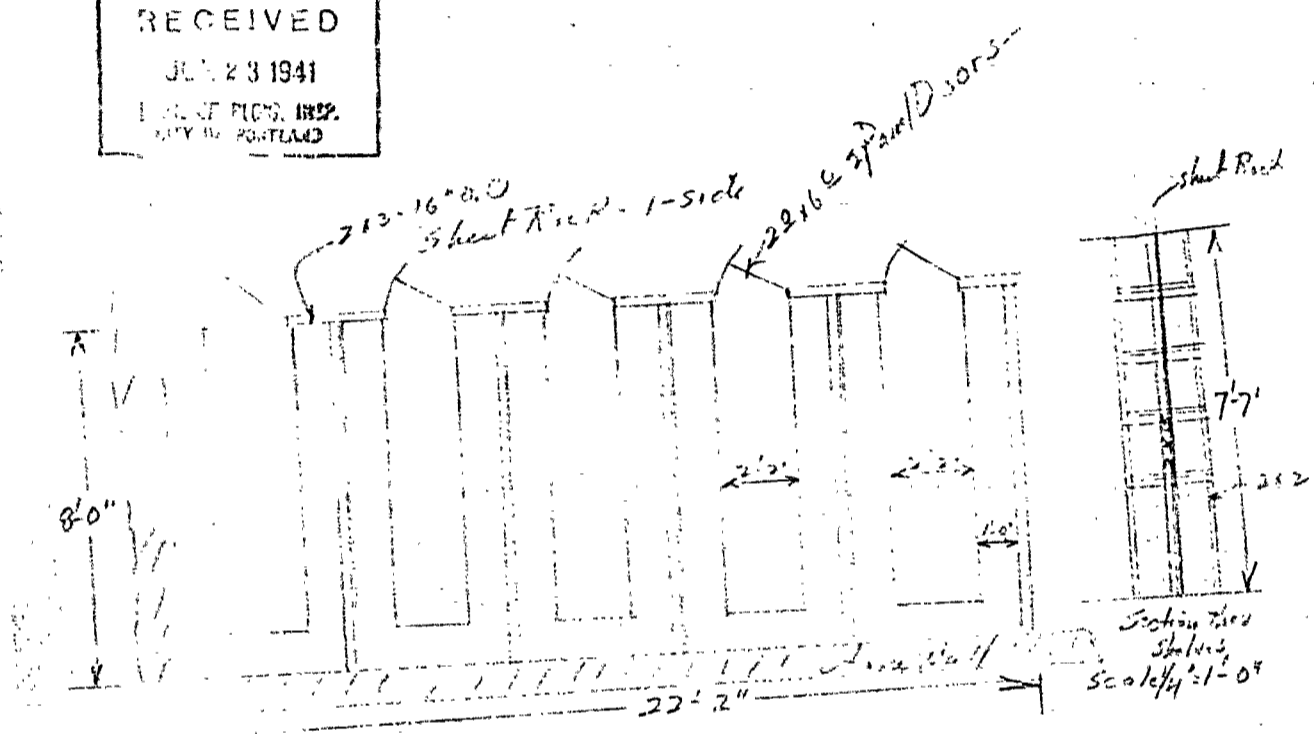


RECEIVED
 JUL 23 1941
 ENGINEERING DEPT.
 CITY OF PORTLAND



Springers Jewelry
 515 Congress St.
 owner Mrs Howard Kirk
 Portland, Me.



GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED

Class of Building or Type of Structure _____

Portland, Maine, JUN 24 1911

INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter insert the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted here and the following specifications:

Location 515 Congress Street Within Fire Limits? YES Dist. No. 1

Owner's or Lessee's name and address John Russell Heirs, Mabel Kennard Agt. Telephone _____

Lessee Geo. F. Springer Co. Contractor's name and address Burnham McLeellan, 49 1/2 Congress St. Bangor Maine Telephone 2-5951

Architect _____ Plans filed YES No. of sheets 1

Proposed use of building Mercantile No. families _____

Other buildings on same lot _____ Fee \$.75

Estimated cost \$ 175

Description of Present Building to be Altered

Material Brick No. stories 3 Heat _____ Style of roof _____ Roofing _____

Last use Mercantile No. families _____

General Description of New Work

To partition off new storage rooms 22' x 8' in front part of basement - 2x3 studs 16" OC covered on one side with sheet rock - to ceiling

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? _____
Is any electrical work involved in this work? _____ Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sill _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? NO

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? YES

Signature of owner John Russell Heirs By Geo. F. Springer Co. Lessee By Burnham McLeellan

By Philip M. Dunham

INSPECTION COPY

Permit No. 41/883

Location 515 Congress St

Owner Gen. T. Lawrence Co

Date of permit 6/24/41

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 7/9/41 J.H.

Cert. of Occupancy issued 7/10/41

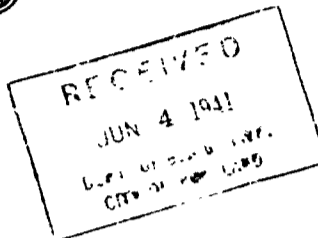
NOTES

Vertical stamp: PERMIT NOTIFICATION
Large handwritten 'X' across the notes section.

Donnelly Electric & Neon Co.

The Donnelly Way
OF ELECTRICAL ADVERTISING
3190 WASHINGTON STREET
BOSTON

ENDICOTT 6600



June 5, 1941

Mr. Warren McDonald
Inspector of Buildings
City Hall
Portland, Maine

RE: D-F Sign for William M.
Cross, 515-A Congress St.
Portland, Maine

Dear Mr. McDonald:

We want to thank you for your letter of May 29th,
File #Rept. 9517c-I, and for the information contained
therein regarding the possible change in the rules and
regulations.

We have notified our Portland Office to let us
know if they would be willing to wait to see if the laws
are so changed. As far as the revised plans are concerned,
we would in this case wait until we hear further from our
Portland Office in the event that they wish to place the
sign at a lower grade than now planned, and there may be
some additional changes in the plans.

Sincerely,

DONNELLY ELECTRIC & NEON CO.
William Werner
William Werner
ENGINEER

Ww:eah

Sept. 22-1941

May 20, 1941

Mr. William Gerner,
c/o Dumlally Electric & Home Co.
3133 Washington Street,
Boston, Mass.

Dear Sir:

The plan of the projecting sign for William E. Cross, Inc. at 117 1/2 Congress Street in this city does not show clearly enough what size angles are to be used for the cantilever arrangement. In the detailed plan I can find only the indication of 3/4 inch angles but your computations seem to indicate that a 3/4 x 3/4 inch angle is to be used. Whatever is to be used ought to be marked clearly on the detailed plan so that the erector could be governed thereby without being expected to go through the computations.

Frankly I am somewhat puzzled by the fairly elaborate arrangement you have shown of angles extending back four or five feet into the space between the two buildings. I am not questioning the necessity of this arrangement, as no doubt you have information about the situation that I do not have. If it is possible, I would prefer that the through bolts be in the horizontal angle which is flat against the front wall of the building. I realize that there is a large sign overhead which no doubt cramps the arrangement of this proposed sign, but it is possible if the window opening at about the same level of the sign is shown to scale on the plan, that this horizontal angle flat against the face of the building could be extended, the through bolt put in it and also at least one expansion bolt and gasket plates or right angles both top and bottom be run out at an angle of 45 degrees with the face of the building as far as that would take it on the frame of the sign, thus cutting down the length of the cantilever against wind load. As far as upward weight is concerned, we can permit a bracket beneath the sign as long as the outer end of it does not project more than two feet from the building line.

I am not sure that I can concede that the application of the downward load of the sign is to be close to the building as your figures seem to indicate.

You will understand that I am not attempting to design this layout, and, of course, cannot take responsibility for following my suggestions. They are made in an effort to wrap out the owner of the sign as well as the erector.

Our code usually requires a statement of design from the designer of such a structure as this and I am enclosing a number of blank statements for such designs so that you can attach one after signing it to the revised print of this job and keep the others for future use.

It would be unfair to all concerned, especially the owner of this sign if I did not advise you that a complete revision of our Building Code including requirements and allowances for projecting signs is about to be adopted. Of course, I cannot guarantee that the regulations as to signs as now written will become law, but I rather think they will within a month. These proposed regulations as to signs

and because the way was not allowed to be taken to the other side of
the street, it is not possible to place the sign there. It would be better to
place the sign on the side of the building that is closer to the street. We
will be glad to discuss this with you, provided you are willing to make the
necessary changes in the sign suggestions.

Please send a copy of this letter to the owner, John Donnelly & Sons,
in Portland.

Very truly yours,

WMC/H

Inspector of Buildings

CC: Mr. William Melough
c/o John Donnelly & Sons
75 Main Street,
So. Portland, Maine

P.S. We have already asked Mr. Melough by phone to secure the
written consent from the owner of the building to this change of sign. If
it should be decided to wait and perhaps make the sign lower, we would like
to have the written consent of the owner based on the actual location of the
sign as it will be put up.

Warren McDonald

CC: William M. Cross, Inc.
515A Congress Street

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO BE
ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES
AT 515A CONGRESS STREET IN PORTLAND, MAINE

SIMPLY P. SHWARTZ, being the ^{Agent}~~owner~~ of the
premises at 515A Congress Street in Portland, Maine hereby gives
consent to the erection of a certain sign owned by William M. Cross, Inc.
projecting over the public sidewalk from said premises as described in
application to the Inspector of Buildings of Portland, Maine for a permit
to cover erection of said sign;

And in consideration of the issuance of said permit _____
SIMPLY P. SHWARTZ, ^{Agent}~~owner~~ of said premises, in event said sign
shall cease to serve the purpose for which it was erected or shall become
dangerous and in event the owner of said sign shall fail to remove said sign
or make it permanently safe in case the sign still serves the purpose for
which it was erected, hereby agrees for himself or itself, for his heirs,
its successors, and his or its assigns, to completely remove said sign
within ten days of notice from said Inspector of Buildings that said sign
is in such condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this
consent and agreement this 25th day of JULY, 19 41.

