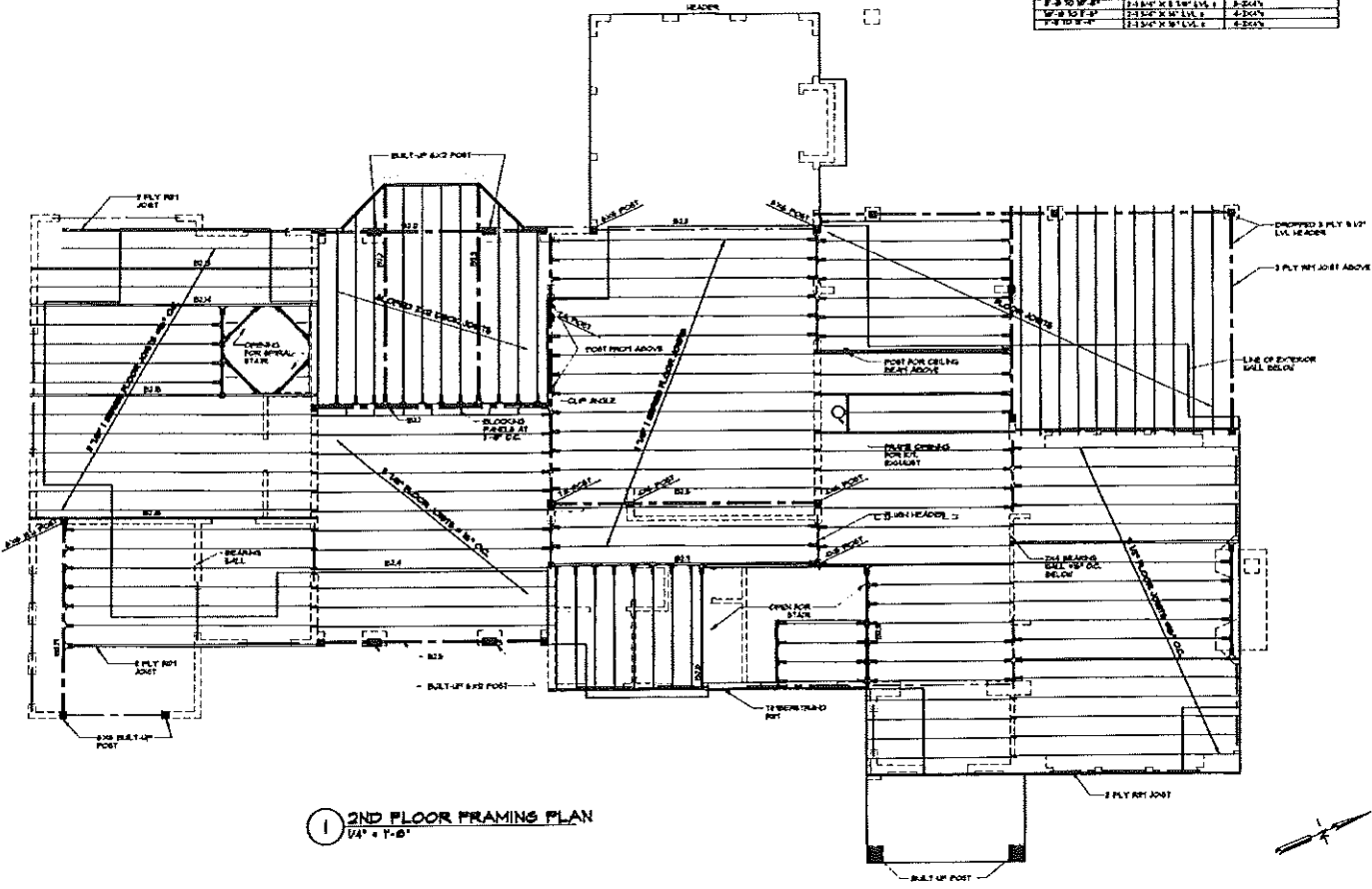
DATE 5-8-01
DRAWN BY SLS
CHECKED BY SLS

S-1

© COPYRIGHT
STRUCTURAL ENGINEER
FOR ALL RIGHTS RESERVED

NO.	MEMBER SIZE	NO.	MEMBER SIZE
B01	2x6	B06	NOT USED
B02	2x6	B07	2 PLY 8"x16" LVL
B03	2x6	B08	3 PLY 8"x16" LVL
B04	2 PLY 4"x8" LVL	B09	3 PLY 8"x16" LVL
B05	2 PLY 8"x16" LVL	B10	3 PLY 8"x16" LVL
B06	2 PLY 8"x16" LVL	B11	3 PLY 8"x16" LVL
B07	2 PLY 8"x16" LVL	B12	3 PLY 8"x16" LVL
B08	2 PLY 8"x16" LVL	B13	3 PLY 8"x16" LVL
B09	2 PLY 8"x16" LVL	B14	3 PLY 8"x16" LVL
B10	2 PLY 8"x16" LVL	B15	3 PLY 8"x16" LVL
B11	2 PLY 8"x16" LVL	B16	3 PLY 8"x16" LVL
B12	2 PLY 8"x16" LVL	B17	3 PLY 8"x16" LVL
B13	2 PLY 8"x16" LVL	B18	3 PLY 8"x16" LVL

SPAN	MEMBER SIZE	POST @ EACH END
1'-0" TO 7'-0"	2x6 @	2x6 @
7'-0" TO 8'-0"	2x6 @	2x6 @
8'-0" TO 9'-0"	2x6 @	2x6 @
9'-0" TO 10'-0"	2x6 @	2x6 @
10'-0" TO 11'-0"	2x6 @	2x6 @
11'-0" TO 12'-0"	2x6 @	2x6 @
12'-0" TO 13'-0"	2x6 @	2x6 @
13'-0" TO 14'-0"	2x6 @	2x6 @
14'-0" TO 15'-0"	2x6 @	2x6 @
15'-0" TO 16'-0"	2x6 @	2x6 @
16'-0" TO 17'-0"	2x6 @	2x6 @
17'-0" TO 18'-0"	2x6 @	2x6 @
18'-0" TO 19'-0"	2x6 @	2x6 @
19'-0" TO 20'-0"	2x6 @	2x6 @
20'-0" TO 21'-0"	2x6 @	2x6 @
21'-0" TO 22'-0"	2x6 @	2x6 @
22'-0" TO 23'-0"	2x6 @	2x6 @
23'-0" TO 24'-0"	2x6 @	2x6 @
24'-0" TO 25'-0"	2x6 @	2x6 @
25'-0" TO 26'-0"	2x6 @	2x6 @
26'-0" TO 27'-0"	2x6 @	2x6 @
27'-0" TO 28'-0"	2x6 @	2x6 @
28'-0" TO 29'-0"	2x6 @	2x6 @
29'-0" TO 30'-0"	2x6 @	2x6 @
30'-0" TO 31'-0"	2x6 @	2x6 @
31'-0" TO 32'-0"	2x6 @	2x6 @
32'-0" TO 33'-0"	2x6 @	2x6 @
33'-0" TO 34'-0"	2x6 @	2x6 @
34'-0" TO 35'-0"	2x6 @	2x6 @
35'-0" TO 36'-0"	2x6 @	2x6 @
36'-0" TO 37'-0"	2x6 @	2x6 @
37'-0" TO 38'-0"	2x6 @	2x6 @
38'-0" TO 39'-0"	2x6 @	2x6 @
39'-0" TO 40'-0"	2x6 @	2x6 @
40'-0" TO 41'-0"	2x6 @	2x6 @
41'-0" TO 42'-0"	2x6 @	2x6 @
42'-0" TO 43'-0"	2x6 @	2x6 @
43'-0" TO 44'-0"	2x6 @	2x6 @
44'-0" TO 45'-0"	2x6 @	2x6 @
45'-0" TO 46'-0"	2x6 @	2x6 @
46'-0" TO 47'-0"	2x6 @	2x6 @
47'-0" TO 48'-0"	2x6 @	2x6 @
48'-0" TO 49'-0"	2x6 @	2x6 @
49'-0" TO 50'-0"	2x6 @	2x6 @
50'-0" TO 51'-0"	2x6 @	2x6 @
51'-0" TO 52'-0"	2x6 @	2x6 @
52'-0" TO 53'-0"	2x6 @	2x6 @
53'-0" TO 54'-0"	2x6 @	2x6 @
54'-0" TO 55'-0"	2x6 @	2x6 @
55'-0" TO 56'-0"	2x6 @	2x6 @
56'-0" TO 57'-0"	2x6 @	2x6 @
57'-0" TO 58'-0"	2x6 @	2x6 @
58'-0" TO 59'-0"	2x6 @	2x6 @
59'-0" TO 60'-0"	2x6 @	2x6 @
60'-0" TO 61'-0"	2x6 @	2x6 @
61'-0" TO 62'-0"	2x6 @	2x6 @
62'-0" TO 63'-0"	2x6 @	2x6 @
63'-0" TO 64'-0"	2x6 @	2x6 @
64'-0" TO 65'-0"	2x6 @	2x6 @
65'-0" TO 66'-0"	2x6 @	2x6 @
66'-0" TO 67'-0"	2x6 @	2x6 @
67'-0" TO 68'-0"	2x6 @	2x6 @
68'-0" TO 69'-0"	2x6 @	2x6 @
69'-0" TO 70'-0"	2x6 @	2x6 @
70'-0" TO 71'-0"	2x6 @	2x6 @
71'-0" TO 72'-0"	2x6 @	2x6 @
72'-0" TO 73'-0"	2x6 @	2x6 @
73'-0" TO 74'-0"	2x6 @	2x6 @
74'-0" TO 75'-0"	2x6 @	2x6 @
75'-0" TO 76'-0"	2x6 @	2x6 @
76'-0" TO 77'-0"	2x6 @	2x6 @
77'-0" TO 78'-0"	2x6 @	2x6 @
78'-0" TO 79'-0"	2x6 @	2x6 @
79'-0" TO 80'-0"	2x6 @	2x6 @
80'-0" TO 81'-0"	2x6 @	2x6 @
81'-0" TO 82'-0"	2x6 @	2x6 @
82'-0" TO 83'-0"	2x6 @	2x6 @
83'-0" TO 84'-0"	2x6 @	2x6 @
84'-0" TO 85'-0"	2x6 @	2x6 @
85'-0" TO 86'-0"	2x6 @	2x6 @
86'-0" TO 87'-0"	2x6 @	2x6 @
87'-0" TO 88'-0"	2x6 @	2x6 @
88'-0" TO 89'-0"	2x6 @	2x6 @
89'-0" TO 90'-0"	2x6 @	2x6 @
90'-0" TO 91'-0"	2x6 @	2x6 @
91'-0" TO 92'-0"	2x6 @	2x6 @
92'-0" TO 93'-0"	2x6 @	2x6 @
93'-0" TO 94'-0"	2x6 @	2x6 @
94'-0" TO 95'-0"	2x6 @	2x6 @
95'-0" TO 96'-0"	2x6 @	2x6 @
96'-0" TO 97'-0"	2x6 @	2x6 @
97'-0" TO 98'-0"	2x6 @	2x6 @
98'-0" TO 99'-0"	2x6 @	2x6 @
99'-0" TO 100'-0"	2x6 @	2x6 @



