

511¹/₂-515 CONGRESS STREET

512

CITY OF PORTLAND
DEPARTMENT OF PUBLIC WORKS
DEMOLITION OF BUILDINGS

A building will be demolished at # 513-515 Congress St.
Street on _____.

The Contractor is C. Dalfonso & Sons
372 Presumpscot St.

JOHN RUSSELL HEIRS

The contractor and the sewer division have been notified of sealing
the house drain before the building can be demolished.

DEPARTMENT OF PUBLIC WORKS
MARK R. PARENT

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Faine Savings Bank
15 Corso St.

December 2, 1971

With relation to permit applied for to demolish a building or portion of building at 513-515 Congress St. it is unlawful to commence demolition work until a permit has been issued from this department.

Section 6 of the Ordinance for rodent and vermin control provides: "It shall be unlawful to demolish any building or structure unless provision is made for rodent and vermin eradication. No permit for the demolition of a building or structure shall be issued by the Building Inspection Department until and unless provisions for rodent and vermin eradication have been carried out under supervision of a pest control operator registered with the Health Department.

The building permit for demolition cannot be issued until the provisions of this section have been satisfied. It is the obligation of owner or demolition contractor or both to take up with the Health Department the matter of complying with this section, being prepared to inform that department what registered pest control operator is to be employed.

Very truly yours,

R. Lovell Brown
Director

1.

Eradication of this building has been completed.

R. Lovell Brown

Contractor:

C. Dalfonso & Sons

372 Presumpscot St.

12-6-71

No evidence of rodent activity

Unsub. Comm

F.J. Sugg

Sent to Health Dept. 12/2/71

Rec'd from Health Dept. 12/7/71



APPLICATION FOR PERMIT

Class of Building or Type of Structure: masonry

Portland, Maine, Dec. 2, 1971

1528
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish or install the following building structure equipment in accordance with the Laws of the State of Maine, the building code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 513-515 Congress Street Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Maine Savings Bank, 15 Casco St. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address C. Dalfonso & Sons, 372 Presumpscot St. Telephone _____
 Architect _____ Specifications _____ Plans _____ No. of sheets _____
 Proposed use of building _____ No. families _____
 Last use _____ Stores _____ No. families _____
 Material masonry No. stories 3 Height _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ _____ Fee \$ 10.00

General Description of New Work

To demolish existing 3-story masonry building
 Land to be used for future building
 Sewer to be closed under supervision of Public Works Dept.

Sent to Health Dept. 12/2/71
 Sent to Public Works Dept. 12/7/71

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Dalfonso

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent: _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ Soil or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimney _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girders _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED

Miscellaneous

Will work require disturbing of any tree on a public street? _____
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Maine Savings Bank
 C. Dalfonso & Sons

CS 301

INSPECTION COPY

Signature of owner By: _____

Joseph A. Dalfonso
President

Permit No. 71 / 1528

Location 113 - 515 Perryman St

Owner M. J. Perryman, Bank

Date of permit 12/7/71

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

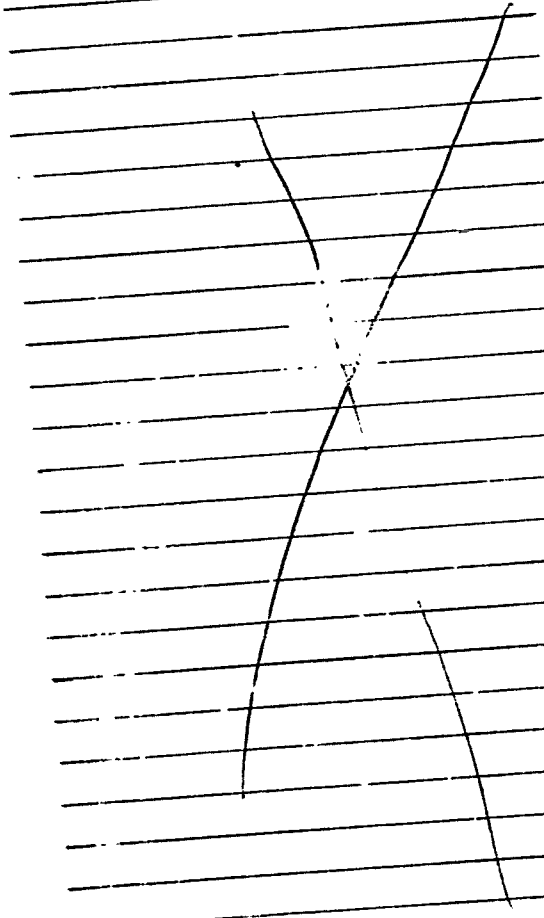
Cert. of Occupancy issued

Sinking Out Notice

Form Check Notice

NOTES

12/22/71
1-11-72
of functioned
front side
side gully, but
caution was taken
by contractor
to stop pipe drainage
to side etc etc
Mr Brown
checked it out
E.H.



517 Congress Street

Sept. 18, 1969

Stanley Codes
103 Brockside Road

cc to: Gerani Construction Company
15 Bradley Street

Dear Mr. Codes:

Building permit to change store front as per plan filed with the application at the above location is being issued subject to the following:

1. No combustible material is allowed on the front of this building unless approval is received from the Building Inspector and the Fire Department.
2. The doors shown on the plan shall be equipped with fastenings which will keep the door from opening will be of the type that will be released instantly, without special knowledge or ability, merely by turning the customary knob or by pressure on the plate or lever. If there is any question on the type of hardware to be used be sure to check with this department.

Very truly yours,

A. Allan Soule
Assistant Director Building Inspection Department

AA5:m



APPLICATION FOR PERMIT

Class of Building or Type of Structure SS Bond Glass

Portland, Maine, Sept. 18, 1969

PERMIT ISSUED
906
SEP 18 1969
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 513 Congress Street Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Stanley Godes, 103 Brookside Road Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Germani Const. Co., 15 Bradley St. Telephone _____
 Architect _____ Specifications _____ Plans _____ es. _____ No. of sheets 1
 Proposed use of building drug store No. families _____
 Last use _____ No. families _____
 Material brick No. stories 2 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 2,000. Fee \$ 5.00

General Description of New Work

To change store front as per plan

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO** ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joints and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

O. K. - 9/28/69 - Allen W. Allen

Miscellaneous

Will work require disturbing of any tree on a public street? _____
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Starley Godes
Stanley Godes
 By: *Alan D. Pearson*

CS 301

INSPECTION COPY

Signature of owner By:

Mac

Permit No. 69/906
Location 513 Angwin St.
Owner Harold Stiles
Date of permit 12/15/62
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. _____
Cert. of Occupancy issued _____
Staking Out Notice _____
Form Check Notice _____

NOTES

Notes section with horizontal lines for writing.

A.P.- 515a Congress St.

April 27, 1969

John Russell, Heirs
c/o Fred Scribner
405 Congress Street

cc to: F.P. & C. H. Murray
Ocean House Road
Cape Elizabeth

Gentlemen:

Permit to erect one non-bearing partition on third floor of the building at the above address is issued herewith subject to the following building Code requirement:

Section 402.5.2.3 requires that if the exit doors designed as part of the means of egress for more than twenty persons, but is not equipped with anti-panic hardware, the door shall be so equipped that all fastenings which would keep the door from opening will be released instantly, without special knowledge or ability, merely by turning the customary knob or by pressure on a plate or lever.