W. B. McLaughlin
Witness

Simply P. Shwartz
Agent



GENERAL BUSINESS PERMIT

PERMIT ISSUED

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

Permit No. 29 1941

Portland, Maine, Nov 24, 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.
The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 515 1/2 Congress Street Within Fire Limits? Yes Dist. No. 1

Owner of building to which sign is to be attached Russell Keitz

Name and address of owner of sign William N. Cross, Inc. 515A Congress St.

Contractor's name and address John Donnelly & Sons, 73 Main St. So. Portland Telephone 2-0250
2-1879

When does contractor's contract expire? October 1942

Information Concerning Building

No. stories 5 Material of wall to which sign is to be attached brick

Details of Sign and Connections

Electric? Yes Vertical dimension after erection 2'6" Horizontal 1'9"

Weight 425 lbs., Will there be any hollow spaces? Yes Any rigid frame? Yes

Material of frame angle iron No. advertising faces 2, material galvalin enamel

No. rigid connections 4 Are they fastened directly to frame of sign? Yes

No. through bolts 2, Size 5/8", Location, top or bottom top and bottom

No. guys None, material _____, Size _____

Minimum clear height above sidewalk or street 12'

Maximum projection into street 6"

Signature of contractor John Donnelly & Sons Fee \$ 1.00
W. B. McLaughlin

CITY OF PORTLAND DEPT. OF BUILDINGS
INSPECTION COPY

REQUIREMENT 5 WALK

2017C

Permit No. 41/1075

Location 515A Currier St.

Owner Wm M. Cass, Inc.

Date of permit 7/29/41

Sign Contractor

Final Insp. J. J. McCalla

NOTES

7/30/41 Ins. delayed

supplies left at Currier

at 11:00 P.M.

Shop Insp

7/31/41

CLAYTON OR STEEL
ERECTOR

DATE	DESCRIPTION	REMARKS
7/29/41	Permit issued	
7/30/41	Inspection delayed	Supplies left at Currier at 11:00 P.M.
7/31/41	Shop inspection	

Donnelly Electric & Neon Co.

The Donnelly Way
OF ELECTRICAL ADVERTISING
3180 WASHINGTON STREET
BOSTON

ENDICOTT 6800

April 21, 1941

Mr. Warren McDonald
Inspector of Buildings
City Hall
Portland, Maine

Co. Liggett's
513 Congress Street
Portland, Maine

Dear Mr. McDonald:

We are enclosing two prints of our Drawing C-822-A, dated 4-9-41 and revised 4-21-41.

As you have already issued a permit for this job, we want to let you know that there has been a slight change made in the method of supporting the transformers in the sign due to the fact that it was impossible to service the same in the position first indicated.

We have also shown the revised connection between the pipe outrigger and the sign which now consists of ~~two~~ ^{three} bolts and 1-1/8" pipe sleeves. We hope that all this is satisfactory to you.

The writer also wishes to thank you for the letter which he recently received from you.

We want to thank you for your cooperation and remain

Very truly yours,

DONNELLY ELECTRIC & NEON COMPANY

William Werner

William Werner - Engineering Dept.

W.W:jr

John J. Linn, Jr.,
73 ...
South ...

Gentlemen:

I have recently reviewed some of the ...
concerning the ...
proposed ...
is the ...
stage. ...

However, there is considerable ...
pertaining to the ...
will ...

The ...
are to be ...
five ...
one ...
the ...
are to be ...
least ...

It would not ...
be ...

It should be ...
regarding the ...
to be ...
be ...
to ...

Very truly yours,

CC: Donnelly Electric & Sign Co.
2130 Washington Street
Boston, Mass.
Attention: William Warner

Inspector ...
CC: A. T. Williams, Architect
Wiggett Drug Co., Inc.
71 West 25th Street
New York, N. Y.

P. S. Referring to the third paragraph above, the plans show a new
expansion bolt to fasten sign to wall.

GENERAL BUSINESS FORM PERMIT ISSUED



APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

Permit No. ARB 12 1941

Portland, Maine, April 10, 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.
The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 513 Congress Street Within Fire Limits? yes Dist. No. 1
Owner of building to which sign is to be attached John Russell Peira
Name and address of owner of sign Biggett Drug Co., 513 Congress Street
Contractor's name and address John Donnelly & Sons, 73 Main St. Portland Telephone 2-2879
When does contractor's bond expire? October, 1941

Information Concerning Building

No. stories 2 Material of wall to which sign is to be attached brick

Memorandum from Department of Building Inspection, Portland, Maine

*513 Congress - Projecting Sign for Biggett by Donnelly
4/11/41*

*To Erector:
Hangers are to be bolted through
joist arm to prevent top from
swinging or rattling.*

(Signed) Warren McDonald
Inspector of Buildings



(G) GENERAL BUSINESS ZONE

PERMIT ISSUED

APPLICATION FOR PERMIT TO ERECT

Fastenings of sign and connections

Electric? yes Vertical dimension after erection 38 1/2" Horizontal 5'9"

Weight 350 lbs., Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame angle iron No. advertising faces 2 material porcelain

No. rigid connections 4 Are they fastened directly to frame of sign? yes

No. through bolts 2 Size 3/8" 5/8" Location, top or bottom top and bottom

No. guys 3 material chain angle iron Size 3/8" 1 1/2" x 3/4"

Minimum clear height above sidewalk or street 15'

Maximum projection into street 6'

Fee \$ 1.00

John Donnelly & Sons
 Signature of contractor *[Signature]*

CHIEF OF FIRE DEPT.

INSPECTION COPY

Permit No. 41/463
Location 513 Congress St.
Owner Riggatt Drug Co
Date of permit 4/12/41
Sign Contractor
Final Inspn. 5/14/41. C. L. G.

NOTES

Site Desc.
4/12/41. Hold up operation
at 513 Congress St. in
middle of street. etc.
4/12/41. To set up
through hole
Disturbance sidewalk
at 513 Congress St.
4/26/41. Side tracks have
been completed. Show
local property owner
ample. Mr. M. M. M.
to be set up with
Mr. M. M. M. to be re-
deposited by M. M. M.
and effort must be made
with at this office etc.
5/14/41. This hole
to be filled all right
if there is any
4-6" inch of
brick found
no

RECEIPT FOR REGISTERED ARTICLE No. 3-0-19

Declared value \$
 From
 Addressed to
 Return receipt for
 Delivery restricted to
 Special delivery fee
 Postmaster, per

RETURN RECEIPT

Received from the Postmaster the Registered or Insured Article the number of which appears on the face of this Card

(Signature of sender of article)
 (Signature of addressee of article)
 Date of delivery
 Form 8811

C-40-67-1

June 13, 1941

Hubert W. Nemard,
 48 Washington Street,
 Rumford, Maine

Dear Sir:

The defects in the masonry of the front wall of the building owned by John Russell Holms at 511-513 Congress Street appear to have been fully corrected by your authorization to W. T. Williams architect for Liggett's Drug Company, Inc. and his prompt action.

A much more serious condition was found than was at first thought to be the case, a condition which might easily have caused serious damage to persons or property because it exposed the Congress Street sidewalk and any pedestrians there in case of failure.

May I express to you my appreciation of your prompt action which may have saved a great many fruitless regrets.

Very truly yours,

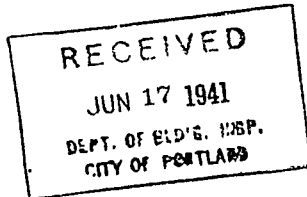
Inspector of Buildings

WMeD/R

CC: W. T. Williams, Architect
 Liggett Drug Co., Inc.
 71 West 23rd Street,
 New York, N. Y.

Liggett Drug Company, Inc.

71 WEST 23RD STREET
NEW YORK, N.Y.



June 16th, 1941

Mr. Warren McDonald
Inspector of Buildings
Portland, Maine

Dear Mr. McDonald,

Re: #115 - Portland, Maine - 513 Congress St.

I have just received a bill from F. W. Cunningham & Sons for the work of removing and relaying the face brick of the building as well as repairs to the rear wall referred to in your letter of March 28th, 1941 to Mable S. Kennard, our landlord at the above.

We are approving the bill assuming that the work has met with your approval. In view of your letter of March 28th we would appreciate it if you would write Mrs. Kennard that the condition has been corrected at the same time sending me a copy of your letter.

Many thanks for your cooperation in the matter.

Very truly yours,

W. T. Williams

W. T. Williams
Architect

WTW:AFK

LIGGETT DRUG COMPANY, INC.

TWO PARK AVENUE

NEW YORK, N.Y.

NEW ADDRESS
71 WEST 23RD STREET

CONSTRUCTION DEPARTMENT

*File with 88
amplified
4/10/41*

April 4th, 1941

Mr. Warren McDonald
Inspector of Buildings
Portland, Maine

Dear Sir:

Re: #113 - Portland, Maine - 513 Congress St.

I am enclosing a copy of the report we received
from F. W. Cunningham in reply to my letter of the
2nd.

We have ordered them to correct the condition.
I am pleased that I can advise you of our prompt
action in the matter.

Very truly yours,

W. T. Williams

W. T. Williams
Architect

WTW:AFK

RECEIVED

APR 7 1941

DEPT. OF PUBLIC WORKS,
CITY OF PORTLAND

C
O
P
Y

F. W. CUNNINGHAM & SONS

181 State St.

PORTLAND, MAINE

April 5rd, 1941

Re: #113 - Portland, Maine, 513 Congress Street

Liggett Drug Co., Inc.
Construction Dept.
71 West 23rd St.
New York City

Attention: W. T. Williams, Architect

Dear Sir:

In regard to your letter of April 2nd, in connection with the above matter, would advise that the face brick of the entire front of the building is layed in running bond without brick bonding courses. The face brick is tied to the backing by corrugated metal ties we believe. Occasionally these ties rust off and leave a large area that is actually free standing.

It appears that the wall along the jamb of the window in question has separated quite extensively from the backing. The arch has moved out with this. It would be impossible to say how far it would be necessary to take out and replace in order to make this solid, but it appears that there would be an area at either side and above the window.

This might be a matter of \$75. or it might be \$200. We would recommend having this done as soon as possible on a time basis since vibrations from passing trucks etc. are apt to cause trouble shortly.