1 SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"



REVISIONS	DESCRIPTION

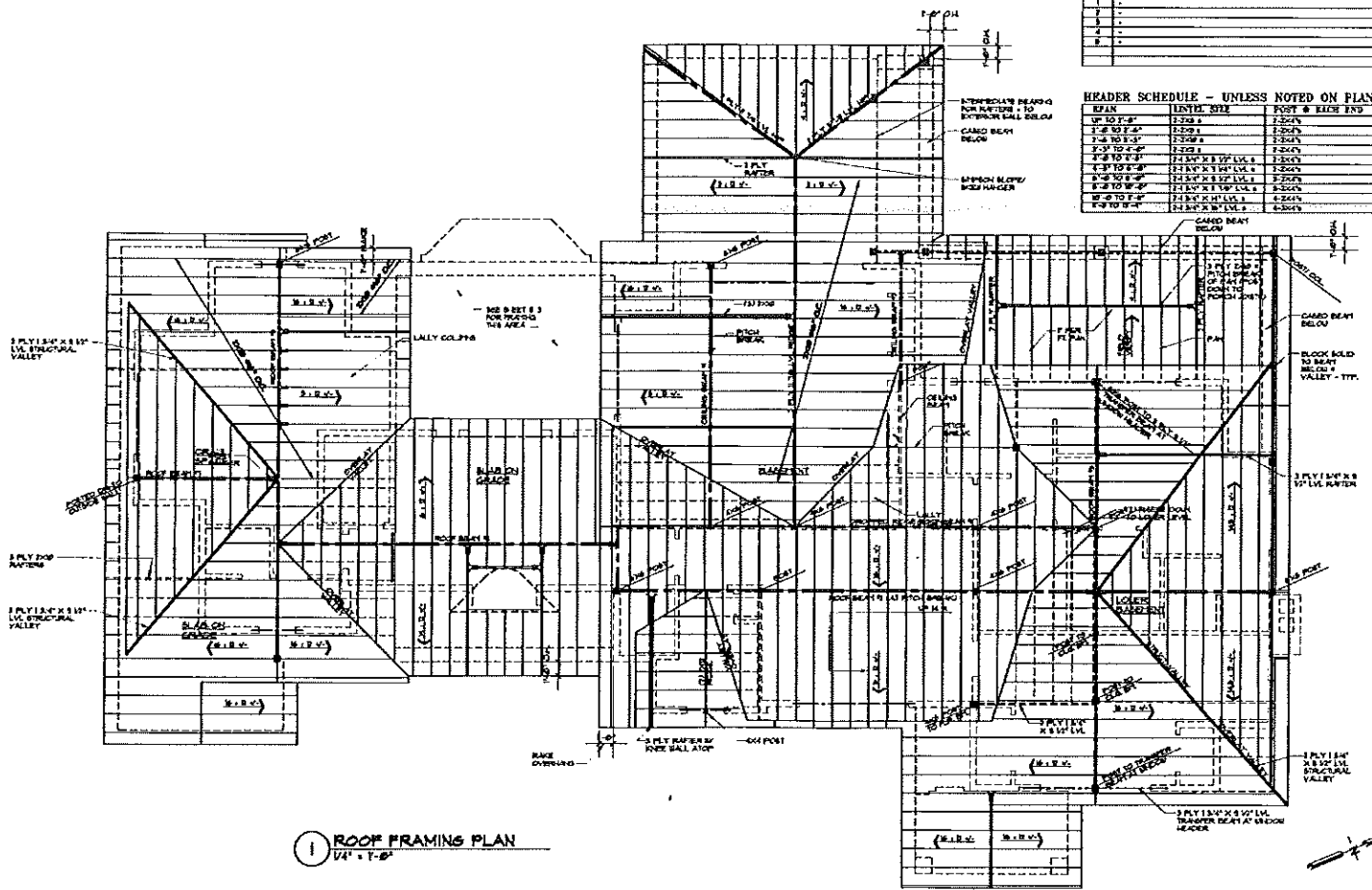
NEAL RESIDENCE
GREAT DIAMOND ISLAND, MAINE

DRAWINGS THIS SHEET
SECOND FLOOR PLAN

DATE	2-8-03
DESIGNED BY	SLB
CHECKED BY	RP

S-2

© COPYRIGHT
2003 BY S. L. BROWN & SONS, INC.
ALL RIGHTS RESERVED

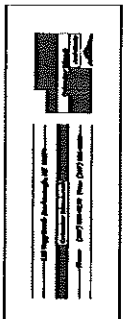


ROOF BEAM SCHEDULE	
NO.	MEMBER SIZE
1	1" PLY 1 1/2" X 12"
2	1" PLY 1 1/2" X 12"
3	1" PLY 1 1/2" X 12"
4	1" PLY 1 1/2" X 12"
5	1" PLY 1 1/2" X 12"

CEILING BEAM SCHEDULE	
NO.	MEMBER SIZE
1	
2	
3	
4	

HEADER SCHEDULE - UNLESS NOTED ON PLAN		
SPAN	MEMBER SIZE	POST @ EACH END
10'-0" TO 12'-0"	2" X 8"	2" X 8"
12'-0" TO 14'-0"	2" X 8"	2" X 8"
14'-0" TO 16'-0"	2" X 8"	2" X 8"
16'-0" TO 18'-0"	2" X 8"	2" X 8"
18'-0" TO 20'-0"	2" X 8"	2" X 8"
20'-0" TO 22'-0"	2" X 8"	2" X 8"
22'-0" TO 24'-0"	2" X 8"	2" X 8"
24'-0" TO 26'-0"	2" X 8"	2" X 8"
26'-0" TO 28'-0"	2" X 8"	2" X 8"
28'-0" TO 30'-0"	2" X 8"	2" X 8"
30'-0" TO 32'-0"	2" X 8"	2" X 8"
32'-0" TO 34'-0"	2" X 8"	2" X 8"
34'-0" TO 36'-0"	2" X 8"	2" X 8"
36'-0" TO 38'-0"	2" X 8"	2" X 8"
38'-0" TO 40'-0"	2" X 8"	2" X 8"
40'-0" TO 42'-0"	2" X 8"	2" X 8"
42'-0" TO 44'-0"	2" X 8"	2" X 8"
44'-0" TO 46'-0"	2" X 8"	2" X 8"
46'-0" TO 48'-0"	2" X 8"	2" X 8"
48'-0" TO 50'-0"	2" X 8"	2" X 8"