Very truly yours,

Marie S. Smith
Plan Examiner I

ESS:m

F. P. & C. H. MURRAY, Inc.

~ Building Contractors ~
CAPE ELIZABETH, MAINE

Area	799-1217
Code	799-3258
207	799-0255



APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

Portland, Maine, April 17, 1969

R3 BUSINESS ZONE

PERMIT ISSUED
APR 18 1969
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby apply for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 512a Congress St. Within Fire Limits? _____ Dist. No. _____
 Owner's name and address John Russell Heirs, c/o Fred Scribner 465 Congress St. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address F P & C H Murray, Ocean House Road Cape Eliz. Telephone 813-799-8136
 Architect _____ Specifications _____ Plans yes No. of sheets 1
 Proposed use of building _____ Stores & Offices _____ No. families _____
 Last use _____ No. families _____
 Material second class No. stories 3 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 350.00 Fee \$ 3.00

General Description of New Work

To erect (1)-non-bearing partition on 3rd. floor as per plan.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ Solid or filled land? _____ earth or rock? _____
 Material foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girders _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Is one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

and E.B.H. 4/17/69

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

John Russell Heirs
F P & C H Murray

INSPECTION COPY

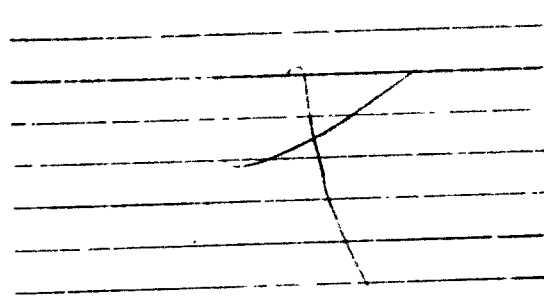
Signature of owner by: _____

F P & C H Murray

FH

NOTES

5-12-69 Complete
86



Permit No. 691294
 Location 5158 Green St
 Date of permit 4/18/69
 Inspr. closing-in _____
 Final Notif. _____
 Final Inspr. _____
 Cert. of Occupancy issued _____
 Staking Out Notice _____
 Form Check Notice _____

Below the permit information and the 'X' mark, the page contains multiple horizontal lines for handwritten notes. The lines are evenly spaced and extend across the width of the page.

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED
TO BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES
AT 58 CONGRESS ST IN PORTLAND, MAINE

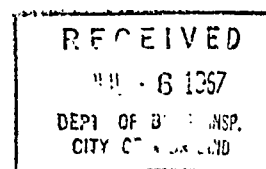
_____ being the owner of the
premises at _____ in Portland, Maine hereby gives
consent to the erection of a certain sign owned by PUBLIC FINANCE CORP.
projecting over the public sidewalk from said premises as described in
application to the Inspector of Buildings of Portland, Maine for a permit
to cover erection of said sign;

And in consideration of the issuance of said permit _____
_____, owner of said premises, in event said sign
shall cease to serve the purpose for which it was erected or shall become
dangerous and in event the owner of said sign shall fail to remove said sign
or make it permanently safe in case the sign still serves the purpose for
which it was erected, hereby agrees for himself or itself, for his heirs, its
successors, and his or its assigns, to completely remove said sign within ten
days of notice from said Inspector of Buildings that said sign is in such
condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this
consent and agreement this 5 day of JULY 1967.

Thomas J. Kowalski
Witness

John Russell Harris
Owner





REGISTRATION TRADE MARK OF EACH
 B3 BUSINESS ZONE
 APPLICATION FOR PERMIT TO ERECT
 SIGN OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED
 00555
 JUL 7 1967
 CITY OF PORTLAND

Portland, Maine, 1967 19

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 515a Congress St. Within Fire Limits? Dist. No.
 Owner of building to which sign is to be attached John Maxwell Heirs, 465 Congress St.
 Name and address of owner of sign Public Finance Corp. 515a Congress St.
 Contractor's name and address Bortley Mill Company 1802 Portland St. Telephone 777-2711
 When does contractor's bond expire? Dec. 31, 1967

Information Concerning Building Heavy Weighting

No. stories 4 Material of wall to which sign is to be attached brick

Details of Sign and Connections

Building owner's consent and agreement filed with application yes
 Electric? yes Vertical dimension after erection 5'6" Horizontal 5'
 Weight 250 lbs., Will there be any hollow spaces? yes Any rigid frame? yes
 Material of frame angle iron No. advertising faces 2 material plastic
 No. rigid connections 2 Are they fastened directly to frame of sign? yes
 No. through bolts 1 Size 3/4" Location, top or bottom top
 No. guys 2 material angle iron Size 1"x1 1/2"x1/4"
 Minimum clear height above sidewalk or street 30'
 Maximum projection into street 5' Fee \$ 2.00

Signature of contractor by: Wm J. Healy

INSPECTION COPY AW

44-1014

Permit No. 67/533

Location 5-159 Congress Street

Owner Public Finance Corp

Date of permit 7/10/67

Sign Contractor

Final Inspn.

NOTES

7/18/67 - stop work

removed 2nd

10/17/67 - Work done S.R.

Vertical text on the left side of the page, including 'APPROVED', 'RECEIVED', and 'DATE'. A large 'X' is drawn over this section. On the right side, there are handwritten initials and dates: '10/18/67', '10/19/67', and '10/20/67'.

Memorandum from Department of Building Inspection, Portland, Maine

AP- 515 Congress St.

Sept. 10, 1963

F. P. & C. H. Murray
Ocean House Road
Cape Elizabeth, Maine

cc to: Louis D & Corinne R. Caron
465 Congress Street

Dear Mr. Murray:

Permit to change existing wooden front entrance way to aluminum entranceway as per plan is being issued subject to our discussion in which you are to install a vestibule latch set on the entrance door and are to apply Mirrawall above the transom to a wall section of wood studs covered on both sides and bottom with incombustible lath and plaster.

Very truly yours,

Gerald A. Mayberry
Deputy Building Inspection Director

GEI :m

CS-27



Class of Building or Type of Structure

Section Class
September 1, 1963

PORTLAND

Portland, Maine,

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair or demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 15A Congress St. Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Louis L. Caron & Company, Inc. 405 Congress St. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address F. & G. Murray, 100 Commercial St. Portland, Me. Telephone 797-1217
 Architect _____ Specifications _____ Plans yes No. of sheets 1
 Proposed use of building store No. families _____
 Last use _____ No. families _____
 Material brick No. stories 4 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 500.00 Fee \$ 5.00

General Description of New Work

To change out existing wooden front entrance to aluminum entrance.
 To change size of opening from 4" to 3' wide opening, using existing header.