Very truly yours,

F. W. CUNNINGHAM & SONS

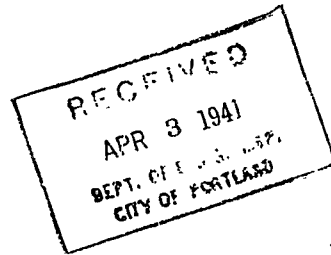
(s) Arthur J. Cullinan
Treasurer

LIGGETT DRUG COMPANY, INC.

TWO PARK AVENUE
NEW YORK, N.Y.

NEW ADDRESS
71 WEST 23RD STREET

CONSTRUCTION DEPARTMENT



April 2nd, 1941.

Mr. Warren McDonald,
Inspector of Buildings,
Portland, Me.

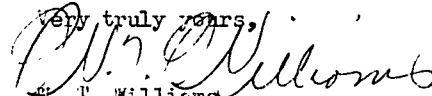
Dear Sir:

Re: #113 - Portland, Me., 515 Congress Street

Your letter of March 28th to Mabel S. Kennard, representing our Landlord at this property, has been referred to the writer.

I am writing Mr. Fallona of F. W. Cunningham & Sons to immediately look into the matter and advise me promptly.

Thank you for calling the matter to our attention. Will advise you as soon as we hear from them.

Very truly yours,

W. T. Williams,
Architect.

wtw:mh

C-40-87-1
R-4-3-11-1
Reg. Mail

March 28, 1961

Walter W. Bennett,
48 Washington Street,
Brunford, Maine

Dear Walter:

A certain section of brickwork in the front wall of the building at 511-515 Congress Street in this city, owned by John Russell Deane of whom you appear to be the principal agent, is in questionable condition as to its safety. As authorized and directed by Section 12 of the Building Code, copy attached hereto, it is necessary for me to require that you have a competent person make a thorough examination of the condition and then have steps taken to make the brickwork undoubtedly safe, all of this to be done as quickly as possible.

This particular section of brickwork is directly over the third story front window nearest Vasco Street.

It is hardly possible to tell just what has happened, but the condition requires immediate attention because failure of any part of the masonry may mean that a part of it could fall on the Congress Street sidewalk.

Will you be kind enough to have whoever examines this wall advise me the conditions that were found and what is done to remedy the situation?

Very truly yours,

WED/H

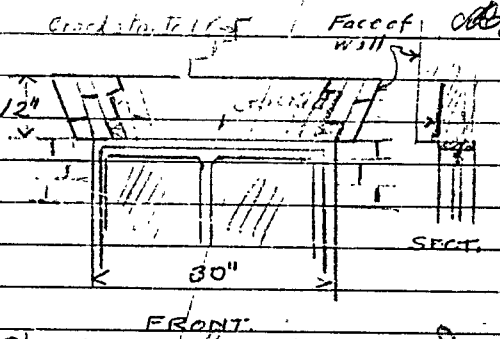
Inspector of Buildings

GENERAL BUSINESS ZONE
 Complaint No. C-40-67
 on 511 1/2 - 515 Congress St.
 received 5/22/40
 closed of 4/11/41

NOTES

As per the condition of the
 brick work of this third
 floor window is over-
 quiet malle, this is the
 one nearest Case's etc.
 there appears to be nothing
 about this floor
 The inner casing of the
 window in the window
 is broken the outer casing
 is cracked and is cracked
 in the place in front
 and broken away from
 the inner casing. It
 seems there must be
 some tie between the
 other than the window
 but none could be
 seen. It looks as
 though the brickwork
 between the top of this
 and the window
 has started to

crack. A section of
 brick 12x4x24 will
 fall to the sidewalk
 if this lets go. etc.
 should be carefully
 looked over immediately



3/28/41 - Gatta - work
 6/19/41 - Gatta - work
 Mod. S. Kemmer
 work



Original Permit No. 11/323
Amendment No. 1 **REISSUED**

AMENDMENT TO APPLICATION FOR PERMIT

Portland, Maine, May 21, 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 11/323 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, and specifications, if any, submitted herewith, and the following specifications:

Location 51 1/2 Bangs Street Within Fire Limits? Yes Dist. No. 11
 Owner's or Lessee's name and address John Russell Baird, Liggett Drug Co., Lezard
 Contractor's name and address Associated Engineers, 40 Cross Street, Tel. 2-2097
 Plans filed as part of this Amendment shown on blue plans No. of Sheets 1
 Is any plumbing work involved in this work? No Is any electrical work involved in this work? No
 Increased cost of work \$240. Additional fee \$2.75
 Framing Lumber: Kind? Dressed or Full Size?

Description of Proposed Work

To install an air conditioning system including refrigeration unit, to install mechanical ventilation for toilet rooms, and to install mechanical ventilation system for the soda fountain including ventilating overcooking appliances, exclusive of hoods over appliances.

Approved:

By John Russell Baird
By Liggett Drug Co.
By Associated Engineers
Signature of Owner

Chief of Fire Department

Restaurant Inspector

Approved: Inspector of Buildings

INSPECTION COPY



Original Permit No. 13057
Amendment No. 1

AMENDMENT TO APPLICATION FOR PERMIT

Portland, Maine, March 26, 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 13057 pertaining to the building or structure described in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 513 Congress Street Within Fire Limits yes Dist. No. 1

Owner's or Lessee's name and address John Russell Heirs, Lessee Liggett Drug Co., 181 State St. No. of Sheets 3-2216

Contractor's name and address F. F. Cunningham & Sons, 181 State St.

Plans filed as part of this Amendment yes Is any electrical work involved in this work? _____ Additional fee .25

Is any plumbing work involved in this work? _____

Increased cost of work _____ Dressed or Full Size? _____

Framing Lumber: Kind? _____ Description of Proposed Work _____

To make changes from original plans as shown on plans received in Department of Building Inspection March 24, 1941, including change in weller stairs to alternate winders, change in location of toilet rooms in cellar.

Approved: Wm. B. ...
Inspector

John Russell Heirs, Lessee
by F. F. Cunningham & Sons
Signature of Contractor
Approved: [Signature]
Inspector of Building

LIGGETT DRUG COMPANY, INC.

TWO PARK AVENUE

NEW YORK, N.Y.

CONSTRUCTION DEPARTMENT

NEW ADDRESS
71 WEST 23RD STREET

RECEIVED

March 25th, 1941

MAR 26 1941

CITY OF PORTLAND
CITY OF PORTLAND

Mr. Warren McDonald, Inspector of Buildings
Department of Building Inspection
City of Portland, Maine

Dear Sir:

Re: 2113 - Portland, Maine - 513 Congress St.

Thank you kindly for the copy of your letter of the 24th to F. W. Cunningham & Sons. I have already issued the revised drawings showing the new location of the toilet rooms and eliminating the windows in the stairs.

I have left the design of the first floor concrete reinforcing to F. W. Cunningham and they will file the details.

I am notifying the air conditioning, ventilating, plumbing, electric and sign contractors to obtain their permits.

We will see that the height of the awning, which will not have a scallop or fringe is not less than 7' clear of the surface of the sidewalk.

I will request F. W. Cunningham to consult with the Chief of the Fire Department as to the details of the removable grilles in the store front.

We will see that the bulkheads of the snow window framing are covered with metal lath and plaster on the outside to receive the glass, and if there are any openings from the cellar, the frame construction will have 4" of brick fill.

We have provided for metal furring, lathing and plastering enclosing the fountain ventilating ducts. The wood access doors in the hung partition at the front do not enclose any ducts. This hung partition is simply a curtain partition to conceal the back of the store front construction and I understand as long as this partition does not conceal ventilating ducts there would be no objection to wood access doors. If I am not correct in this understanding, I would appreciate it if you would so promptly advise me.

Kalamain self-closing doors are specified for the dumbwaiter stair enclosure and boiler room.

F. W. Cunningham will submit any structural details relating to the possible removal of a column in the cellar.

Toilet room floor louvres will be screened with fine wire mesh.

We appreciate the consideration you have extended in connection with the width of the stairs since it is a replacement. We have provided it shall be not less than 30" in any case.

LIGGETT DRUG COMPANY, INC.

720 PARK AVENUE

NEW YORK, N.Y.

NEW ADDRESS
71 WEST 23RD STREET

CONSTRUCTION DEPARTMENT

March 25th, 1941

Mr. Marion McDonald, Inspector of Buildings
Department of Building Inspection
City of Portland, Maine

MAR 26 1941
CITY OF PORTLAND

Dear Sir:

Re: #113 - Portland, Maine - 513 Congress St.

Thank you kindly for the copy of your letter of the 24th to F. P. Cunningham & Sons. I have already issued the revised drawings showing the new location of the toilet rooms and eliminating the windows in the stairs.

I have left the design of the first floor concrete reinforcing to F. P. Cunningham and they will file the details.

I am notifying the air conditioning, ventilating, plumbing, electric and sign contractors to obtain their permits.

We will see that the height of the awning, which will not have a scallop or fringe is not less than 7' clear of the surface of the sidewalk.

I will request F. P. Cunningham to consult with the Chief of the Fire Department as to the details of the removable grilles in the store front.

We will see that the bulkheads of the snow window framing are covered with metal lath and plaster on the outside to receive the glass, and if there are any openings from the cellar, the frame construction will have 4" of brick fill.

We have provided for metal furring, lathing and plastering enclosing the fountain ventilating ducts. The wood access doors in the hung partition at the front do not enclose any ducts. This hung partition is simply a curtain partition to conceal the back of the store front construction and I understand as long as this partition does not conceal ventilating ducts there would be no objection to wood access doors. If I am not correct in this understanding, I would appreciate it if you would so promptly advise me.

Kalamein self-closing doors are specified for the dumb-waiter stair enclosure and boiler room.

F. P. Cunningham will submit any structural details relating to the possible removal of a column in the cellar.

Toilet room door louvres will be screened with fine wire mesh.

We appreciate the consideration you have extended in connection with the width of the stairs since it is a replacement. We have provided it shall be not less than 30" in any case.

The door to the boiler or heater room will be a fire-proof self-closing one and

LIBBETT DRUG COMPANY, INC.

270 PARK AVENUE

NEW YORK, N.Y.

NEW ADDRESS
71 WEST 23RD STREET

CONSTRUCTION DEPARTMENT

Page - 2

We have arranged for sufficient air through a rear vault for combustion purposes.

We will discuss with the Health Department the question of the hood over the existing range in the cellar.