1 ROOF FRAMING PLAN
1/4" = 1'-0"



NO.	DATE	REVISIONS

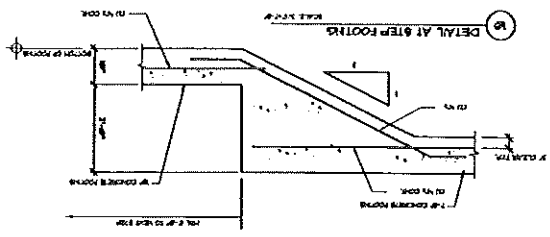
NEAL RESIDENCE
GREAT DIAMOND ISLAND, MAINE

DRAWING THIS SHEET
ROOF FRAMING PLAN

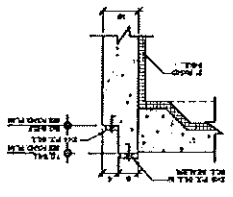
DATE 1-8-03
DRAWN BY JBR
CHECKED BY WJ

SS

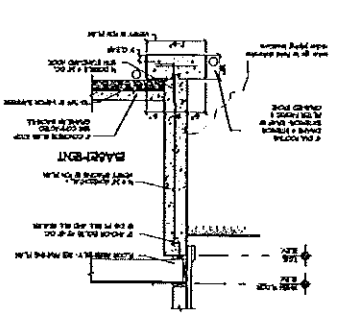
© COPYRIGHT
NEAL RESIDENCE
GREAT DIAMOND ISLAND, MAINE



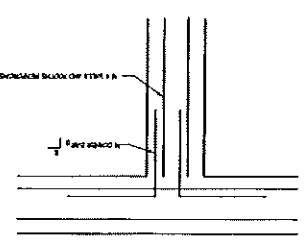
11 DETAIL AT STEP DETAIL



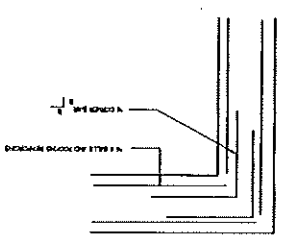
10 TYPICAL MASS-DET WALL DETAIL



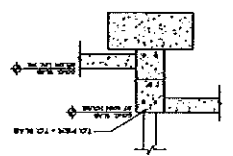
9 CORNER BAR DETAIL



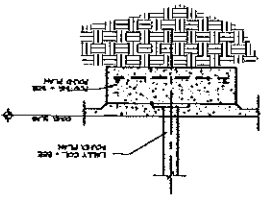
8 CORNER BAR DETAIL



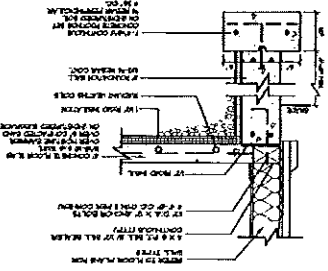
12 DETAIL AT STEP IN CONC. SLAB



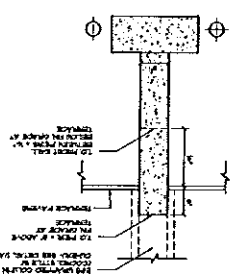
13 DETAIL AT LALLY COL. FOOTING



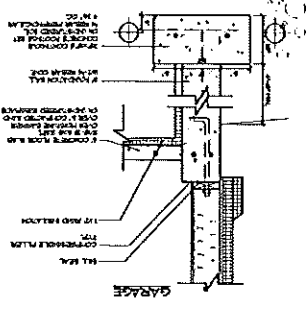
14 TYP. FOUNDATION WALL AT SLAB DETAIL



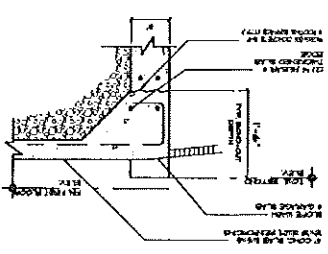
15 DETAIL AT COLUMN PEN



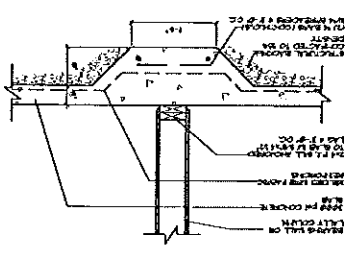
5 TYP. Frost Wall



4 THICKER SLAB & GARAGE



3 SLAB DETAIL & PLANNING WALL



CONCRETE
REINFORCEMENT
DETAILS



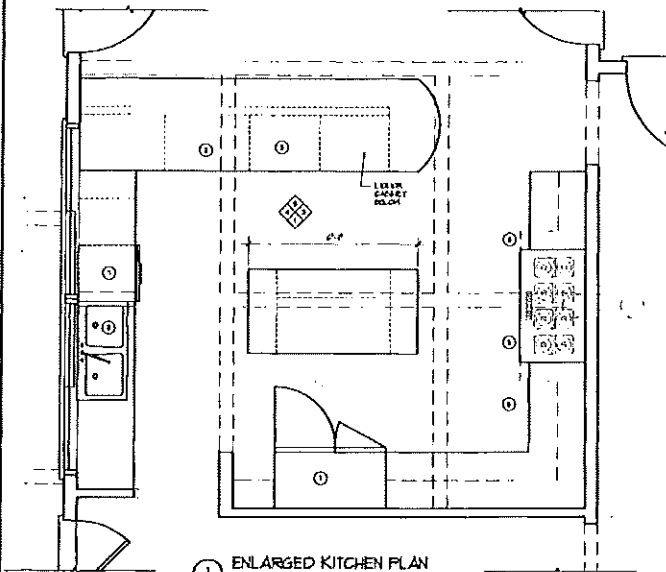
DATE: 11/1/78
DRAWN BY: J.B.
CHECKED BY: J.B.

REVISIONS

NEAL RESIDENCE
GREAT DIAMOND BLIND FRAME

REVISIONS

REVISIONS



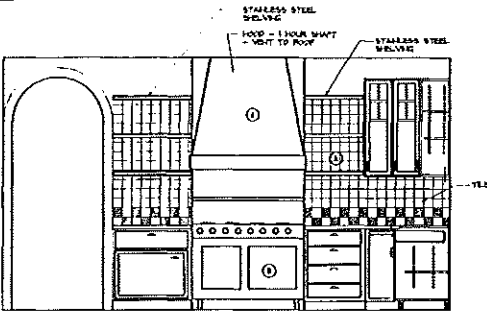
1 ENLARGED KITCHEN PLAN
SCALE: 1/2" = 1'-0"

KITCHEN EQUIPMENT SCHEDULE															
ITEM	QTY.	DESCRIPTION	MANUFACTURER	MFG. MODEL	ELECTRICAL				PLUMBING					COMMENTS	
					VOLT	#	HP	KW	AMP	PROPANE	HU	CU	W		IU
1	1	48" Refrigerator Freezer	SubZero												
2	1	Ice Maker	SubZero												
3	1	Undercounter Dish Cabinet	SubZero												
4	1	Undercounter Refrigerator Freezer	SubZero												
5	1	48" Dual Fuel Range	Deco												
6	1	Wall Hood	Deco												
7	1	36" Dishwasher	Deco												
8	1	MicroWave Convection Oven/Toaster	GE												
9	1	36" Refrigerator Freezer	SubZero												
10	1	Gas Cooktop	GE												
11	1	36" Sink													
12	1														

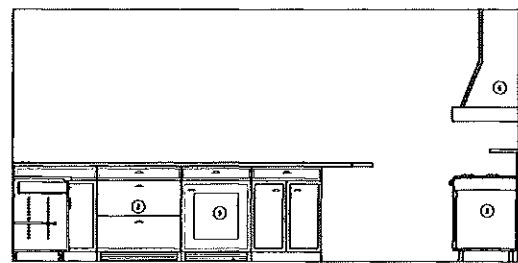
LAUNDRY EQUIPMENT SCHEDULE																
ITEM	QTY.	DESCRIPTION	MANUFACTURER	MFG. MODEL	VOLT	#	HP	KW	AMP	PROPANE	HU	CU	W	IU	FD	COMMENTS
1	1	Washer	WILPOOL DIRT BEES	DIRT BEES												
2	1	Dryer	WILPOOL DIRT BEES	DIRT BEES												
3	1															
4	1															



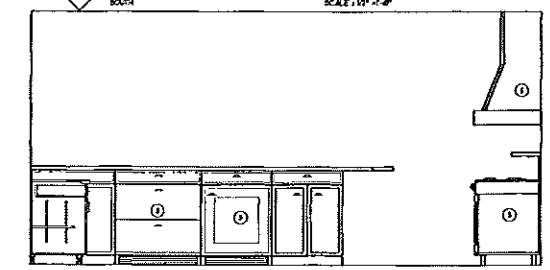
1 KITCHEN
SECTION
SCALE: 1/2" = 1'-0"



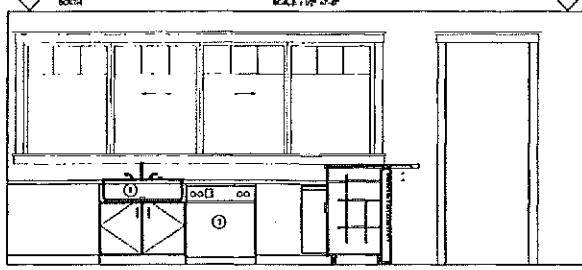
2 KITCHEN
SECTION
SCALE: 1/2" = 1'-0"