Permit Issued with Memo

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor: ar d flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

M. E. Mc

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
 F & G Murray

CS 301

INSPECTION COPY

Signature of owner

by:

F & G Murray

mf

Permit No. 63/1115
Location 155 Congress St
Owner James Hill General & Co
Date of permit 9/10/63
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. _____
Cert. of Occupancy issued _____
Staking Out Notice _____
Form Check Notice _____

NOTES

10-8-63 Completed

Large ruled area for notes, currently blank.



APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

Portland, Maine, May 24, 1960

PERMIT NO. 597
MAY 25 1960
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 515 Congress Street Within Fire Limits? Dist. No.

Owner's name and address John Russell Mrs. Louis Donald Caron & Corinne Russell Caron Telephone

Lessee's name and address Joe Fred Scribner Jr. 465 Congress St. Telephone

Contractor's name and address Louie Blumenthal (Parisienne Shoe Shoppe) Telephone 3-5504

Architect 11 Washburn Ave. Telephone

Proposed use of building Store Specifications Plans yes No of sheets 1

Last use No. families

Material brick No. stories Heat Style of roof Roofing

Other buildings on same lot Fee \$ 2.00

Estimated cost \$ 500.

General Description of New Work

To change entrance and show windows as per plan

To change entrance door from wood to aluminum

To construct non-bearing partition rear of store with door opening (no door)

2x4 studs, 16" O.C., sheetrock

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Maine State Builders

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing Lumber—Kind Dressed or full size? Corner posts Sills

Size Girder Columns under girders Size Max. on centers

Kind and thickness of outside sheathing of exterior walls?

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in eave y floor and flat roof span over 8 feet.

Joists and rafters: 1st floor , 2nd , 3rd , roof

On centers: 1st floor , 2nd , 3rd , roof

Maximum span: 1st floor , 2nd , 3rd , roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot , to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? no.

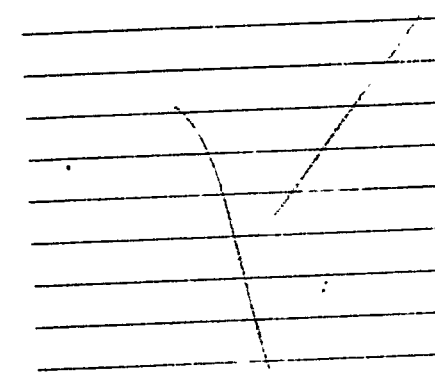
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes Louie Blumenthal
Maine State Builders

APPROVED:
with letter by W. M. S. L.

Signature of owner By: Steven Skochies

NOTES

Note on part div. & partition
 Nine of doors is out -
 But signs (2) need to
 be set up - Allan
 6/1/60 - work done.
 Allan



Permit No. 608/5-11
 Location: ~~508~~ 508 Chicago Ill.
 Owner: ~~James~~ James James
 Date of permit 5-25-60
 Type of permit _____
 Notification closing-in _____
 Occupancy closing-in _____
 Annual Notif. _____
 Annual Inspn. _____
 Certificate of Occupancy issued _____
 Making Out Notice _____
 Form Check Notice _____

AP 515 Congress Street
Minor alterations to store front and interior of retail store for Louis Blumenthal
(Parisienne Shoe Shoppe) in building of John Russell, Heirs, by Maine State Builders

May 25, 1960

Maine State Builders
181 Craigie Street

cc to: Mr. Louis Blumenthal
11 Ashburn Ave
cc to: John Russell, Heirs,
& Fred Scribner, Jr., Esq.
465 Congress Street

Gentlemen:

Building permit for the above work is issued, herewith, subject to the following.

All openings in the ceiling of the back shop and around the edges of the ceiling are to be tightly closed to prevent spread of fire up into the shallow space between the tile ceiling and the original metal ceiling.

It is understood that you are providing a vestibule latchset on the new entrance door. Since the customer space is to contain well over 700 Square feet, a standard exit sign (letters in the word exit at least 6 inches high and to show red on an appropriate background) is required over the doorway in the new cross partition and a similar sign over the existing exterior door in the rear, the latter sign to be fully visible in the dark hours by artificial lighting in the rear shop.

If there is to be a door in the doorway in the new cross partition, a vestibule lockset is to be provided and arranged that any person in the customer space, could at any time quickly open the door merely by turning the usual knob, without requiring a key or any special knowledge.

The existing rear exterior door has, no doubt, been there for many years without substantial change as regard to safety of the occupants of the store. While we do not feel that the Building Code demands change of the existing lockset on the door, it is the responsibility of the tenant and the owner of the building to see to it that the fastenings on this door are such that any persons trying to use it as an emergency means of egress can be expected to quickly open the door from the inside.

Very truly yours,

Warren McDonald
Acting Deputy Insptr. of Bldgs.
encs: permit card and copy of application



Size of plastic face—24 sq.ft. B3 BUSINESS ZONE
 Trade name—Flexiglass
 each piece has trade name on it.
 Ord. 140

PERMIT ISSUED

SEP 21 1959

CITY OF PORTLAND

APPLICATION FOR PERMIT TO ERECT
 SIGN OVER PUBLIC SIDEWALK OR STREET

Portland, Maine, August 27, 1959

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland; and the following specifications:

Location—515a Congress St. Within Fire Limits? Yes Dist. No. _____
 Owner of building to which sign is to be attached—Louis D. Caron & Corrinne R. Caron
 Name and address of owner of sign—Family Finance, 515a Congress St.
 Contractor's name and address—United Neon Display, 74 Elm St. Telephone 2-0695
 When does contractor's bond expire?—Dec. 31, 1959

Information Concerning Building

No. stories—4 Material of wall to which sign is to be attached—brick

Details of Sign and Connections Permit Issued with Letter

Building owner's consent and agreement filed with application—yes
 Electric?—yes Vertical dimension after erection—4' Horizontal—6'
 Weight—150 lbs. Will there be any hollow spaces?—yes Any rigid frame?—yes
 Material of frame—angleiron No. advertising faces—2 material—plastic
 No. rigid connections—4 Are they fastened directly to frame of sign?—yes
 No. through bolts—2 Size—3/4" Location, top or bottom—top and bottom
 No. guys—3 material—angleiron and cable Size—1 1/2" x 1 1/2" x 3/16 angleiron
5/16-wirecable
 Minimum clear height above sidewalk or street—20'
 Maximum projection into street—6' Fee—\$ 2.00

Signature of contractor

J. Lopez

INSPECTION COPY

9/21/59
mmk

FIM

Permit No.

59/1248

Location

575a Cooper St.

Owner

Family Finance

Date of permit

10/21/59

Sign Contractor

Final Inspn.

10/29/59

NOTES

7/2/59 - shipping
made S.S. 8
10/29/59 - Work done
S.H.



AP- 515a Congress St.
Projecting sign for Family Finance by United Neon Display

Sept. 21, 1959

United Neon Display
74 Elm Street

cc to: Family Finance
515a Congress Street
cc to: John Russell, Bldgs
% Fred C. Scribner, Jr.
65 Congress Street

Gentlemen:

Building permit for the above sign is issued herewith subject to the condition, as talked over with Mr. Coyne, that corner braces will be used to stiffen the structural steel frame of the sign; also that the angle iron guys at top and bottom of the sign will be made as nearly horizontal as possible and so as to make an angle of 45 degrees with the face of the building, even though it means connecting these guys to the top and bottom angles of the frame at a point closer to the face of the building than indicated on the sketch.