I am at loss to understand the possibility of the Health Department requiring a change in the toilet room vent terminal. If the toilet room were located directly at the rear on the first floor with one of the windows opening on it I am sure the Health Department would have no objection. The duct simply terminates at this window point and in view of the fact that we are so completely improving the toilet rooms not only as to fixtures, enclosures and ventilating I trust that they will see no objection to this arrangement. The present ventilating system consists of a horizontal duct terminating at the sidewalk chute doors. We are completely rebuilding them as outlined above and providing mechanical ventilation properly terminated at the rear.

I will discuss with the air conditioning and ventilating contractor the question of automatic fire dampers in those systems.

Very truly yours,

W. T. Williams

W. T. Williams
Architect

M:AFK

Cc: F. W. Cunningham & Sons

Sept. 22, 1941

March 4, 1941

P. H. Cunningham & Sons,
181 State Street,
Portland, Maine

Gentlemen:

Enclosed is the building permit covering certain alterations at Liggett's store at 521 Congress Street, this permit being issued to expedite the work although we understand that certain changes are to be made in the plans which have been filed here including a change in the location of the toilet rooms in the cellar, rearranging the proposed cellar stairs to eliminate stairs and the reinforcing or the replacement of certain parts of the first floor fronting and perhaps other changes. It is understood that upon the revised plans are received, bearing a signed statement of design by the engineer designing the steel work in the store front, you will file these together with an application for an amendment of this permit to cover the changes.

and
Apparently the air conditioning/ventilation systems, refrigeration in connection with the air conditioning, erection of projecting sign and installation of cooking and heating appliances are in other contracts, and these items must be covered by a proper type of permit. The air conditioning system including the cooling unit and the ventilation system may be covered by amendment to the general permit now issued. A separate permit is required for the projecting sign which may only be issued to a bonded sign hanger. Separate permits are also required for the fire-actuated appliances, (except electrical appliances which do not require a permit by this department but ought to be included in the application for electrical permit), as many separate permits as there are separate installers, and such permits may only be issued to the actual installers. All of these permits or amendments are required to be in the hands of the contractor before the work which they are intended to cover is commenced. Much of the information in this paragraph and in other parts of this letter is intended for the benefit of Mr. Williams, the Liggett Company architect, and a copy of the letter is being sent to him at his New York address; also a copy is being enclosed with this letter with the thought that he or his representative may be in town and you will be kind enough to send the copy to him.

Please note the following in direct connection with the work which is understood to be in your contract:

The height of the awning bar should be such that no part of the awning, even the fringe will be closer than seven feet to any part of the surface of the sidewalk below. This is important because I note that the Liggett awning as it is now arranged maintains a clearance much less than the required seven feet when it is lowered.

The Chief of the Fire Department may consider that breakable panels, removable grilles of suitable size are required in the store front through the show window bulkheads to give access to the cellar in case of fire, besides the access that is afforded through the freight chute bulkhead in the rear. He should be consulted about this detail and satisfied before work on the store front is commenced.

March 24, 1911

F. B. Cunningham & Sons

I would be particular about the framing of any kind to be used below the glass windows and on the sides of the glass windows. It is understood that it is to be covered with metal mesh and diaphragm on the outside to receive the glass. If there would otherwise be openings from the cellar to the voids in such frame construction, fire escape doors, at least four inches thick should be provided to close them.

I have to be very particular about exposure of combustible material to the hood or hoods over the fire-actuated appliances at the same fountain and to the ducts ventilating such hoods. No part of the frame of the hung partitions concealing this duct is permitted to be of wood or other combustible material. I note an alternate for wooden access doors, but these are not permitted. If any part of this duct or hood would be closer than nine inches to combustible material even though it be protected with stripping for such, the combustible material must be eliminated. No part of combustible material is permitted for hanging or framing the hood.

It is understood that the doors to curb water enclosures are to be automatic, and they are required to be either self-closing or automatic closing in case of fire.

There are notations as to removal of a column in the cellar "if possible" and also for new steel beams, etc., under the fountain "if necessary". I presume these structural matters will all be closed up in the revised plans and the final design should be included in the required statement of design.

I note that the doors to both toilet rooms and to both vestibules or locker rooms outside of the toilet rooms are required to have self-closers. This is a requirement of law as well. I also note that there are to be louvers in those doors, which, I presume, is for the purpose of supplying air to the ventilation system of the toilet rooms. All of these louvers, however, are to be screened with mesh at least as fine as the usual fly screen (finer would be better) so that at least a part of the reason for having these doors self-closing is not nullified.

The cellar stairs in their new location would ordinarily be required to be at least three feet six inches wide, but since they are a replacement, they need not be wider than the existing cellar stairs and should not be less than 30 inches in any case.

Presumably an effort is being made to provide a fire resistive heater room which is commendable. I presume the door to the heater room will be a fire door and made either self-closing or automatic closing in case of fire. In any case I presume care is being taken to make sure that there will be sufficient air reach the heater room for combustion purposes.

The following notations refer mainly to installation of fixtures:

A hood is required over all cooking appliances, regardless of the kind of fuel, if there is any possibility at all of any of the type of cooking taking place on the appliance which might under any circumstances cause a quick "flash" fire. This hood must be hung on incombustible material and entirely of incombustible material itself, including the frame, and it should be set at least nine inches below any combustible material above it. The existing range in the cellar, if it is to remain and is not so equipped ought to be so equipped now and probably the Health Department will require a hood over it to be vented in a suitable manner.

F. B. Cunningham & Sons-----3

March 24, 1941

Apparently the duct of the mechanical system ventilating the hood is intended to discharge directly into the rear alley at about the ceiling level of the store. We have waited to get the approval of the Health Department on all of these arrangements because of the proposed change in the location of the toilet rooms with which location they are vitally concerned. I doubt if they will be satisfied to have this duct terminate at this point. It is more likely that they will feel that the duct should be extended upwards to some point at least above the highest window level in this store building or any nearby building.

Automatic closing fire dampers ought to be provided in the air conditioning system as recommended by the National Fire Protection Association according to "Standards of the National Board of Fire Underwriters for the Installation of Air Conditioning, Warm Air Heating, Air Cooling and Ventilating Systems."

Very truly yours,

EMC/vj

Inspector of Buildings

CC: One copy with original
to go to architect

Mr. Walter Thomas Williams
71 West 25rd Street
New York, N. Y.

Mrs. E. F. Kennard,
Rumford, Maine

Dr. Tetreau



APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

Permit No. 117
24 1941

Portland, Maine, March 21, 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~through~~ the following building structure-equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 513 Congress Street Within Fire Limits? yes Dist. No. 1
 Owner's or Lessee's name and address Mrs. F. S. Kennard, 121 West 231 St., New York, N.Y. Tel. phone _____
 Contractor's name and address F. W. Cunningham & Sons, 121 State St. Telephone 3-0246
 Architect Ralter Thomas Williams, 71 West 231 St., New York, N.Y. Plans filed yes and spec. No. of sheets 4
 Proposed use of building Stores No. families _____
 Other buildings on same lot _____
 Estimated cost \$ 8,000. Fee \$ 7.50

Description of Present Building to be Altered

Material brick No. stories 4 Heat _____ Style of roof _____ Roofing _____
 Last use Stores No. families _____

General Description of New Work

To make alterations to store front and store as per plans and specifications

INSPECTION NOT COMPLETED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? _____
 Is any electrical work involved in this work? _____ Height average grade to top of plate _____
 Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and la. roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner By Liggett Drug Co. Kennard
F. W. Cunningham & Sons

By A. J. Sullivan, Secy.

43121

Permit No. 41/323 PS ✓

Location 513 Congress St.

Owner John Russell Neiss

Date of permit 3/24/41

Notif. closing-in 4/7/41

inspn. closing-in

Final NBHIS (EL) 3/29/41

Final Inspn. 3/29/41

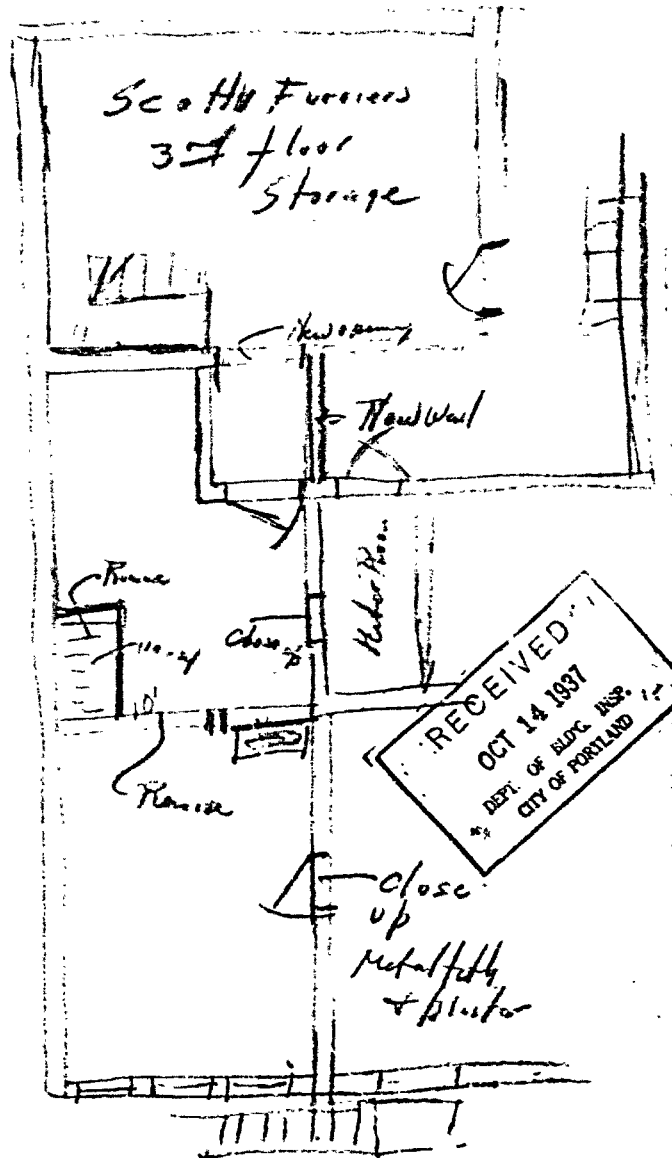
Cert. of Occupancy issued None

NOTES

3/24/41
 Abandonment in progress
 3/24/41
 4/1/41 - Work
 4/7/41 - Work
 4/11/41 - Work
 4/15/41 - Work
 4/19/41 - Work
 4/23/41 - Work
 4/27/41 - Work
 5/1/41 - same - ag