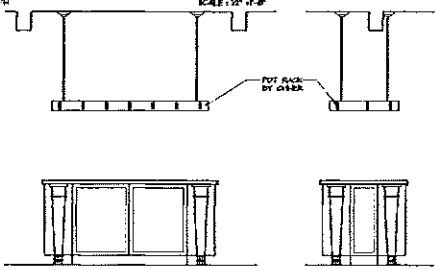
3 KITCHEN
SECTION
SCALE: 1/2" = 1'-0"



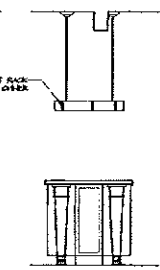
4 KITCHEN
SECTION
SCALE: 1/2" = 1'-0"



5 KITCHEN
SECTION
SCALE: 1/2" = 1'-0"



6 ISLAND
SECTION



7 ISLAND
SECTION



REVISIONS
NO. DATE DESCRIPTION

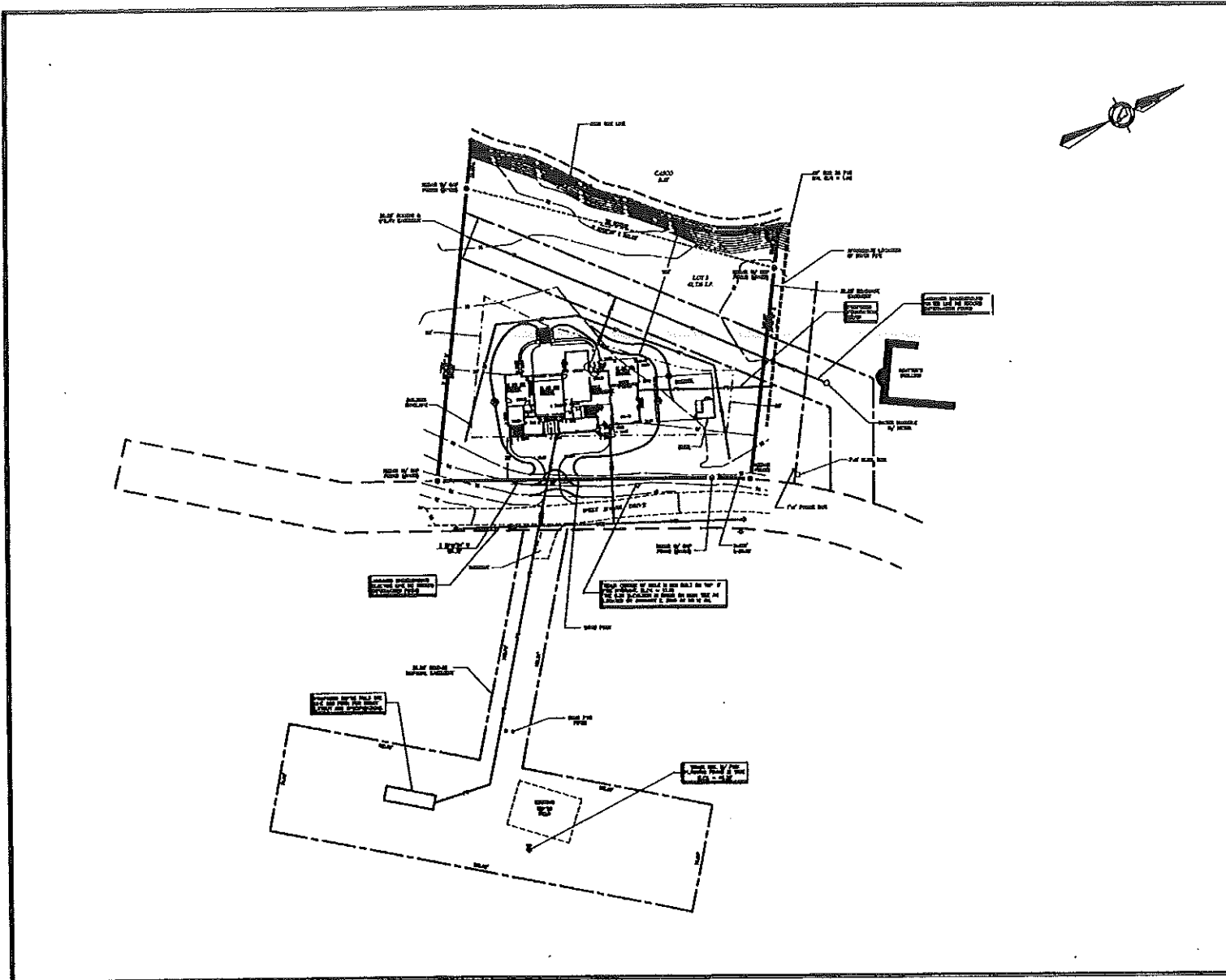
NEAL RESIDENCE
GREAT BLAND ISLAND, MAINE

DRAWING THIS SHEET
WALL SECTIONS

DATE: 1-8-03
DRAWN BY: ESR
CHECKED BY: MF

K-1

© COPYRIGHT
SHOWN ON ALL PLANS
UNLESS OTHERWISE NOTED
E.S. RESIDENCE



LEGEND

	EXISTING	PROPOSED
EDGE OF PARCEL	---	---
CONTOUR	---	---
SPOT ELEVATION	+	+
SEWER	---	---
WATER	---	---
UNGROUNDING ELECTRIC	---	---
SLT FENCE	---	---
BRUSH	---	---

NOTES

- THE BASIS OF RECORD FOR THIS SURVEY IS FROM THE PLAN RECORDED IN BOOK 42, PAGE 120, AND RECORD IS WORKING THIS.
- DEED AND PLAT BOOK REFERENCES ARE TO THE CLARENDON COUNTY RECORDS OF RECORD (COURT).
- THE PARCEL BOUNDARIES IS DESCRIBED BY THE PLAN OF PORTLAND ADJUDICATED MAP 420-0, PAGE 1.
- NOTICE IS MADE BY THE FOLLOWING PLANS:
 - ADJUDICATED RECORDING PLAN BOOKS 420-0, PAGE 1, WHICH BEARING TO THIS PARCEL, BY LAW THE CONCEPTS, DATED JULY 8, 1991 AND RECORDED IN PLAT BOOK 191, PAGE 144.
 - "TRULANBY LAKESIDE PLAN, LOT 2, BRACKEN COVE," BY F. A. GARDNER, INC., DATED 07-14-91, 94, 2001.
- THE PARCEL BOUNDARIES IS LOCATED IN THE BY DEED, RECORDS AND IS FOLLOWING:
 - FRONT - 37'
 - SIDE - 37'
 - REAR - FROM HIGH WATER - 100' OF SEWER SERVICE FROM HIGH WATER PLAN BY PROFESSIONAL OF BRACKENCOVE.
- THE BUILDING FOOTPRINT & SITE GRADING SHALL BE MADE FROM THE PLAN RECORDED IN BOOK 42, PAGE 120.
- THIS IS NOT A RESIDENTIAL SURVEY, THE SURVEY PLAN BEING COVERED BY PART 2, SECTION 4, PARAGRAPH 3 OF THE STATE BOARD OF LANDS FOR PROFESSIONAL LAND SURVEYORS RULES.
- EXHIBIT LINE SHALL BEON PLAN RECORDED IN BOOK 42, PAGE 120.
- CONTRACTOR SHALL INSTALL AND MAINTAIN SLT FENCE IN ACCORDANCE WITH THE STATE BOARD OF LANDS CONCEPTS HANDBOOK FOR CONSTRUCTION WITH MOVEMENT PRACTICES.
- FOR THE TOWN OF PORTLAND, ME, MAPPER MUST BE THE ELDERLY OF THE PARCEL BEFORE IS SET BELOW OUR HIGH SEA LINE OF SURVIVAL OF THE TOWN OF PORTLAND.