Please do not neglect the requirement for shop inspection in this connection.

Very truly yours,

Warren McDonald
Acting Deputy Inspr. of Bldgs.

WMD :K

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO
BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES
AT 515a Congress St. IN PORTLAND, MAINE

John Russell Harris, being the owner of the
premises at 515a Congress St. in Portland, Maine hereby gives
consent to the erection of a certain sign owned by Family Finance Co.
projecting over the public sidewalk from said premises as described in applica-
tion to the Inspector of Buildings of Portland, Maine for a permit to cover
erection of said sign;

And in consideration of the issuance of said permit John Russell Harris,
Harris, owner of said premises, in event said sign shall cease
to serve the purpose for which it was erected or shall become dangerous and in
event the owner of said sign shall fail to remove said sign or make it perman-
ently safe in case the sign still serves the purpose for which it was erected,
hereby agrees for himself or itself, for his heirs, its successors, and his or
its assigns, to completely remove said sign within ten days of notice from
said Inspector of buildings that said sign is in such condition and of order
from him to remove it.

In Witness whereof the owner of said premises has signed this consent
and agreement this 16th day of September 19 57

John L. Coyne
Witness

John Russell Harris
By Red L. [unclear]
Owner
[unclear]

INQUIRY BLANK

ZONE B-3
FIRE DIST. 41

file

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Date 3/10/59

Verbal
~~By Telephone~~
~~By letter~~

LOCATION 515A Congress Street OWNER Beauty Culture

MADE BY Mr. Pierre of Pierre's School TEL.

ADDRESS 76 Main Street, Brunswick, Me.

PRESERT USE OF BUILDING Stores + Offices NO. STORES 4

LAST USE OF BUILDING same CLASS OF CONSTRUCTION 2nd

REMARKS

INQUIRY 1- Would it be permissible to establish a school for beauty culture in one or more rooms in the third story of this building?

ANSWER 1- Only if Building Code requirements for Type B Schools were to be met. This would involve enclosure of stairway for safe egress with at least one-hour fire resistance and of heater room with 2-hr fire resistance among other things, which would appear to be prohibitive.

DATE OF REPLY 3/10/59 REPLY agf

November 14, 1958

AP-515 Congress Street

Donnelly Electric & Mfg. Co.
35 Pentiac Street
Boston, Massachusetts

cc to: Cross Jewelers
515 Congress Street

Gentlemen:

Building permit to erect electric sign for Cross Jewelers at the above location is issued herewith but subject to the condition that bottom angle gusset existing on present sign but not indicated on proposed sign is to remain and be utilized or else is to be replaced.

Very truly yours,

Theodore T. Hand
Deputy Inspector of Buildings

TTH/jg

DONNELLY ELECTRIC & MFG. CO.
The Donnelly Way
OF ELECTRICAL ADVERTISING

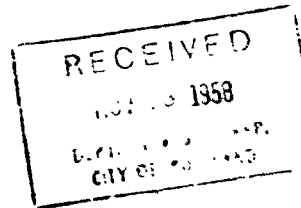
COMMERCIAL SIGN
DIVISION

November 12, 1958

CAREEN T. BOON
35 PONTIAC STREET
BOSTON 20 MASS

Mr. MacDonald, Building Inspector
City Hall
Portland, Maine

Re: Cross Jewelers
515 Congress St.
Portland, Me.



Dear Mr. MacDonald:

We are enclosing two prints in reference to the application
filed at the above subject location.

Very truly yours,
DONNELLY ELECTRIC & MFG. CO.

Bernard MacNeil
Bernard MacNeil
Engineer

B.N. 300
Encls. (2)

*Get
2 more prints and
filed. going in
to record
11/3/58*

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO
BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES
AT 515a Congress St. IN PORTLAND, MAINE

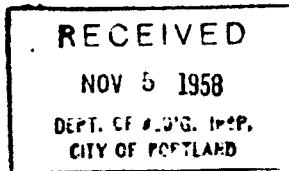
John Russell Heirs, being the owner of the
premises at 515a Congress St. in Portland, Maine hereby gives
consent to the erection of a certain sign owned by Cross Jewelers Inc.
projecting over the public sidewalk from said premises as described in
application to the Inspector of Buildings of Portland, Maine for a permit
to cover erection of said sign;

And in consideration of the issuance of said permit _____
_____, owner of said premises, in event said sign shall
cease to serve the purpose for which it was erected or shall become dangerous
and in event the owner of said sign shall fail to remove said sign or make
it permanently safe in case the sign still serves the purpose for which it
was erected, hereby agrees for himself or itself, for his heirs, its
successors, and his or its assigns, to completely remove said sign within
ten days of notice from said Inspector of Buildings that said sign is in
such condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this consent
and agreement this 3rd day of November 1958.

Mary E. Harris
Witness

John Russell Heirs
By: Ernest C. Lesbrier
owner agent





size of plastic face sign- 15 sq.ft.

Frame name-plexiglass
Each piece has trace name on it.
Under label-yes

APPLICATION FOR PERMIT TO ERECT
SIGN OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED
01637

NOV 14 1958

CITY of PORTLAND

Portland, Maine, Oct. 21, 1958 19

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 515 Congress St. Within Fire Limits? Yes Dist. No. _____
Owner of building to which sign is to be attached Liggett Dmg Co. Ins. 515c Congress St.
Name and address of owner of sign Cross Jewelers, 515 Congress St.
Contractor's name and address Donnelly Electric & Mfg. Co. 3rd Fortiac st. Boston, Mass. Telephone _____
When does contractor's bond expire? Dec. 31, 1958

Information Concerning Building

No. stories 5 Material of wall to which sign is to be attached brick

Details of Sign and Connections

Building owner's consent and agreement filed with application yes
Electric? yes Vertical dimension after erection 3' Horizontal 5'
Weight 175 lbs lbs., Will there be any hollow spaces? no Any rigid frame? yes
Material of frame steel No. advertising faces 2 material plastic
No. rigid connections 6 Are they fastened directly to frame of sign? yes
No. through bolts none, Size _____, Location, top or bottom 3 angle iron
No. guys 4, material steel, Size 1/4" steel cable
Minimum clear height above sidewalk or street 18'6"
Maximum projection into street 5'6" Fee \$ 2.00

Signature of contractor by: Bernard H. MacNeil

INSPECTION COPY

12/5

Permit No. 58/1637
 Location 515 Congress St
 Owner Cross Jewellers
 Date of permit 11/14/58
 Sign Contractor _____
 Final Inspn. 12/10/58