RECEIVED

515-H



RECEIVED
OCT 14 1937
DEPT. OF SUPPLY
CITY OF PORTLAND

113



GENERAL BUSINESS ZONE PERMIT ISSUED
APPLICATION FOR PERMIT 1926

Class of Building or Type of Structure Second Class

Portland, Maine, October 14, 1937 OCT 14 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure-equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 515 A Congress St. Ward 4 Within Fire Limits? yes Dist. No. 1
Owner or Lessee's name and address Scott Furriers' Inc. 515 Congress St. Telephone
Contractor's name and address F. S. Cunningham & Sons, 181 State St. Telephone 7-0246
Architect Plans filed yes No. of sheets 1
Proposed use of building Mercantile No. families
Other buildings on same lot
Estimated cost \$ 150. Fee \$.75

Description of Present Building to be Altered

Material brick No. stories 4 Heat Style of roof Roofing
Last use Mercantile No. families

General Description of New Work

Third floor

To put in new 6' partition (2x4 studs 16" OC, metal lath and plaster) to cut off and of public hall to provide new passage way between two existing rooms - cutting in new door from this new hall into one of the rooms
To remove former private stairway third to fourth floor, and remove 10' non-bearing partition to provide one large storage room, closing up two existing doors leading from this room to adjoining rooms
After these alterations are done there will be two separate means of egress from the third floor

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

Height average grade to top of plate
Size, front depth No. stories Height average grade to highest point of roof
To be erected on solid or filled land? earth or rock?
Material of foundation Thickness, top bottom
Material of underpinning Height Thickness
Kind of Roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Kind of heat Type of fuel Is gas fitting involved?
Corner posts Sills Girt or ledger board? Size
Material columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated
Total number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? NO
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Scott Furriers, Inc. By F. S. Cunningham & Sons

By Philip M. Beaulieu

INSPECTION COPY

Ward 4 Permit No. 37/1726
Loc 515A Congress St.
Owner Scott F. Higgins, Inc.
Date of permit 10/14/37
Inspn. closing-in
Final Notif.
Final Inspn. 1/28/38
Cert. of Occupancy issued None

NOTES
1/22/38 Work done on fire
exit condition as regards
exit from the third
floor that has existed
for some time, but is
not good. In order to
get to the escape
from 3rd floor hall it
is necessary to go thru
a room used by Crosby
& Allen for suborgans
studio, which is kept
locked except where in
use, which evidently
is not very often. On
the other hand it is
necessary to go thru
offices to get to fire
66

escape in this condition
evidently was not
for a long time perhaps
always OK
1/28/38 - Fire alone
See complaint
at 515A Congress
ward

Rept 64C-1

August 23, 1937

William Cross, Inc.,
515A Congress Street,
Portland, Maine

Gentlemen:

Enclosed is the building permit covering alterations to your place of business at 515A Congress Street.

Please note that the information that you have furnished is not sufficiently complete for us to check the adequacy of the 4"x 8" dressed fir header which you plan to use over the opening to be cut in a bearing partition on a nine foot span. This timber on the nine foot span, if of genuine Douglas Fir figures good for about 3800 pounds total load, while if of western Hemlock its strength would be still less. You indicate that there are two floors overhead, and I doubt if the timber is strong enough unless it is substantially trussed.

Before the work progresses far enough to insert the header, I suggest that you get some competent person to figure the load that may be expected to come upon the new header, or furnish sufficient data as to areas of floors above, the use to which the floors are put, and the area of partition which will be supported on the new header, so that we may check the strength of the proposed header.

Notification of readiness for inspection and actual inspection of this new header before it is covered, is required, and we hope to avoid the possibility of finding that the header is insufficient after it has been put in.

Very truly yours,

(Signed) WARREN McDONALD
Inspector of Buildings

CCBrown Construction Co.,
562 Congress St.

 **William M. Cross, Inc.**
MANUFACTURING JEWELERS

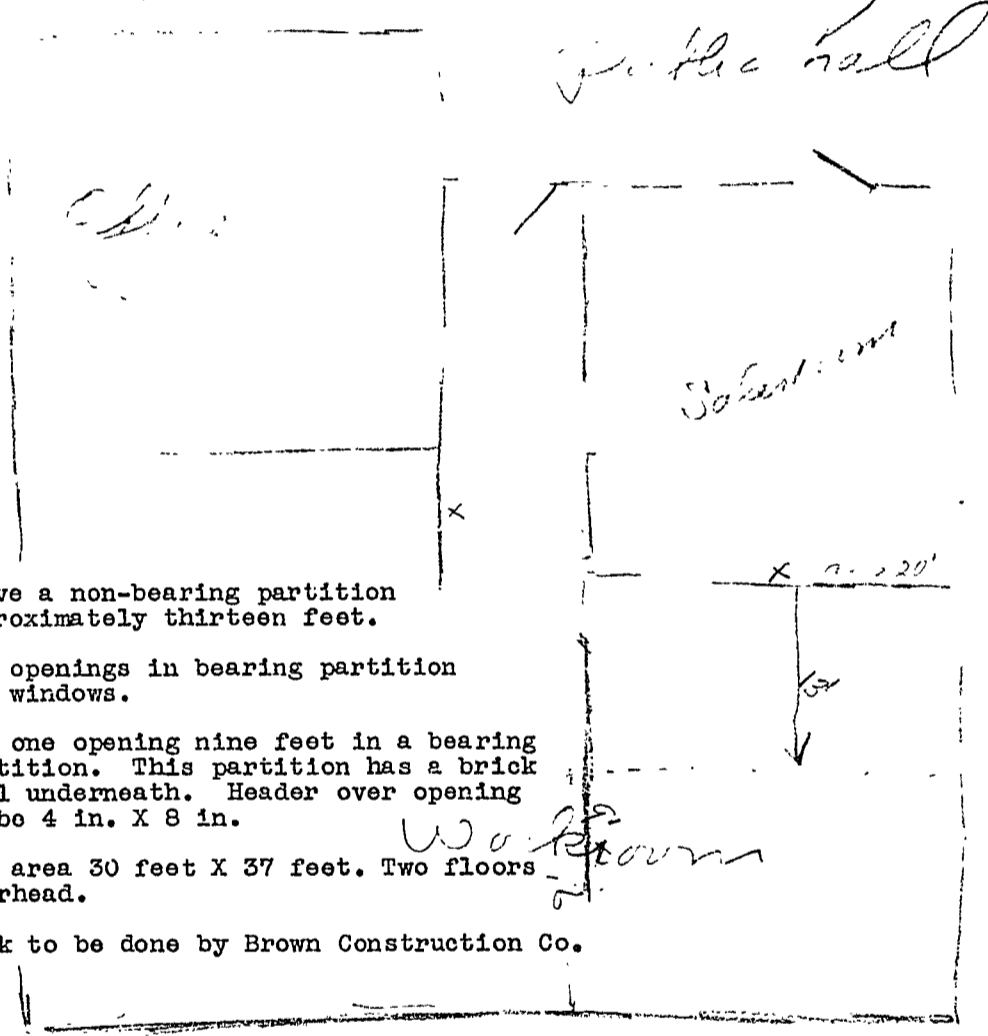
LINWOOD S. CROSS
MANAGER



ESTABLISHED 1908

Diamonds and Gemstones
MANUFACTURERS OF FINE RING MOUNTINGS
OUR SERVICE DEPARTMENT SPECIALIZES IN REMODELING
AND REPAIRING JEWELRY, - ALL DONE WITHIN OUR OWN PLANT

515A CONGRESS STREET
SCOTT FURRIER BUILDING
PORTLAND, MAINE



Move a non-bearing partition approximately thirteen feet.

Cut openings in bearing partition for windows.

Cut one opening nine feet in a bearing partition. This partition has a brick wall underneath. Header over opening to be 4 in. X 8 in.

Our area 30 feet X 37 feet. Two floors overhead.

Work to be done by Brown Construction Co.

2nd floor



APPLICATION FOR PERMIT

Permit No. 1237

Class of Building or Type of Structure Second Class

Portland, Maine. August 27, 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter ~~install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 515A Congress Street Ward 4 Within Fire Limits? yes Dist. No. 1
 Owner's ~~name~~'s name and address William M. Cross, Inc. 616A Congress St. Telephone 2-3107
 Contractor's name and address Brown Const. Co., 552 Congress St. Telephone 2-7895
 Architect _____ Plans filed yes No. of sheets 1
 Proposed use of building Stores and Offices No. families _____
 Other buildings on same lot _____
 Estimated cost \$ 200. Fee \$.75

Description of Present Building to be Altered

Material brick No. stories 2 Heat _____ Style of roof flat Roofing _____
 Last use Stores and Offices No. families _____

2d floor of bldg.

General Description of New Work

To set 20' non-bearing partition over app. 12' to enlarge salesroom
 To cut in 9' opening in bearing partition providing 4x8 header (fir, dressed)

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
 Height average grade to highest point of roof _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

William M. Cross, Inc.

Signature of owner By Howard L. Cross

INSPECTION COPY

640

Ward 4 Permit No. 7/1287
 Location 515A Congress St.
 Owner W.M. Cross, Inc.
 Date of permit 8/23/37
 Ins. closing-in 9/1/37 9/24
 Ins. closing-in
 Final Notif.
 Final Insp. 1/14/38
 Cert. of Occupancy issued None

NOTES

9/1/37 gave permission to
 close in except header. Called
 Brown Const. Co. and left word
 for Ben Barrow to call header
 about 10:30 am and if possible
 to check in with me. 14:00
 to close in with except for header.
 9/3/37. I went over this
 on the job with Mr. Ed.
 Brown. This header is
 4x10 Fir on 10" o.s.p. and Mr.
 Barrow said the old
 opening was 6' on it only
 had a 2x4. c.b.l.
 9/7/37. Mr. Hayden not working
 Sat. told him not to close in
 header. c.b.l.
 9/8/37 - This beam
 carries an area of 140

2-10x14x65 = 12,200
 9x10x20 = 1,800
 20,000

4x10 D.T. on 10" o.s.p.
 D. 2' 6" on 6668"
 Mr. Cross suggested
 a 4x4 post with
 2x4 brace, which
 will cut space down
 to 16" 1/2"
 to 16" 1/2" over with
 Mr. Barrow - A.D.
 1/14/38 - A 4x4 brace
 has been built in to
 take care of this condi-
 tion - A.D.