SKETCH PLAN OF LAND ON GREAT DIAMOND ISLAND IN LOT 2 DIAMOND COVE MAINE

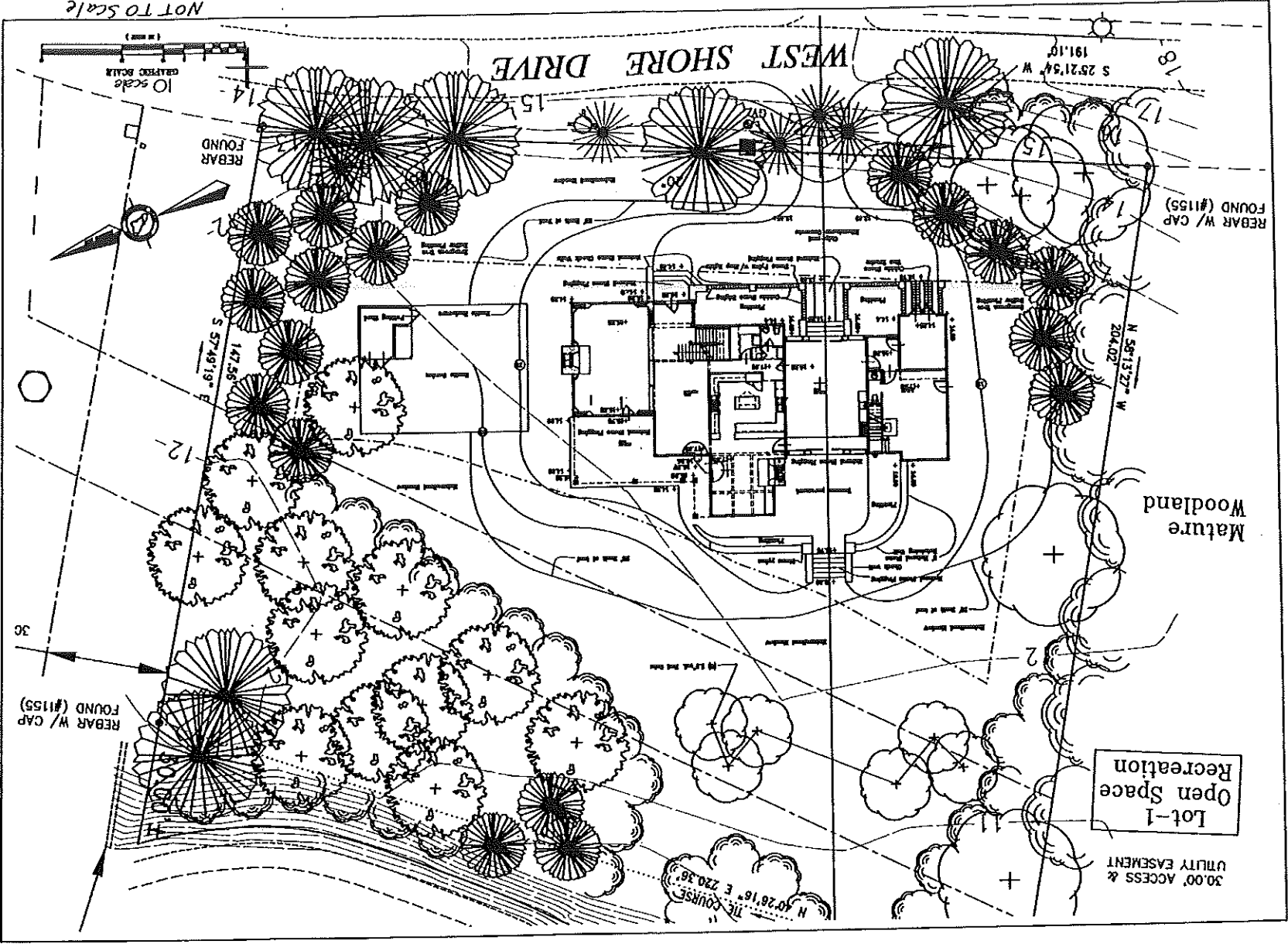
SCALE 1"=40' MARCH 8, 2003

MICHIGAN INC.
P.O. BOX 2111
25 BEECH ST. SUITE 200
GREAT BRIDGE BLVD, PORTLAND, MAINE

JOB NUMBER: 24649	JOB FILE: 24649	DRAWING NUMBER: 24649
-------------------	-----------------	-----------------------

CONSULTING ENGINEERING LAND PLANNING
Northeast Civil Solutions
INCORPORATED
200 W. ROUTE 1, PORTLAND, MAINE 04107

NOT TO SCALE



NOT TO SCALE

WEST SHORE DRIVE

Lot-1
Open Space
Recreation

30.00' ACCESS &
UTILITY EASEMENT

Mature
Woodland

REBAR W/ CAP
FOUND (#1155)

REBAR
FOUND

REBAR W/ CAP
FOUND (#1155)

THE COURSE
N 40°26'16" E 230.36'

10 scale
GRAPHIC SCALE

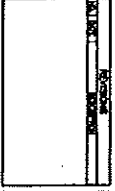


L-2

NO.	DATE	REVISIONS

PRELIMINARY
LANDSCAPE PLAN
LOT-2
DARVOND COVE

NEAL RESIDENCE
LOT 2 DARVOND COVE
GREAT DARVOND ISLAND, PORTLAND, MAINE



P.A. Gushkiwicz, Inc.
Landscape Architecture
1000 Main Street
Portland, Maine 04101
Tel: 603.761.1234



SHORT FORM WARRANTY DEED

Robert Levine and Vilean Taggersell of 2 Hemlock Lane, Falmouth, ME 04105, FOR CONSIDERATION PAID, grant to **Alexandra K. Neal** of 1515 Pydra Street, Suite 1360, New Orleans, LA 70112, with WARRANTY COVENANTS, the following described real property located on Great Diamond Island, in the City of Portland, County of Cumberland and State of Maine:

A certain lot or parcel of land, with any improvements thereon, situated on Great Diamond Island, in the City of Portland, County of Cumberland and State of Maine, and being Lot No. 2 as shown on a plan entitled "Amended Recording Plat, Diamond Cove Phase II, Great Diamond Island, Portland, Maine" dated July 9, 1991, and recorded in the Cumberland County Registry of Deeds in Plan Book 191, Pages 143 through 145 (the "Plan") to which Plan and the record thereof, reference can be made for a more particular description of the within conveyed premises.

The above-described premises are conveyed together with and subject to the covenants, conditions, restrictions, rights, easements, charges, liens and other matters set forth or referred to in an Amended and Restated General Declaration of Covenants and Restrictions dated December 23, 1993 and recorded in said Registry of Deeds in Book 11277, Page 322, including Exhibit A thereto (the "Declaration"). The above-described premises are further conveyed subject to all other matters of record.

The following restrictive covenant shall apply to, and be binding upon the within described Lot 2, and shall further be a covenant imposed upon all subsequent conveyances of single-family house lots on said plan entitled "Amended Recording Plat, Diamond Cove Phase II, Great Diamond Island, Portland, Maine" dated July 9, 1991, and recorded in the Cumberland County Registry of Deeds in Plan Book 191, Pages 143 through 145 (the "Plan"):

All residences erected on said lot shall contain at least 1,400 square feet of living area as defined in said Amended and Restated General Declaration of Covenants and Restrictions.

The within covenant is imposed for the mutual benefit of McKinley Partners Limited Partnership and the Grantees herein and shall be a continuing covenant running with the land, enforceable by either McKinley Partners Limited Partnership and the Grantees herein, their heirs, successors and assigns, or by other owners of lots subject to the same covenant and located on the Plan.

Also hereby conveying to the within Grantees, all of Grantor's right, title and interest in and to the adjacent intertidal zone, defined as that area lying between the sidelines of the above-described premises extending seaward to mean low water mark; said inter-tidal area being subject, however, to the use Restrictions appearing in Articles 4 and 5 of the Declaration.

The above-described premises are further conveyed subject to all other matters of record.

Particular reference is also made to the terms and conditions of State of Maine Department of Environmental Protection Orders dated December 10, 1986 and recorded in said Registry of Deeds in Book 7585, Page 112, dated December 9, 1987 and recorded in said Registry of Deeds in book

8848, Page 314, dated May 10, 1989 and recorded in said Registry of Deeds in Book 8722, Page 151, dated July 5, 1989 and recorded in said Registry of Deeds in Book 8833, Page 12, re-recorded in said Registry of Deeds in Book 8902, Page 118, dated October 12, 1989 and recorded in said Registry of Deeds in Book 8964, Page 155, dated February 8, 1990 and recorded in said Registry of Deeds in Book 9109, Page 292 and dated June 25, 1991 and recorded in said Registry of Deeds in Book 9641, Page 287.

The premises are conveyed together with and subject to any and all easements or appurtenances of record, insofar as the same are in force and applicable.

This conveyance is made subject to unpaid real estate taxes for the current tax year, if any, which the Grantees herein, by acceptance of this deed, assume and agree to pay.

Meaning and intending to convey and hereby conveying the same premises conveyed to the Grantors herein by deed of Michael J. Strong, dated September 12, 1997 and recorded in the Cumberland County Registry of Deeds in Book 13318, Page 202.

WITNESS our hands and seals this 3rd day of October, 2002.