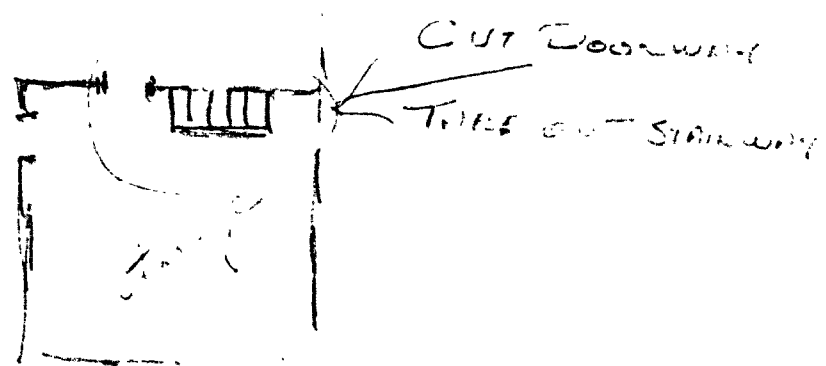
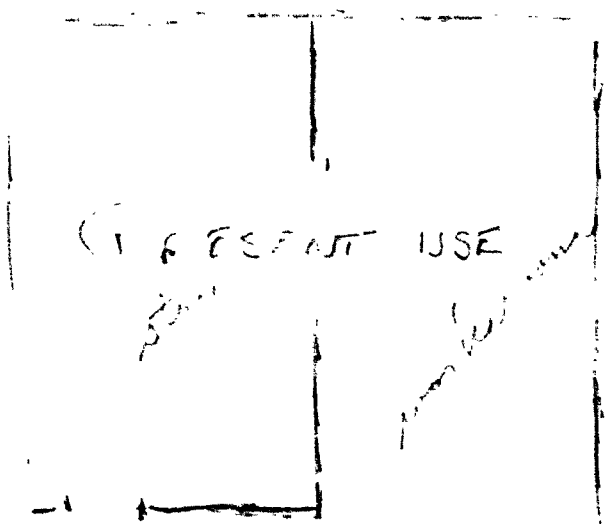
~~12/10/58~~ NOTED
Work done
S. S. B.

[The following section consists of approximately 25 horizontal lines, some of which are partially obscured by a vertical stamp on the left side. The stamp contains the text 'INSPECTED' and 'NOV 10 1958'. There is also a handwritten '7' on the right side of the lines.]

1
CHECK SCHEDULES

END (CONTINUED)

(WIP TOILETS) 2ND FLOOR



October 12, 1956

AP 515 Congress St.—Alterations of second and third floors

Cross Jewelers
515 Congress St.
Fred C. Scribner Jr., Esq.
Agent for owners
465 Congress St.

Gentlemen:

Building permit is issued to Cross Jewelers, herewith, to make alterations at the above location, including removal of a stairway between second and third floor and closing-in the stairwell at third floor permanently.

The permit is issued without prejudice to the question of safe means of egress from the third floor, which is, of course, the responsibility of the owners of the building. It is understood that the third floor is entirely without any tenancy, at present, and it is our belief that there is an entrance stairway from Congress St. and a fire escape on the rear wall of the building. However, these two required means of egress, in case the third floor is occupied, would have to be accessible to all occupants of that floor without obstruction and without passing through the quarters of other tenants.

It is important that Mr. Cross notify this office, as soon as known, the name and address of the contractor.

The application says that the stairwell at third floor level will be covered in to afford the same strength as the balance of the third floor without any details. Before this closing-in work and framing is covered from view from underneath in anyway, notice of readiness for inspection is required, and nothing is to be done to cover up the under side of the framing until our field inspector has given his approval.

Very truly yours,

Warren McDonald
Inspector of Buildings

WHD/E

3 B



To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to alter ~~the~~ the following building ~~as follows~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 515 Congress St. Within Fire Limits? Yes Dist. No. 1

Owner's name and address Louis Donald & Corinne Russell Caron & John Russell Telephone _____

Lessee's name and address c/o Fred C. Scribner, 464 Congress St. Telephone _____

Contractor's name and address Cross Jewelers, 515 Congress St. Telephone _____

Architect _____ Specifications _____ Plans yes No. of sheets 2

Proposed use of building _____ No. families _____

Last use _____ No. families _____

Material brick No. stories 4 Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____

Estimated cost \$ 100. Fee \$.50

General Description of New Work

To cut in door between work room and storage room. To remove stairway in storage room between second and third floor and cover in stairwell the same strength as floor.

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Cross Jewelers

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing lumber—Kind _____ Dressed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED: _____

Cross Jewelers

Signature of owner by: Frank E. Cross

INSPECTION COPY

Permit No. 561757
Location 515 Caspian St
Crescent School
Date of permit 10/12/56
closing-in
closing-in
Notice
map
Occupancy issued
Out Notice
check Notice

Notice to all persons
who are or may be
affected by the
proposed work
that the work
is to be carried out
in accordance with
the provisions of
the Act and the
regulations made
thereunder.
The work is to be
carried out in
accordance with
the plans and
specifications
submitted and
approved by the
Board of Health
and the Department
of Health.
It is the duty of
all persons to
obey the provisions
of the Act and
the regulations
made thereunder.
If any person
obstructs or
interferes with
the work or
violates any
provision of the
Act or the
regulations, he
may be liable to
prosecution and
punishment.
This notice is
given to all
persons who are
or may be
affected by the
work.

October 10, 1956

AP 515A Congress St.--Ventilation system for Cross Jewelers

Pettingill Ross Co.
57 Cross St.
Cross Jewelers
515A Congress St.

Gentlemen:-

Building permit for above ventilation system is issued to the contractor, herewith, subject to the following:

As usual the system is to be installed as to details in accordance with the standards set up under the Building Code by the Municipal Officers:

regulations of MBFU for Installation of Blower and Exhaust systems for Dust, Stock and Vapor Removals and MBFU Pamphlet #90 Installation of Air Conditioning, Warm Air Heat, Air Cooling and Ventilation Systems.

It is understood that this system will not require extension of any new pipes through the exterior walls of the building over the public sidewalk or otherwise.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMCB/O
Enclosure to Pettingill Ross Co.--Permit card and copy of application



APPLICATION FOR PERMIT

Class of Building or Type of Structure

Portland, Maine, Oct. 9, 1956

PERMIT ISSUED
OCT 10 1956

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~construct~~ install the following building equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 515A Congress St. Within Fire Limits? yes Dist. No. _____
 Owner's name and address Cross Jewelers, 515A Congress St. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Pettengill Ross Co., 57 Cross St. Telephone 2-6223
 Architect _____ Telephone _____
 Proposed use of building _____ Specifications _____ Plans yes No. of sheets 1
 Last use: _____ " _____ No. families _____
 Material brick No. stories 3 Heat _____ Style of roof _____ No. families _____
 Other buildings on same lot _____ Roofing _____
 Estimated cost \$ _____

General Description of New Work

Fee \$ 2.00

To install mechanical system of ventilation as per plan.

Permit Issued with Letter:

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO Pettengill Ross Co.**

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____ Kind of heat _____ fuel _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Framing Lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Cross Jewelers
Pettengill Ross Co.

Signature of owner by: Ernest H. Pettengill

APPROVED:

INSPECTION COPY

No. 56/1735

on 515 A Commercial

Casey Paulson

of permit 10/110/56

closing-in

closing-in

Notif.

Inspn.

of Occupancy issued

ing Out Notice

Check Notice

10/18/56 - indicate all
found - table

Lined area for notes, containing a large handwritten 'X'.