SPECIFICATIONS ACCOMPANYING APPLICATION FOR BUILDING PERMIT TO COVER
ALTERATIONS IN THE BUILDING AT 513 CONGRESS ST.

October 29, 1936

1. These specifications are to be considered as much a part of the application for the permit as though written on the application form. Failure to mention any requirement of the Building Code herein, however, shall not relieve the owner, lessee or contractor from compliance therewith.

2. It is understood that the frame parapet wall is permissible under the Building Code, only because the present frame cornice is to be removed, the proposed wall being approximately equivalent in amount of woodwork and exposure to the cornice to be removed.

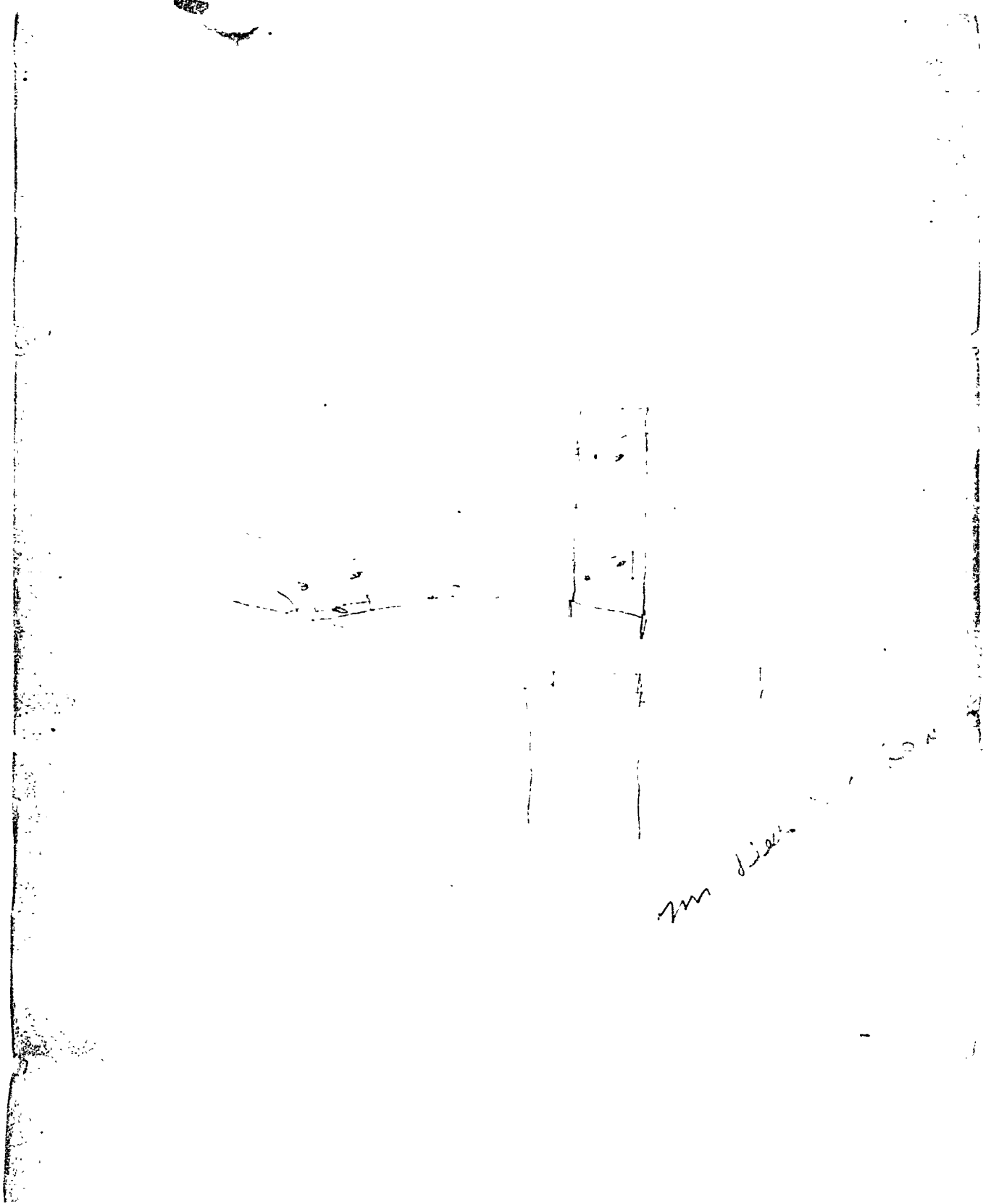
3. Woodwork of the proposed wall, otherwise exposed to the outside air will be covered with galvanized metal or equal, and this metal covering will be fastened to the masonry of the front wall of the building by means of metal bars at least 1/8 inch thick and 1 1/2 inches wide without the use of any wood or other burnable material in such fastenings, in such a manner that burning out or deterioration of any part of the woodwork of roof or proposed wall would not allow the metal covering to fall unless the masonry wall should fall. These bars will be provided, and securely fastened to both sheet metal and the masonry wall not more than four feet from center to center and in such locations that every separate sheet of which the metal covering is made up will have at least one such fastening.

4. The proposed parapet wall will consist of the following construction and fastenings, or equivalent in the opinion of the Inspector of Buildings:- the proposed wall shall not exceed three feet in height above the present roof sheathing at any point; a wooden shoe laid approximately flat on the present roof sheathing and spiked or bolted through into roof construction so as to penetrate the roof joists or wall plate reasonably; on this shoe 2" x 4" studs, 16" from center to center with a suitable plate along the top; on both sides of wall, all over on front and above new roof in back, will be tongued and grooved sheathing, and on this the sheet metal; iron braces of same thickness and width as specified above for sheet metal anchors, will be provided as near the two ends of the wall as practicable and not more than four feet centers in between, these bars to be at an angle of about 45 degrees with the vertical, each bar to be fastened to a stud by bolting through bar and stud as high as possible and still keep the bar below the new false roof, and the other end to be bolted through bar and roof joists, the bar being carried through the present roof for that purpose.

5. After anchors and braces are in place the Inspector of Buildings will be notified and inspection secured before the work is closed in.

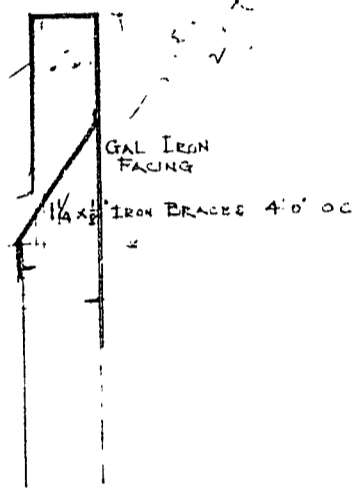
Porter-Burnham Co.,

By Vernon Z. Carter



7m dia 1.5 m

DETAIL FOR ANCHORING
IRON FACING ON
PARAPET LIGGETT BLDG
PORTLAND ME.



File: Rec. 7944B-I

October 29, 1936

Porter-Burnham Co.
131 Preble Street,
Portland, Maine

Gentlemen:

With relation to your application for a building permit to cover construction of a frame parapet wall upon the building at 512 Congress Street leased by Siggett's Drug Stores, after one or more conversations with Mr. Rhodes I feel that it is reasonable and fair to reconsider the decision contained in my letter to you of October 9, 1936, on the basis that the proposed frame parapet will not substantially exceed the amount of woodwork in the existing cornice which is to be removed.

After consultation with the Chief of the Fire Department, I have prepared a specification concerning the details of construction and fastenings of this proposed parapet wall, copy attached hereto, and if you care to sign this specification and return it to the office as being a part of the application for the permit, I shall be able to issue the building permit covering the proposed work.

It will also be necessary for you to give your consent to removing the dimension of four feet in height of the proposed wall upon the original application as the specification limits this height to three feet. Apparently this works no hardships as Mr. Rhodes states that the application is in error and that the parapet wall would be hardly more than two feet above the surface of the present roof anyway.

Very truly yours,

McD/H
CC: H. W. Rhodes

Inspector of Buildings

SPECIAL CONDITIONS ACCOMPANYING SPECIAL PERMIT OR BUILDING PERMIT TO COVER
ALTERATIONS IN THE BUILDING AT 215 WASHINGTON ST.

October 29, 1936

1. These specifications are to be considered as much a part of the application for the permit as though written on the application form. Failure to mention any requirement of the Building Code herein, however, shall not relieve the owner, lessee or contractor from compliance therewith.

2. It is understood that the frame parapet wall is permissible under the Building Code, only because the present frame cornice is to be removed, the proposed wall being approximately equivalent in amount of woodwork and exposure to the cornice to be removed.

3. Woodwork of the proposed wall, otherwise exposed to the outside air will be covered with galvanized metal or equal, and this metal covering will be fastened to the masonry of the front wall of the building by means of metal bars at least 1/8 inch thick and 1 1/2 inches wide without the use of any wood or other burnable material in such fastenings, in such a manner that burning out or deterioration of any part of the woodwork of roof or proposed wall would not allow the metal covering to fall unless the masonry wall should fall. These bars will be provided, and securely fastened to both sheet metal and the masonry wall not more than four feet from center to center and in such locations that every separate sheet of which the metal covering is made up will have at least one such fastening.

4. The proposed parapet wall will consist of the following construction and fastenings, or equivalent in the opinion of the Inspector of Buildings:- the proposed wall shall not exceed three feet in height above the present roof sheathing at any point; a wooden shoe laid approximately flat on the present roof sheathing and spiked or bolted through into roof construction so as to penetrate the roof joists or wall plate reasonably; on this shoe 2" x 4" studs, 16" from center to center with a suitable plate along the top; on both sides of wall, all over on front and above new roof in back, will be tongued and grooved sheathing, and on this the sheet metal; iron braces of same thickness and width as specified above for sheet metal anchors, will be provided as near the two ends of the wall as practicable and not more than four feet centers in between, these bars to be at an angle of about 45 degrees with the vertical, each bar to be fastened to a stud by bolting through bar and stud as high as possible and still keep the bar below the new false roof, and the other end to be bolted through bar and roof joists, the bar being carried through the present roof for that purpose.