WITNESS

Robert Levine
Robert Levine

Vilean Taggersell
Vilean Taggersell

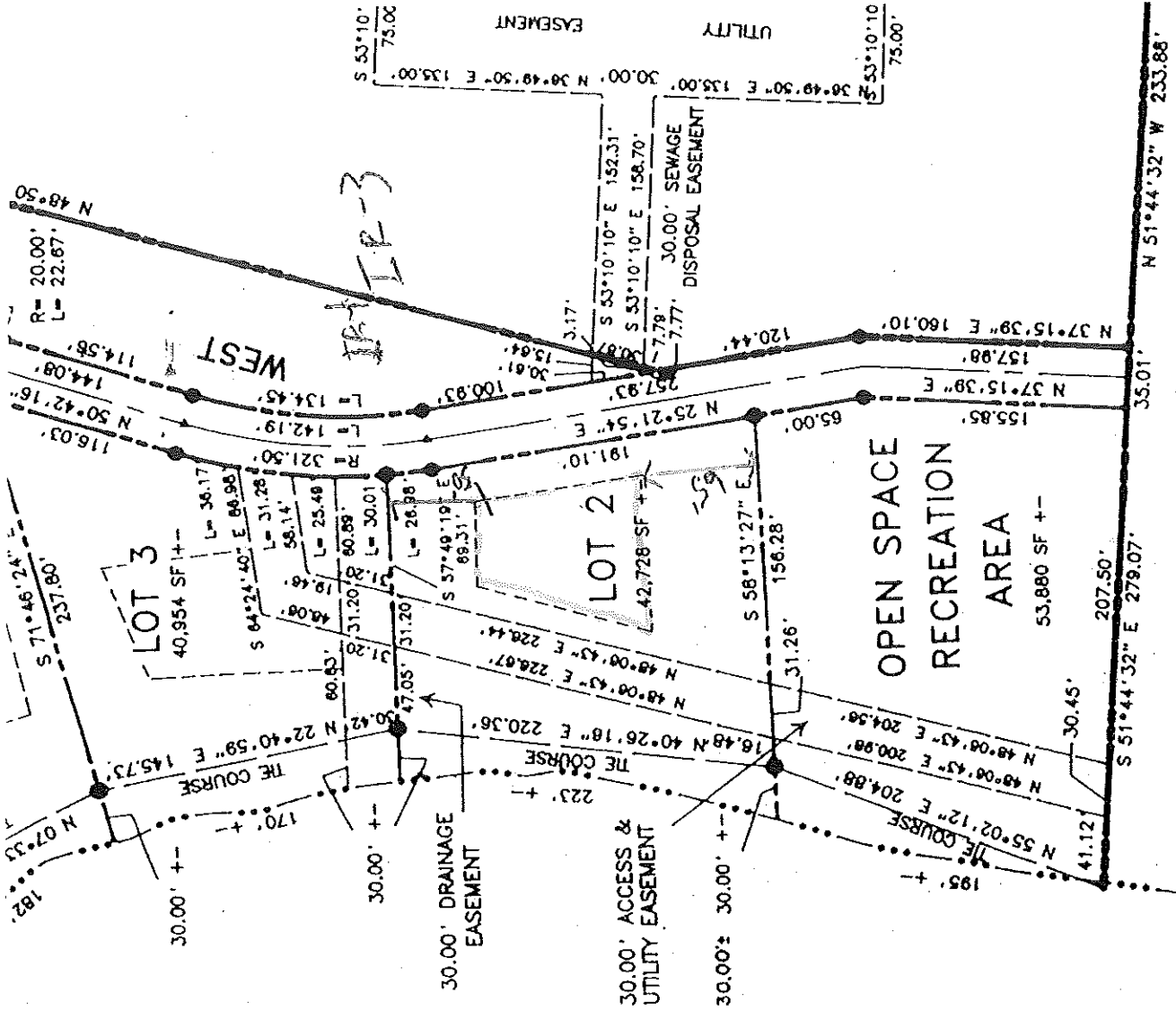
STATE OF MAINE
Cumberland, ss.

October 3, 2002

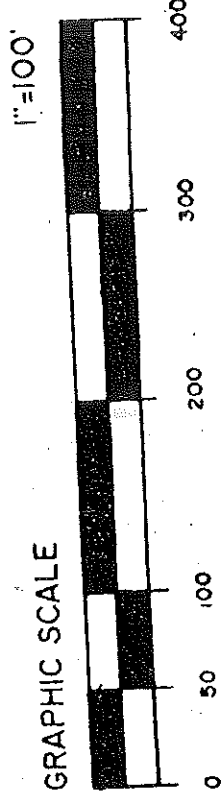
Personally appeared the above named Robert Levine and Vilean Taggersell and acknowledged the foregoing instrument to be their free act and deed.

Before me,

Christine E. Tanguay
Christine E. Tanguay, Notary Public
My Commission Expires: 04/2005



5/8/03 - envelope changed & approved by Lee Y. - new mylar being recoded



CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Building Copy

2003-0054

Application I. D. Number

Neal Alexandra K

Applicant

1515 Pydra St Ste 1360, New Orleans , LA 70112

Applicant's Mailing Address

Goduti Builders, Inc.

Consultant/Agent

Applicant Ph: (207) 749-3703 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail

Manufacturing Warehouse/Distribution Parking Lot

3698 sq. Ft.

42728 sq. Ft.

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

30 - 30 West Shore Dr, Portland, Maine

Address of Proposed Site

083B A002001

Assessor's Reference: Chart-Block-Lot

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic/Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other

Fees Paid: Site Plan \$50.00 Subdivision \$50.00 Engineer Review \$250.00 Date 3/25/2003

Building Approval Status:

- Approved Approved w/Conditions See Attached Denied

Reviewer

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee

Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted _____ amount _____ expiration date
- Inspection Fee Paid _____ amount _____
- Building Permit Issue _____ date _____
- Performance Guarantee Reduced _____ remaining balance _____ signature _____
- Temporary Certificate of Occupancy _____ date _____ Conditions (See Attached) _____ expiration date
- Final Inspection _____ date _____ signature _____
- Certificate Of Occupancy _____ date _____
- Performance Guarantee Released _____ date _____ signature _____
- Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date
- Defect Guarantee Released _____ date _____ signature _____



CITY OF PORTLAND, MAINE
Department of Building Inspections

3/21 2003

Received from Alexandra Neal

Location of Work 30 West Shore Dr.
Diamond Cove, Gr. Island

Cost of Construction \$ 600,000

Permit Fee \$ 4223 Siteplan Bldg. permit

Building (IL) Plumbing (15) ___ Electrical (12) ___ Site Plan (U2)

Other Cof O: \$75.00

CBL: 083-BA-002

1002-674.00

Check #: 118 3926.00 Total Collected \$ 4598.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

03-0219

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>30 West Shore Dr., Diamond Cove, Sec. Diamond Island</u>		Square Footage of Lot <u>42,713</u>	
Total Square Footage of Proposed Structure <u>43007-</u>		Owner: <u>Alex and Byron Neal</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>083</u> Block# <u>BA</u> Lot# <u>002</u>	Applicant name, address & telephone: <u>Gedwhi Building Co. 9 Deering St. Portland, ME 04101</u>		
Lessee/Buyer's Name (if Applicable)	Cost Of Work: \$ <u>600,000</u> 4223.00 Bldgs Fee: \$ <u>300.00</u> Site <u>75.00</u> Cont		
Current use: <u>Vacant land</u>	Telephone: <u>766-4199</u>		
If the location is currently vacant, what was prior use: <u>Naval Hospital - demolished</u>			
Approximately how long has it been vacant: <u>1 1/2 years</u>			
Proposed use: <u>New Residence</u>			
Project description: <u>build 4300 # Single family residence</u>			
Contractor's name, address & telephone: <u>Gedwhi Building Co. Inc</u>			
Who should we contact when the permit is ready: <u>James Gedwhi 776-3768</u>			
Mailing address: <u>9 Deering St. Portland ME 04101</u>			
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>776-3768</u>			

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the **DEPT. OF BUILDINGS INSPECTION** shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of applicable codes applicable to this permit.

Signature of applicant: [Signature] Date: MAR 21 2003

This is NOT a permit, you may not commence ANY work until the permit is issued.

If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Minor/Minor Site Review, Building or Use Permit Pre-Application
Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

NOTE:If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: Lot 2, Diamond Cove, Great Diamond Island, Portland, ME		Telephone#:
Total Square Footage of Proposed Structure	3698 S.F.	Square Footage of Lot
		42728
Tax Assessor's Chart, Block & Lot Number	Owner:	
Chart# 83B Block# A Lot# 2	Byron & Alex Neal	207-749-3703
Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address:	Cost Of Work
N/A	C/o 30 West Shore Drive Great Diamond Island, Portland, ME 04103	\$ 600,000
Proposed Project Description: (Please be as specific as possible)		Fee:
Construction of a single-family house on a residential house lot within an approved subdivision.		\$
Contractor's Name, Address & Telephone Jamie Goduti, Goduti Building Co., 2 Park Circle, Cape Elizabeth, ME 04107		Rec'd By:

• **All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II**

• **All plumbing must be conducted in compliance with the 1996 National Electrical Code as amended by Section 6-Art III**

• **HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.**

- You must include the following with you application:
- 1) A Copy of Your Deed or Purchase and Sale Agreement
 - 2) A Copy of your Construction Contract, if available
 - 3) A Plot Plan (Sample Attached)

A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (2 copies are required). A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification
I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: *Jamie Goduti* Date: *3/12/03*

Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.00 cost plus \$6.00 per \$1,000.00 construction cost thereafter.