Lined area for notes.



APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Sept. 23, 1954

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 513 Congress St. Use of Building stores No. Stories Existing Building Existing " Name and address of owner of appliance Sidney Schwartz, Apt., 602 Congress St. Installer's name and address Marshall Engineering Co., 116 Middle St. Telephone 3-1524

General Description of Work

To install oil burning equipment in connection with existing steam heating system (replacing stoker)

IF HEATER, OR POWER BOILER

Location of appliance Any burnable material in floor surface or beneath? If so, how protected? Kind of fuel? Minimum distance to burnable material, from top of appliance or casing top of furnace From top of smoke pipe From front of appliance From sides or back of appliance Size of chimney flue Other connections to same flue If gas fired, how vented? Rated maximum demand per hour Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion?

IF OIL BURNER

Name and type of burner weatherall Labelled by underwriter's laboratories? Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? Type of floor beneath burner concrete Size of vent pipe Location of oil storage coal bunker Number and capacity of tanks 2-275 gal. Low water shut off Make McDonnell Miller No. 47-2 Will all tanks be more than five feet from any flame? How many tanks enclosed? Total capacity of any existing storage tanks for furnace burners none

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath? If so, how protected? Height of Legs, if any Skirting at bottom of appliance? Distance to combustible material from top of appliance? From front of appliance From sides and back From top of smokepipe Size of chimney flue Other connections to same flue Is hood to be provided? If so, how vented? Forced or gravity? If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

[Blank lines for miscellaneous information]

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED: [Signature] 9.29.54

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Marshall Engineering Co.

Signature of Installer by: [Signature]

INSPECTION COPY

549
10/29

Permit No. 54/1597

Location 513 Congress St

Owner Sidney Spawley

Date of Permit 9/29/54

Approved E. J. ...

- 1 Name of ...
- 2 ...
- 3 ...
- 4 Buried ...
- 5 Name & ...
- 6 Street ...
- 7 High ...
- 8 Remote ...
- 9 Piping ...
- 10 Valves ...
- 11 Capacity ...
- 12 Tank ...
- 13 Tank ...
- 14 Oil ...
- 15 Instruction ...
- 16 Low ...

Handwritten notes and signatures in the main body of the form, including a signature at the bottom left.



(G) GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED

Permit No. 9177
OCT 13 1949

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.
The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Portland, Maine, August 30, 1949

Location 515a Congress Street Within Fire Limits? yes Dist. No. 1

Owner of building to which sign is to be attached _____
Name and address of owner of sign Cross Jeweler's, 515a Congress Street

Contractor's name and address John Creeden, 454 1/2 Fore St. Telephone 3-3052

When does contractor's bond expire? January 1950

Information Concerning Building 9-9-49. O.K. edo.

No. stories 4 Material of wall to which sign is to be attached brick **CERTIFICATE OF OCCUPANCY REQUIREMENT IS MET**

Details of Sign and Connections **Permit issued with letter**

Electric? yes Vertical dimension after erection 3' Horizontal 5'

Weight 200 lbs., Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame angle iron No. advertising faces 2, material porcelain enamel

No. rigid connections 4 Are they fastened directly to frame of sign? yes
steel-no aluminum

No. through bolts 3, Size 5/8", Location, top or bottom top

No. guys 3, material angle iron, Size 1 1/2 x 3/16"

Minimum clear height above sidewalk or street 18'

Maximum projection into street 5'

Insp.
ORIGINAL

Signature of contractor John Creeden

Fee \$ 1.00

Permit No. 49/1727
Location: 515a Congress St.
Owner: Cross Jewellers
Date of permit 10/13/49
Sign Contractor _____
Final Inspn. 11-30-49 56.

NOTES

~~THE CITY ENGINEER HAS REVIEWED THE PERMIT TO BE ISSUED FOR THE WORK DESCRIBED HEREIN AND HAS DETERMINED THAT THE SAME IS IN ACCORDANCE WITH THE CITY ORDINANCES AND REGULATIONS GOVERNING THE CONSTRUCTION OF SUCH WORK.~~

JOHN J. CUNNINGHAM
PRESIDENT
ARTHUR J. CULLINAN
TREASURER

F. W. CUNNINGHAM & SONS
INCORPORATED 1903

... CONTRACTORS ...

PINE STATE BUILDING 181 STATE STREET
" " PORTLAND 3, MAINE

WILLIAM H. GILL
VICE-PRESIDENT
THOMAS P. FALLONA
ENGINEER

*File
R. No. 10/20/49
10/20/49*

October 20th, 1949

Department of Building Inspection
City of Portland, Maine

Gentlemen:

We have today inspected the wall at 515A Congress Street where the anchor bolt for sway-brace for the proposed sign occurs. This section of wall is about 1 ft. away from the area where the face brick were relaid a few years ago.

The sway-brace is to be fixed to the wall by attachment to an angle applied on the exterior bolted through the wall with plate on the inside; the drilled hole to be packed with mortar and the bolt to be driven through.

We find that no separation is apparent between the face brick and the 8" backing, and it is our opinion that the wall is adequate for the proposed use and that it is sufficiently stable to resist the reaction from the sway-brace and will not be injured if it is installed as above indicated.

Yours very truly,

F. W. CUNNINGHAM & SONS

Arthur J. Cullinan
Treasurer



AJC/mb

CC's to: Mr. John Creeden
454 $\frac{1}{2}$ Fore Street
Cross Jewelers'
515A Congress Street
Mr. Sidney P. Shwartz, Agent
for Liggett Drug Company
602 Congress Street
Mr. Fred C. Scribner, Jr., Atty & Agent for
the John Russell Heirs
465 Congress Street

NY 614 Progress 100-1
(Projecting sign)

October 13, 1949

Mr. John Gordon
454 1/2 Fore Street
F. W. Cunningham & Sons
161 Lake Street
Cross Jewelers'
512A Congress Street

Subject: Building permit for projecting sign
for Cross Jewelers at 512A Congress Street

Gentlemen:

Following my letter of September 29, F. W. Cunningham & Sons were employed by Liggett Drug Company, Inc. (under their lease they have control of the building) to investigate the condition of the wall. Representatives of the contractor have examined the wall and find no obvious defects, and are unable to tell whether there are defects in the bonding without digging into the wall.

Under these circumstances and because there is no desire to do unnecessary work or cause unnecessary expense, I have agreed to issue the permit for erection of the sign, and it is enclosed to the installer, herewith, on the basis that the installer will put in a through bolt no less than 3/4" in diameter to fasten the upper side guy of the sign instead of the usual expansion bolt. It is understood that erector of the sign and F. W. Cunningham & Sons will cooperate at the time of drilling the hole for the through bolt in an effort to determine further whether or not the wall at this point is undoubtedly sound and well bonded, and report to this office as to what conditions found when the hole for the bolt through the wall is drilled.

We are especially concerned because this brickwork exposes pedestrian travel on the Congress Street sidewalk, but it is my belief that the true condition of the wall will be found out in the process of drilling the hole for the through bolt. One purpose of the through bolt is to make sure that all "pull" on the wall by the guy fastening will be on the entire thickness of the wall rather than on the outer course of brick which, upon the former investigation, appears to be questionable as to its bonding to the inner part of the wall.