5. After anchors and braces are in place the Inspector of Buildings will be notified and inspection secured before the work is closed in.

Porter-Burrham Co.,

By Walter Z. Pater

File: Rec.7344B-1

October 9, 1938

Porter-Burnham Co.,
131 Probie Street,
Portland, Maine

Gentlemen:

I am unable to issue the building permit covering construction of a wooden, metal covered parapet wall on the front wall of the building at 513 Congress Street occupied by Liggett's Drug Stores, because this location is within the limits of Fire District No. 1 where such metal clad construction work is not permissible.

Even if this building were outside of Fire District No. 1, masonry walls are required on buildings as high as four stories and this parapet wall must be considered as a continuation of the front wall of the building.

This parapet wall may be built of brick but, if more than 32 inches of unsupported height above the top of the present wall, it would be required to be more than eight inches in thickness.

We shall be glad to revise the application for the permit calling for a masonry parapet wall of the required thickness, if you will so indicate and give us the correct unsupported height of the proposed parapet wall. If it is decided not to go ahead with the work, the fee of 75 cents will be refunded by voucher if you will return the receipt for the same to this office.

Very truly yours,

Inspector of Buildings

McE/R
CC: H. W. Rhodes



GENERAL BUSINESS ZONE
APPLICATION FOR PERMIT

Permit No. 1877

Class of Building or Type of Structure Second Class

Portland, Maine, October 7, 1936

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 512 Congress Street Ward 4 Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address Liggett's Drug Stores, 512 Congress St. Telephone _____
Contractor's name and address Porter-Burnham Co., 121 Preble St. Telephone 4-5208
Architect's name and address _____
Proposed use of building Merchandise families _____
Other buildings on same lot _____
Plans filed as part of this application? _____ No. of sheets _____
Estimated cost \$ 500. Fee \$.75

Description of Present Building to be Altered

Material brick No. stories 4 Heat _____ Style of roof _____ Roofing _____
Last use Merchandise No. families _____

General Description of New Work

To remove present overhang on front of building and provide parapet wall 3' high, 40' long of 2x4 studs 16" on center and covered all over with galvanized iron No. 24 or No. 26 gauge

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner Liggett's Drug Stores
By Porter-Burnham Co.
By Paul J. G.

294

Ward 4 Permit No. 36/1877

Location 513 Cuyler St.

Owner J. J. G. Duggins

Date of permit 10/30/36

Notif. closing-in

In. on. closing-in

Final Notif.

Final Inspn. 11/24/36

Cert. of Occupancy issued None

NOTES

11/13/36 - Erecting
Roofing - A.G.S.

11/16/36 - Roofing at
work. Metal
anchors in wooden
wall about 4" from
bottom of plate on
brick in top of
plate at top wall.
2x6 rafters about 20
o.c. - A.G.S.

11/17/36 - Metal anchors
at about 45° angle
are bolted to rafters
and upright 2x4 studs
at intervals of about
4' - A.G.S.



GENERAL BUSINESS 201

Permit No. 6928

APPLICATION FOR PERMIT PERMIT ISSUED

Class of Building or Type of Structure Second Class

Portland, Maine, 26 June 25, 1918.

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter install the following building ~~structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 545 Congress St. Ward 4 Within Fire Limits? yes Dist. No. 1
 Owner's or Lessee's name and address Scott Furniers Inc. 595 Congress St. Telephone 2-7828
Boston, Mass.
 Contractor's name and address York Ice Machinery Co. 200 Causeway St. Telephone _____
 Architect's name and address _____
 Proposed use of building mercantile No. families _____
 Other buildings on same lot _____
 Plans filed as part of this application? yes with fire dept. No. of sheets _____
 Estimated cost \$ 1500. Fee \$ 3.75

Description of Present Building to be Altered

Material brick No. stories 4 Heat _____ Style of roof _____ Roofing _____
 Last use mercantile No. families _____

General Description of New Work

To install refrigeration on third floor

CERTIFICATE OF INTEREST
 LAWRENCE H. WARD
 REGISTERED SURVEYOR
 53 STATE ST. PORTLAND, ME.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
 Height average grade to highest point of roof _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum height: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner _____
Scott Furniers Inc.
by York Ice Machinery Co.
 Signature of owner by J. H. MacKenzie

INSPECTION COPY J. J. J. J.

71033

Wa. a 4 permit No 36/928

Location 515 Congress St.

Owner Scott Business, Inc

Date of permit 6/26/36

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES

[Large section of the form is crossed out with a large 'X' drawn across it.]



APPLICATION FOR PERMIT

PERMIT ISSUED

Class of Building or Type of Structure second

Portland, Maine, June 12, 1928

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 518 Congress St. Ward 4 Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address Liggett Co. 615 Congress St. Telephone
Contractor's name and address F.H. Cunningham & Sons 181 State St. Telephone 8-0248
Architect's name and address
Proposed use of building Stores No. families
Other buildings on same lot no
Plans filed as part of this application? yes No. of sheets 1
Estimated cost \$ 350 Fee \$.75

Description of Present Building to be Altered

Material brick No. stories 4 Heat steam Style of roof Flat Roofing
Last use Stores No. families

General Description of New Work

To remove two partitions each 15'-3" long. These partitions now form an air shaft. This air shaft opening is to be floored over at the 4th floor level with 2x8-16" O.C. 6'-2" span. The detail of construction at this level is not known and can not be determined until partitions are removed. If additional supports are needed an amendment will be made. To be cut in new stairway from second to third floor with self-closing Kalamen door and frame at the second floor level. To close up three doors and three windows as per plan. This additional room is to be used by Scott Furriers for storage and new stairway is not for public use.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Chief Sanborn paid extra OK. Details of New Work enclosure Height average grade to top of plate 11' 6"

Size, front 11' 6" depth 6' 6" No. stories 6 1/2 Height average grade to highest point of roof 11' 6"

To be erected on solid or filled land? 11' 6" earth or rock?

Material of foundation Thickness, top bottom

Material of underpinning Height Thickness

Kind of Roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Is gas fitting involved?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner by F.H. Cunningham & Sons

Signature of owner [Handwritten Signature]

INSPECTION COPY

Ward 4 Permit No. 36/834

Location 513 Congress St.

Owner Scott Fumius

Date of permit 6/15/36.

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn: 11/22/36

Cert. of Occupancy issued None

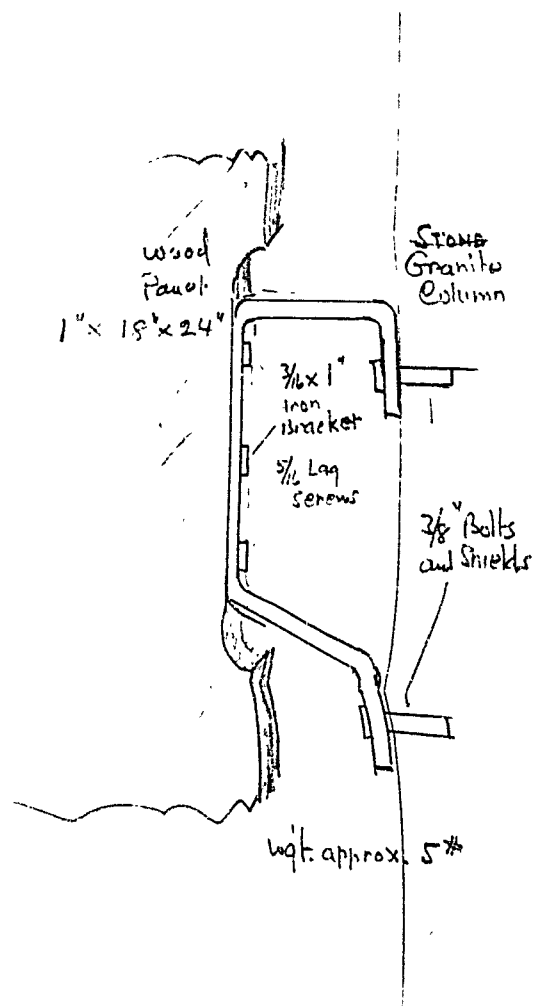
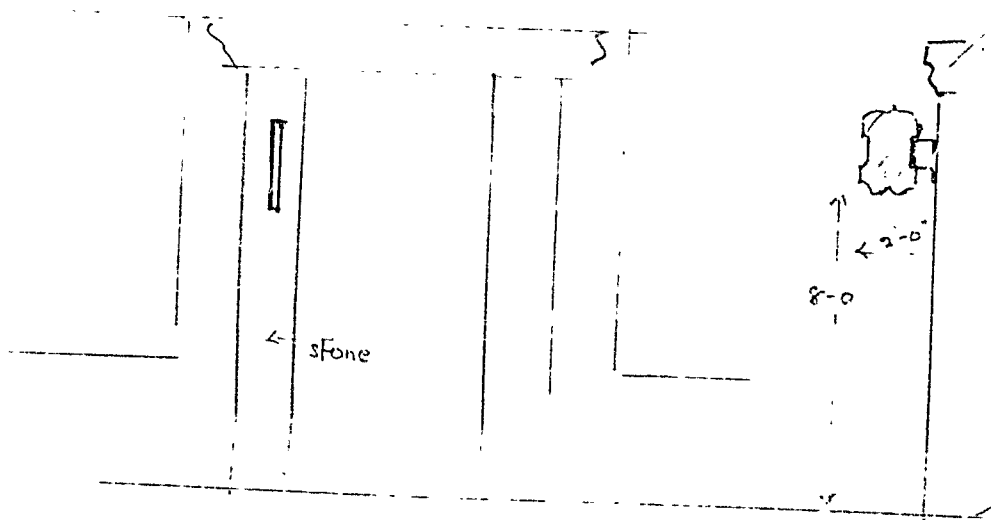
NOTES

~~6/22/36 - 2nd carpenter
work in room
which was
removed without
measurably altering
the structure of the
building. 7/1/36 -
door removed on 2nd
floor.~~

- Projecting Sign - Atlantic Studio
518A Congress St.