Northeast Civil Solutions

INCORPORATED

March 12, 2003

Jay Reynolds, Planner
City of Portland
389 Congress Street
Portland, ME 04101

153 U.S. Route 1
Scarborough
Maine 04074

RE: Minor/Minor Site Plan Review: Alex and Byron Neal, Great Diamond Island

Dear Jay:

On behalf of Alex and Byron Neal, we are pleased to submit the attached information for your review. Lot 2 on West Shore Drive (Great Diamond Island) is currently vacant, with the structure as depicted on the Sketch Plan prepared for construction as soon as possible. Will Pogar of Calendar Islands Architects will be presenting a full set of building plans to you shortly. As indicated on the application, the builder (Goduti Building Company) estimates a cost of \$600,000 for construction completion.

tel
207.883.1000
800.882.2227
fax
207.883.1001

Attached please find an application for Minor/Minor Site Plan Review; a Sketch Plan showing survey data, existing and proposed grading, zoning district and setback lines, and existing and proposed utility locations; and elevations data. Given the nature of the house on Great Diamond Island, no driveway is proposed as no vehicle will be used.

NCS has contacted the Maine Department of Environmental Protection and no permit is required based on the design and location as submitted. Stormwater will sheet flow across the site for maximum absorption on site, then into the Atlantic Ocean (Casco Bay). Sewerage will be private in the area as indicated, and an HHE-200 Report is also attached. Water is public as shown.

Also attached is a landscaping plan for your review which is intended to depict site buffering. The site is now mostly cleared, having previously been the site of an old military building. The impervious surface area created by this proposed house is considerably less than the area occupied by the old (now demolished) building, which in turn enhances the lot both aesthetically and from the perspective of creating a greater area for stormwater mitigation on site.

If you have any questions, please contact Isaiah Plante (Project Manager) or me at any time. Thank you.

Sincerely,
Northeast Civil Solutions, Inc.

Jim Fisher
President

Enclosure

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE

PERMIT IS ISSUED

**Minor/Minor Site Review, Building or Use Permit Pre-Application
Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: Lot 2, Diamond Cove, Great Diamond Island, Portland, ME		Square Footage of Lot	42728
Total Square Footage of Proposed Structure		3698 S.F.	
Tax Assessor's Chart, Block & Lot Number		Owner:	Telephone#:
Chart# 83B	Block# A Lot# 2	Byron & Alex Neal	207-749-3703
Lessee/Buyer's Name (If Applicable)		Owner's/Purchaser/Lessee Address:	Cost Of Work:
N/A		C/o 30 West Shore Drive Great Diamond Island, Portland, ME 04103	\$ 600,000
Proposed Project Description:(Please be as specific as possible)		Fee:	
Construction of a single-family house on a residential house lot within an approved subdivision.		\$	
Contractor's Name, Address & Telephone		Rec'd By:	
Jamie Goduti, Goduti Building Co., 2 Park Circle, Cape Elizabeth, ME 04107			

Separate permits are required for Internal & External Plumbing HVAC and Electrical installation.

•All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II. •All plumbing must be conducted in compliance with the State of Maine Plumbing Code.

•All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III. •HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (2 copies are required). A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: *Jamie Goduti* Date: 3/12/05

Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

PLUMBING APPLICATION

Department of Human Sciences
Division of Health Engineering

PROPERTY ADDRESS
Town or Plantation: 30 Pine Shore Diamond Cove
Street: Shore Diamond Cove
Subdivision Lot # Great Diamond Pt. Hard

PROPERTY OWNERS NAME
Last: Neil First: Alex
Applicant Name: Gray S. Daniels
Mailing Address of Owner/Applicant (if Different): PO Box 531 Cumberland Me.

Owner/Applicant Statement
I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.
Gray S. Daniels
Signature of Owner/Applicant 2/26/09
Date

Portland
Date Permit Issued: 2/27/09
L.P.I. # 6608
8787
TOWN COPY
\$ 1174
Double Fee Charged
Local Plumbing Inspector Signature: *Markand Wig*
Date Approved: 08327002

Caution: Inspection Required
I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature _____ Date Approved _____

PERMIT INFORMATION

This Application is for

1. **NEW PLUMBING**
2. **RELOCATED PLUMBING**

Type of Structure To Be Served:

1. SINGLE FAMILY DWELLING
2. MODULAR OR MOBILE HOME
3. MULTIPLE FAMILY DWELLING
4. OTHER - SPECIFY _____

Type of Structure To Be Installed By:

1. MASTER PLUMBER
2. OIL BURNERMAN
3. MFGD. HOUSING DEALER/MECHANIC
4. PUBLIC UTILITY EMPLOYEE
5. PROPERTY OWNER
LICENSE # 8167

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2 Type of Fixture		Column 1 Type of Fixture	
	Number	Type of Fixture	Number	Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District. OR HOOK-UP: to an existing subsurface wastewater disposal system. PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.	<u>6</u>	Hosebibb / Sillcock	<u>1</u>	Bathtub (and Shower)
		Floor Drain	<u>3</u>	Shower (Separate)
		Urinal	<u>3</u>	Sink
		Drinking Fountain	<u>6</u>	Wash Basin
		Indirect Waste	<u>5</u>	Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.	<u>1</u>	Clothes Washer
		Grease / Oil Separator	<u>1</u>	Dish Washer
		Dental Cuspidor	<u>1</u>	Garbage Disposal
		Bidet		Laundry Tub
		Other: _____	<u>1</u>	Water Heater
Fixtures (Subtotal) Column 2			Fixtures (Subtotal) Column 1	
SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE		<u>174.00</u>	<u>16</u>	
SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE		<u>2.2</u>	Fixtures (Subtotal) Column 2	
SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE		<u>28</u>	Total Fixtures	
SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE			Fixture Fee	
SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE			Transfer Fee	
SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE			Hook-Up & Relocation Fee	
SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE		<u>174.00</u>	Permit Fee (Total)	



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT

#070704

083 ~~BA~~ 002

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location / CBL 30 Wood Street Use of Building Residential Date 4/8/04

Name and address of owner of appliance 30 West Street Drive, Great Diamond

Installer's name and address Goat's Building Co 4 Deering St. Portland ME

Telephone 774-2753

Location of appliance:

- Basement
- Floor 1st & 2nd
- Attic
- Roof
- Floor Basement

Type of Fuel:

- Gas
- Oil
- Solid

2 fireplaces

Appliance Name: Jetrol / Mendritz

U.L. Approved Yes No

Will appliance be installed in accordance with the manufacturer's installation instructions? Yes No

IF NO Explain: _____

The Type of License of Installer:

- Master Plumber # _____
- Solid Fuel # _____
- Oil # _____
- Gas # PNT 246
- Other _____

Type of Chimney:

- Masonry Lined
- Factory built _____

Metal

Factory Built U.L. Listing # _____

Direct Vent

Type _____

Direct Vent

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

APR 20 2004

RECEIVED

Size of Tank 120 Gallons

Number of Tanks 2

Distance from Tank to Center of Flame 40 feet

Cost of Work: \$ New SF

Permit Fee: \$ _____

Approved

Approved with Conditions

Fire: _____

Ele.: _____

Bldg.: _____

See attached letter or requirement

Signature of Installer Frank E. Beaudry

Inspector's Signature _____

Date Approved _____

(SUBSCRIBER PERMITS)

White - Inspection

Yellow - File

Pink - Applicant's

Gold - Assessor's Copy

SPECIFICATIONS MENDOTA
MODEL DXV-35 ← BUILT IN

High Fire - Adjustable to - Low Fire

BTUH. (MODEL DXV-35)	NAT. GAS	32,000	6,000
BTUH. (MODEL DXV-35)	LP GAS	32,000	6,000

NOTE: LP CONVERSION KITS ARE INCLUDED WITH EACH FIREPLACE

MAIN ORIFICE..... REAR BURNER: #41 NAT. GAS [#53 L.P. GAS] – FRONT BURNER: #50 NAT. [#59 LP]
 OVERALL EFFICIENCY EXCEEDS D.O.E. EFFICIENCY REQUIREMENTS (A.F.U.E.) FOR DIRECT VENT
 WALL HEATERS

CO-AXIAL DIRECT VENT FLUE TOP VENT: 4" INNER, 6 5/8" OUTER; REAR: 5" INNER 8" OUTER
 TOTAL WEIGHT..... 185 POUNDS

SAFETY AGA CERTIFIED PILOT GENERATOR, MILLIVOLT SYSTEM
 ACTIVATED WITH SWITCH, THERMOSTAT OR REMOTE CONTROL.
 GAS REQUIREMENTS..... SUPPLY PRESSURE: GAS INLET: 3/8" N.P.T.

NAT. GAS: 7" W.C. (5" W.C. MIN, 11" W.C. MAX.)
 L.P. GAS: 11.0" W.C. (11" W.C. MIN, 13" W.C. MAX.)
 ELECTRICAL REQUIREMENTS..... 115 VOLT, LESS THAN 2 amps

MINIMUM CLEARANCES FROM COMBUSTIBLE CONSTRUCTION

Unit to floor	1/8 in.	Unit to enclosure sidewalls	0.5 in.
Unit to enclosure sidewall	0.5 in.	Unit top to ceiling	18 in.
Vent to enclosed	1 in.	Wall Pass-Through to framing	1 in.
Vent to adjacent sidewall	10 in.	Mantle above discharge air opening	14 in.