Very truly yours,

Carren McDonald
Inspector of Buildings

WJG/G

CC: Mr. Sidney P. Smarts, Agent for
Liggett Drug Company, Inc.
602 Congress Street

Mr. Fred C. Scribner, Jr., Atty & Agent for
The John Russell Heirs
409 Congress Street

At 515A Congress Street-I
(Projecting sign)

September 27, 1949

Mr. John Creeden
454 1/2 Fore Street
The John Russell Heirs
c/o Fred C. Scribner, Jr., Attn & Agent
455 Congress Street
Cross Jewelers
515A Congress Street

Subject: Application for permit to
erect projecting sign for Cross
Jewelers on the front wall of the
building at 515A Congress Street

Gentlemen:

I am sorry that conditions have been found to further delay the issuance of the above permit. The following will explain it.

In 1941 the Fire Department reported some defects in the front brick wall of this building. Pascal S. Pennard of San Francisco, as representative of the owners, was notified, and subsequently J. P. Williams, architect for Liggett Drug Company, Inc. (The Liggett Company appeared then to have a lease on the entire building which required them to take the initiative), had F. W. Cunningham & Sons investigate the condition. This contractor reported that the face brick of the entire front of the building was laid many years ago with out brick bonding courses, but probably with metal ties to fasten the facing to the backing; that it appeared that some of the metal ties had rusted out and a portion of the facing along a window jamb had separated from the backing and that the arch over the window had moved out with it. The contractor was unable to say how extensive this damage might be, but was authorized to correct the condition and did so for an undetermined area of the wall.

The wall then appeared to be in good condition as far as surface examination could tell, and the work was approved here on the basis that should other portions of the wall show defects, they would of course have to be corrected in view of the fact that the masonry exposes the Congress Street sidewalk.

Examination of the wall now from a third story window discloses that in the same area of wall where the present sign erector plans to have a side guy at the top of the sign, fastened to this wall, a small section of the brickwork over the second story window appears to project about a half an inch from the balance of the wall and the area over the second story window appears to be cut somewhat also, although no crack in the masonry was discovered.

Under these circumstances it seems necessary to withhold the permit for the sign until some arrangement has been made to make sure that the wall is stable, and, if defects are found, to correct them in such fashion that the additional load put upon the wall by the guy in case of high wind would not cause trouble.

Let me say however, that, on account of the danger afforded by any defects in this wall to pedestrians on the public sidewalk, even though the sign were not proposed now, I should feel it my duty to require the owner to investigate this condition which we have found and to make good whatever defects are found.

If the owner sees fit, there is no objection to having the sign erector make the investigation of this part of the wall, but just to simply drill a hole where the guy would be would not be considered sufficiently thorough, and it would not be the function of this office to decide what the true condition of the wall is or how any defects are to be corrected, although we do mean to be as helpful as possible in all of these connections.

Mr. John Cressden
The John Russell Heirs
Cross Jewelers

September 29, 1919

Not knowing whether or not the Liggett Company still hold the former relation to the building, I am not advising them about this situation, but I am enclosing to Mr. Scribner a carbon copy of this letter in case he desires to send it to the Liggett Company or anyone else that may have responsible control of the building.

May I hear from you as to what steps will now be taken?

Very truly yours,

Warren McInnis
Inspector of Buildings

WMcD/G

CC: to Mr. Scribner for his use

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO BE
ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES

AT 515a Congress Street IN PORTLAND, MAINE

The John Russell Heirs, being the owner of the
premises at 515a Congress Street in Portland, Maine hereby gives
consent to the erection of a certain sign owned by William M. Cross, Inc.
projecting over the public sidewalk from said premises as described in
application to the Inspector of Buildings of Portland, Maine for a permit
to cover erection of said sign;

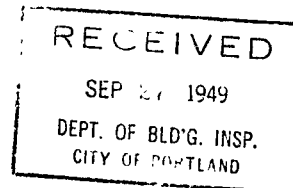
And in consideration of the issuance of said permit The John
Russell Heirs, owner of said premises, in event said sign
shall cease to serve the purpose for which it was erected or shall become
dangerous and in event the owner of said sign shall fail to remove said sign
or make it permanently safe in case the sign still serves the purpose for
which it was erected, hereby agrees for himself or itself, for his heirs,
its successors, and his or its assigns, to completely remove said sign
within ten days of notice from said Inspector of Buildings that said sign
is in such condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this
consent and agreement this 24th day of September, 1949

Wanda L. Paulsen
Witness

The John Russell Heirs

By Frank C. Scribner
att'y. + Agent



WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO BE
ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES

AT _____ IN PORTLAND, MAINE

Liggett Drug Company, Inc., being the ^{lessee}~~owner~~ of the

premises at 513-515 Congress Street in Portland, Maine hereby gives
consent to the erection of a certain sign owned by Wm M. Cross Inc.
projecting over the public sidewalk from said premises as described in
application to the Inspector of Buildings of Portland, Maine for a permit
to cover erection of said sign;

And in consideration of the issuance of said permit Liggett Drug
Company, Inc., ^{lessee}~~owner~~ of said premises, in event said sign
shall cease to serve the purpose for which it was erected or shall become
dangerous and in event the owner of said sign shall fail to remove said sign
or make it permanently safe in case the sign still serves the purpose for
which it was erected, hereby agrees for himself or itself, for his heirs,
its successors, and his or its assigns, to completely remove said sign
within ten days of notice from said Inspector of Buildings that said sign
is in such condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this
consent and agreement this 29th day of August, 1949

Witness

Liggett Drug Company, Inc.

By Adrian P. Hewson
Agent

~~Owner~~
Lessee

Memorandum from Department of Building Inspection, Portland, M

515 Congress Street—Making alterations on second floor as per
plan for Family Finance Corporation by
Bunnan-McLellan—7/7/49

Permit for the above work is issued herewith. The steel
sash to be installed in the new openings to be cut in the westerly
wall are required to be glazed with wire glass and the permit is
issued on this basis.

AJS/G

CC: Family Finance Corporation
515 Congress Street

(Signed) Warren McDonald
Inspector of Buildings



APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

Portland, Maine, July 5, 1949

CITY OF PORTLAND
1849

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~repair~~ ~~demolish~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 515 Congress Street Within Fire Limits? yes Dist. No. 1
 Owner's name and address _____ Telephone _____
 Lessee's name and address Family Finance Corp., 515 Congress Street Telephone _____
 Contractor's name and address Burnham-McLellan, 52 Marginal Way Telephone _____
 Architect _____ Specifications _____ Plans yes No. of sheets 1
 Proposed use of building Stores and offices No. families _____
 Last use _____ " _____ No. families _____
 Material brick No. stories 5 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____ Fee \$ 5.00
 Estimated cost \$ 300.

General Description of New Work

To remove existing non-bearing partitions on third floor and construct them on 2nd floor as per plan. 2x8, 16" O.C., plywood both sides
 To close up existing door 2nd floor as per plan.
 To cut in two new casement windows second floor on westerly side of building, as per plan.