10/1/35

J. H. Middlebrook, Sign. Designer.





PERMIT ISSUED
1645

GENERAL BUSINESS ZONE

Permit No. 1935

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

Portland, Maine, Oct. 1, 1935

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.
The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 515A Congress St. Ward 4 Within Fire Limits? Yes Dist. No. _____
Owner of building to which sign is to be attached Fenny Rubinoff
Name and address of owner of sign Adams Studio, 515A Congress St
Contractor's name and address J. H. Middlebrook, 12 Elm St. Telephone 3-2312
When does contractor's bond expire? Jan. 18, 1936

Information Concerning Building

No. stories Four Material of wall to which sign is to be attached Granite

Details of Sign and Connections

Electric? No Vertical dimension after erection 24" Horizontal _____
Weight approx. 5 lbs., Will there be any hollow spaces? No Any rigid frame? No
Material of frame Wood No. advertising faces Two, material Wood
No. rigid connections Two Are they fastened directly to frame of sign? Yes
No. through bolts _____, Size _____, Location, top or bottom _____
No. guys _____, material _____, Size _____
Minimum clear height above sidewalk or street 8-0
Maximum projection into street 2-0

Signature of contractor J. H. Middlebrook Fee \$ _____
Chas. D. Johnson Rev. L. M. M.

CHIEF OF FIRE DEPT.
INSPECTION COPY

NOTIFICATION BEFORE LATHING
OR CLOSING-IN IS WAIVED.
CERTIFICATE OF OCCUPANCY
DEPENDENT IS WAIVED.

5443B

✓
4 Permit No. 85/1645

Location SISA Congress Bldg

Owner Adams Studios

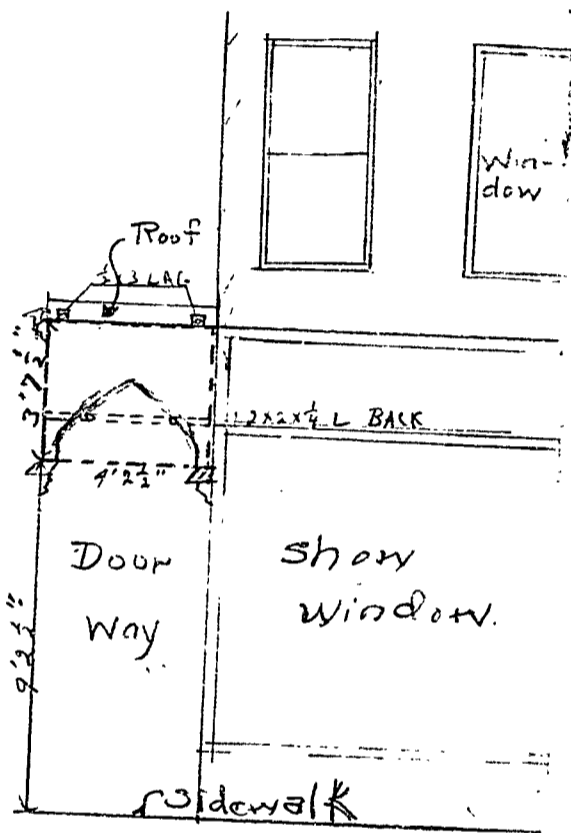
Date of permit 10/2/35

Sign Contractor _____

Final Inspn. 10/20/35, O.B.

NOTES

Elec. Insp.	Not Required
Shop Insp.	"
Spotted on sign map	10/30/35
File plan made	10/30/35





(G) GENERAL BUSINESS ZONE

199

PERMIT ISSUED

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

SEP 18

Portland, Maine, Sept. 18, 1935, 19

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 513 Congress Street Ward 4 Within Fire-Limits? Yes Dist. No. 1
 Owner of building to which sign is to be attached John Russell Heirs
 Name and address of owner of sign Scott Furriers Inc., 513 Congress Street
142 High Street
 Contractor's name and address Puritan Advertising Company, 415 Congress Telephone 2-0557
 When does contractor's bond expire? _____

Information Concerning Building

No. stories 4 Material of wall to which sign is to be attached Brick wall

Details of Sign and Connections

Electric? None Vertical dimension after erection 31' 7 1/2" Horizontal 4' 2 1/2"
 Weight 200 lbs., Will there be any hollow spaces? Yes Any rigid frame? Yes
 Material of frame 2x2 angle iron No. advertising faces One, material 24 gauge sheet metal
 No. rigid connections 4 Are they fastened directly to frame of sign? Yes
 No. through bolts None, Size _____, Location, top or bottom _____
 No. guys None, material _____, Size _____
 Minimum clear height above sidewalk or street 9' 2 1/2"
 Maximum projection into street 12"

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

Oliver S. Johnson

Puritan Advertising Company

Fee \$ 1.00

Signature of contractor By *D. M. Munn*

INSPECTION COPY

531 B

Ward 4 Permit No. 35/1499

Location 573 Congress St

Scott Furniers Inc

Date of permit 9/18/35

Sign Contractor _____

Final Inspn. 10/30/36. Add.

NOTES

Elect. Insp. _____
Shop. Insp. _____
Spotted on map _____ 10/7/35
Site plan made _____ 11/4/35

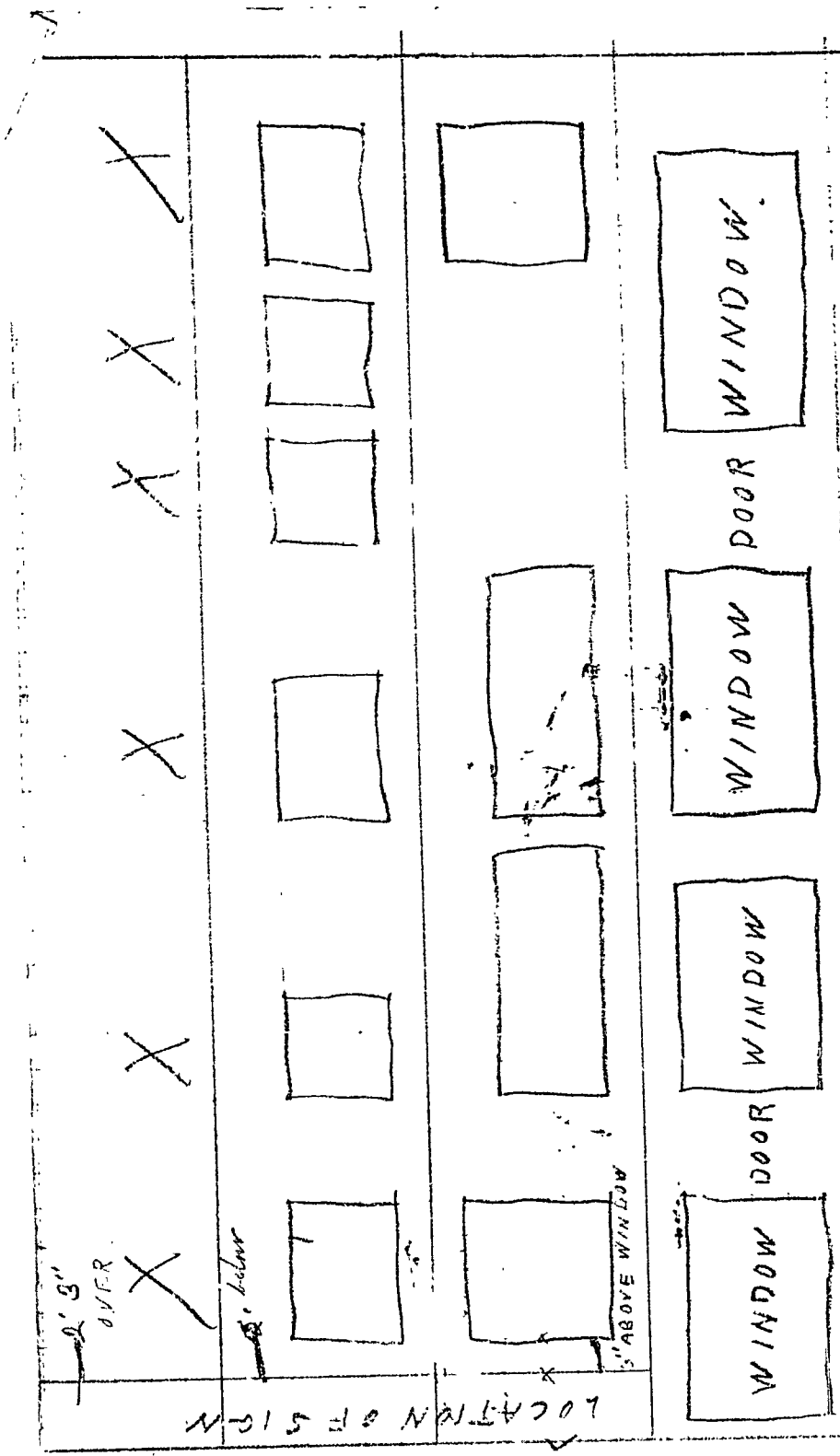
THIS PERMIT IS VALID FOR THE
TERMS AND CONDITIONS OF THE
PERMIT TO EXERCISE

133

PERMIT NO. 35/1499

DATE

GROUP



See 9/16/65

513 CONGRESS STREET

2' 3" OVER

below

3" ABOVE WINDOW

LOCATION OF SIGN

WINDOW DOOR WINDOW WINDOW DOOR WINDOW WINDOW

September 25, 1935

File P.35/1480B-I

The Puritan Advertising Co.
142 High Street,
Portland, Maine

Gentlemen:

Again with relation to the sign projecting from which you have erected for Scott Barriers at 511-515 Congress Street.

On the evening when, as you actually erected the sign, I was agreed that the matter of the angle of the sign guys with relation to the face of the sign could be fixed up later after the opening of the new store was over.

Upon examination of the sign since, I find that the angle of these guys, three of them, with the face of the sign is too acute to offer much support to the sign against wind. I am still expecting you to correct this detail at the earliest possible date, and I believe it may be done without taking the sign down and without any great amount of work.

I also noted that apparently a tin can had been inverted over one of the conduit fittings near the wall of the building. It occurred to me that this can might fall and strike some pedestrian on the public sidewalk below.

Please have these matters taken care of without delay.

Very truly yours,

McD/H

Inspector of Buildings.