Certified under ANSI Z21.88-1998 CSA 2-33-M98 "Vented Gas Fireplace Heaters" not for use with solid fuel. Approved for bedroom installations and mobile homes. UL307B approved for "mobile homes, after first sale of home, not for recreational vehicles."

Gas appliances must be tested and certified by a nationally recognized testing and certification agency to American National Standards Institute - ANSI Gas Appliance Safety Standards
 The Mendota Gas DXV Fireplace has been tested and certified by Intertek Testing Services 8431 Murphy Drive, Middleton, WI

FIREPLACE INCLUDES A HEARTHGLO SEALED COMBUSTION SYSTEM, 6-PIECE CERAMIC FIBER LOG SET & COALS, FIREBRICK LINED FIREBOX, NEO-CERAM GLASS, PIEZO IGNITER, DUAL BLOWERS, AGA CERTIFIED SAFETY SYSTEM, and WALL THERMOSTAT.

OPTIONS: DIRECT REAR VENT KITS, BLACK, BRASS, CLASSIC BRASS OR CLASSIC SILVER TONE GRILL SETS, BLACK OR 24K GOLD "VICTORIA" & "TUSCANY" FILIGREE FRONTS, ANDOVER ARCHED DOORS & 4 COLOR OVERLAY FRONTS, PRAIRIE RECTANGULAR DOORS & 4 COLOR OVERLAY FRONTS, DEERFIELD FRONT, WELLINGTON FRONT, VERSIHEAT REMOTE FORCED AIR HEAT TRANSFER SYSTEM.

Building Permit and Installation Inspection Approval Requirements

All installations of Mendota Fireplaces and Inserts must comply with all the requirements stated in this Installation and Operating Instructions Manual. The Dealer and/or installer must also obtain all required Building Permits and Inspection Approval from the local building inspection department or the local body having jurisdiction. In order to validate warranty coverage, Mendota may require facsimile copies of the Building Permit and Inspection Approval forms. Failure to provide adequate proof that the installation conforms to all local requirements and the requirements stated in the Installation and Operating Instructions Manual will void all applicable warranty.

INSTALLER: THESE INSTRUCTIONS ARE TO REMAIN WITH HOMEOWNER.

Stove and Vent Clearance Requirements

Minimum Clearances from the Stove to Combustibles: See Figs. 2-4.

- Rear: 2" (51 mm)
- Ceiling: 33" (838 mm)
- Corner: 2" (51 mm)
- Right Side: 3" (76 mm)
- Left Side: 10" (254 mm) - for access to Lighting Instruction plate

Minimum Clearances from the Vent Pipe to

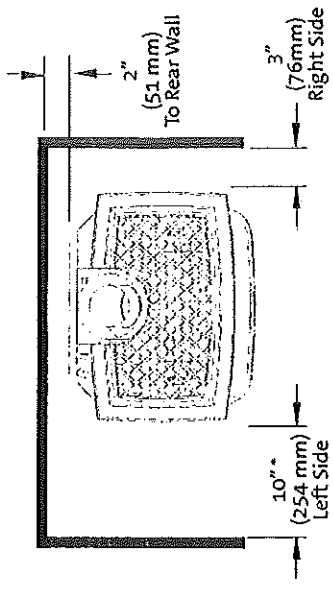
Combustibles:

Horizontal Run:

- Off the top of the pipe 2" (50 mm)
- Off the sides and bottom 1" (25 mm)

Vertical Run:

- All sides 1" (25 mm)



* Allow 10" on left side of the appliance for complete access to the lighting instructions and control valve.

Figure 3. Parallel Installation Clearances.

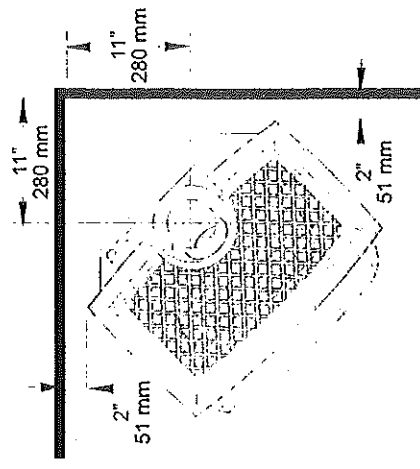


Figure 4. Vent adaptor centerline at minimum clearance to corner walls.

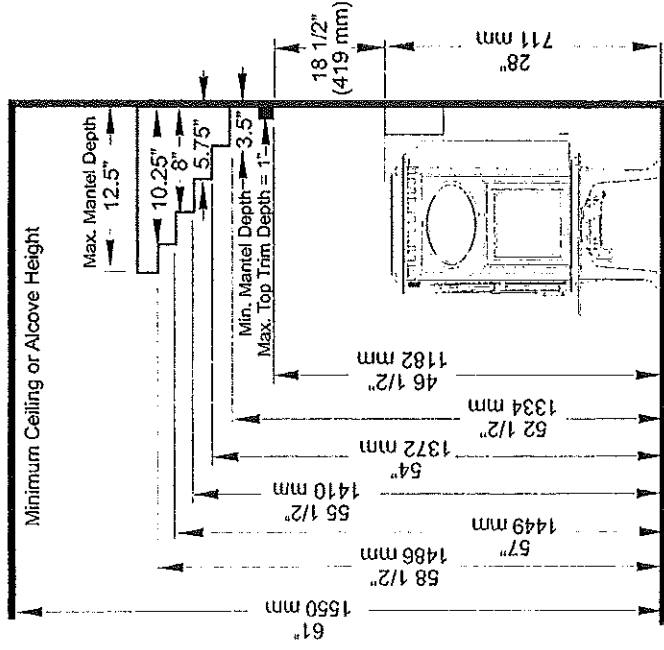


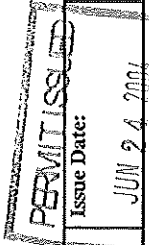
Figure 2. Mantel and Trim Clearance specifications. Subtract 2 1/4" with Short Legs.

Alcove Installation

- Maximum Alcove Depth: 24" (610 mm)
- Minimum Alcove Width: 36 3/4" (934 mm)
- Minimum Ceiling Height: 61" (1549 mm)
- With Short Legs (6"): 58 3/4" (1486 mm)

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716



Permit No: 04-0424 Issue Date: JUN 24 2004 CBL: 083B A002001

Location of Construction: 30 West Shore Dr	Owner Name: Neal Alexandra K	Owner Address: Diamond Cove	Phone: CITY OF PORTLAND
Business Name:	Contractor Name: Goduti Building Co.	Contractor Address: 9 Deering Street Portland	Phone: 2077742753
Lessee/Buyer's Name:	Phone:	Permit Type: HVAC	Zone: FR-1

Past Use:
New Single Family

Proposed Use:
Single Family / Install 2 Motel /
Mendota Gas direct vent Fireplaces
on the 1st & 2nd Flr.

Proposed Project Description:
Install 2 Motel / Mendota Gas direct vent Fireplaces on the 1st & 2nd Flr.

Permit Taken By:
Idobson

Date Applied For:
04/14/2004

Permit Fee: \$57.00 Cost of Work: \$3,500.00 CEO District: 1

FIRE DEPT: Approved Denied INSPECTION: Use Group: R-3 Type: HVAC

Signature: *JMB 6/8/04* Signature: *JMB 6/8/04*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Zoning Approval	
Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>JMB 6/8/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>JMB</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

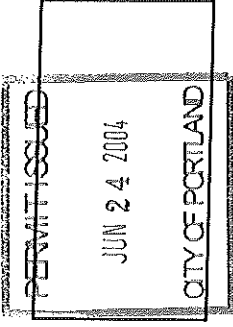
SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK TITLE DATE PHONE



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT



083 AB 002
3A

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location / CBL 30 West Stone Use of Building Residential Date 4/16/04
Name and address of owner of appliance 30 West Stone Drive, Grand Diamond
04-0494
Installer's name and address Frank Building Co & Deering St. Portland ME
Telephone 774-7753

Location of appliance:
 Basement
 Attic
 Floor
 Roof

1st & 2nd
floor

Type of Fuel:
 Gas
 Oil
 Solid

2 furnaces

Appliance Name: Totol / Mendritz
U.L. Approved Yes No

Will appliance be installed in accordance with the manufacturer's installation instructions? Yes No

IF NO Explain:

The Type of License of Installer:
 Master Plumber # _____
 Solid Fuel # _____
 Oil # _____
 Gas # PNT 246
 Other _____

Type of Chimney:
 Masonry Lined
 Factory built

Metal
Factory Built U.L. Listing # _____

Direct Vent
Type Direct Vent UL# _____

Type of Fuel Tank
 Oil
 Gas

Size of Tank 120 Gallons

Number of Tanks 2

Distance from Tank to Center of Flame 40 feet.

Cost of Work: \$ 3500 New SF.

Permit Fee: \$ 57.00

Approved _____ Approved with Conditions _____
Fire: _____
Ele.: _____
Bldg.: JMB See attached letter or requirement

Signature of Installer Frank & Beaudry Inspector's Signature _____ Date Approved _____
White - Inspection Yellow - File Pink - Applicant's Gold - Assessor's Copy

3795
#75