Permit issued with memo

CERTIFICATE OF ACCURACY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Burnham McLellan

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Family Finance Corp.
Burnham-McLellan

APPROVED:

with memo by ags

INSPECTION COPY

Signature of owner by: *SA [Signature]*

8
Permit No. 49/1012

Location 515 Congress St

Owner *Stanley Finance Corp*

Date of permit 7/18/49

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Permt. of Occupancy issued *None*

3/22/50 - No inspection made E. L. S.



APPLICATION FOR PERMIT

Class of Building or Type of Structure

Portland, Maine, June 29, 1949

PERMIT ISSUED

00945
N 29 1949

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~reconstruct~~ demolish ~~to~~ the following ~~building~~ structure ~~equipped~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 515 Congress Street Within Fire Limits? yes Dist. No. 1
 Owner's name and address Telephone
 Lessee's name and address Scott Furriers, 515 Congress Street Telephone
 Contractor's name and address John Creeden, 454 1/2 Fore Street Telephone 3-3052
 Architect Specifications Plans No. of sheets
 Proposed use of building Stores No. families
 Last use " No. families
 Material No. stories Heat Style of roof Roofing
 Other buildings on same lot

Estimated cost \$

Fee \$ 1.00

General Description of New Work

To remove projecting sign from front of building 15' x 5'.
Sign hanger's bond expires Dec. 31, 1949

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** John Creeden

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
 Height average grade to top of plate Height average grade to highest point of roof
 Size, front depth No. stories solid or filled land? earth or rocks
 Material of foundation Thickness, top bottom cellar
 Material of underpinning Height Thickness
 Kind of roof Rise per foot Roof covering
 No. of chimneys Material of chimneys of lining Kind of heat fuel
 Framing lumber—Kind Dressed or full size?
 Corner posts Sills Girt or ledger board? Size
 Girders Size Columns under girders Size Max. on centers
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2nd 3rd roof
 On centers: 1st floor 2nd 3rd roof
 Maximum span: 1st floor 2nd 3rd roof
 If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot , to be accommodated number commercial cars to be accommodated
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

.....

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? YES

Scott Furriers

INSPECTION COPY

Signature of owner by:

John P. Creeden

NOTES

~~7-5-49. Size down but some fitting
and angles not. To be made etc.
7-6-49. In Cruder said all angles,
shop etc. to be hand up etc.~~

Permit No. 49/945

Location 515 Congress St.

Owner Scott Harrison

Date of permit 6/29/49

Notif. closing-in

Inspn. closing-in 7-12-49 S.D.

Final Notif.

Final Inspn.

Cert. of Occupancy issued

[Signature]



APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

Portland, Maine, November 16, 1943

NOV 18 1943

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~repair~~ ~~demolish~~ ~~and~~ ~~install~~ the following building structure ~~equipment~~ ~~access~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 515 Congress Street Within Fire Limits? yes Dist. No. 1
 Owner's name and address Frankel Snops & Sons 916 Third St 2nd Floor Telephone _____
 Lessee's name and address Frankel Snops, 4 Haapstead, L. I., New York Telephone _____
 Contractor's name and address Berry & Moser Construction Co., 1355 Broadway Telephone 2-3110
 Architect James C. Samuels Specifications SO, Portland Plans yes No. of sheets 3
 Proposed use of building stores No. families _____
 Last use _____ No. families _____
 Material brick No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 2500 Fee \$ 5.00

General Description of New Work

To make alterations to first story store as per plans.

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Berry & Moser Construction Co.
 CERTIFICATE OF OCCUPANCY
 NO. OF PERMITS IS WAIVED

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind _____ Dressed or full size _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
 Frankel Snops
 Berry & Moser Construction Co.

APPROVED:

Signature of owner by: N. O. Berry

INSPECTION COPY

NOTES

11/27/48. City with King deems
 justness. 16
 12/1/48. Letter with seal along
 with seal in red ink. Low
 with seal in red ink. 16.
 12/1/48. Talked with Mr. Perry by
 phone. He will go to inspect if
 persons inside to see down. Can
 find out from down in same way
 for title. And for side exit right
 away. 270

12/20/48. In every letter said never objected to requirement
 of a man down as called for in part of letter 2, attached
 letter. He is to go with it again as a city requirement and
 report back. Their objection
 12/20/48. In every letter said never objected to requirement
 of a man down as called for in part of letter 2, attached
 letter. He is to go with it again as a city requirement and
 report back. Their objection
 12/20/48. In every letter said never objected to requirement
 of a man down as called for in part of letter 2, attached
 letter. He is to go with it again as a city requirement and
 report back. Their objection

Permit No.	48/21579
Location	515 Congress St.
Owner	Frank E. Parker
Date of permit	11/18/48
Notif. closing-in	
Inspn. closing-in	
Final Notif.	
Final Inspn.	1/1/49
Cert. of Occupancy Issued	

J. C. Brady

November 18, 1948

Ferry & Moser Construction Company
1355 Broadway
South Portland, Maine
Mr. James C. Saunders
477 Congress Street

Subject: Building permit for alterations in
the first story store at 515 Congress
Street

Contents:

Building permit is issued to the contractors, herewith, subject to the following:

1. No work on the persons to be admitted in the collar section of insufficient width of egress.

2. Provide safe rear exit by eliminating any locks or bolts from the door in the new partition between customer's space and office and provide a standard exit sign (labelled in the rear exit to show red no less than 6" in height) over the doorway on the customer's space side.

At the exterior doorway in the rear there is a single door on the inside of the wall and double metal-clad doors on the outside of the wall. Either remove the outside double doors and equip existing inside door with a vestibule latchset, or remove the inside door and equip the left-hand door of the double doors (as the door leaves the building) with top and bottom bolts and the right-hand door with a vestibule latchset. A vestibule latchset in its action may be locked against the outside in any operable by key, but which can be never locked against the inside, any person on the inside being able to open the door readily at all times merely by turning the handle knob or pressing on the usual thumb lever, without requiring a key or any special knowledge.

3. Structural glass for the Congress Street front to be installed strictly in accordance with the standards set up by the municipal officers of Portland as the recommendations on Thin Veneers for Building Exterior of Building Officials Conference of America, dated June 15, 1944, classification number three applying to structural glass. Copy of this standard is enclosed to the contractor.

Different details than shown on the plans for the backing on thin veneer will be necessary to comply with this standard unless, as to backing, provided: "Thin veneer may be placed only against substantial, rigid, incombustible surfaces of true plane, plumb, and straight. The backing shall in any case provide rigidity and stability equal to or greater than that provided by one inch thick cement mortar on wire lath secured to studs spaced 12" or less on centers. It shall be unlawful to use wood backing surfaces, regardless of whether they are fireproofed."

4. While no permit is required to cover erection of the awning, hence, contractor and architect should cooperate to see to it that the awning box and awning supports and the awning itself are supplied of such a nature that the awning when in its lowest position will not be closer than 16" to the plane of the curb projected upwards so that the awning will clear the public sidewalk below by no less than 7'.

5. A copy of this letter is enclosed to the contractor for the use of his foreman on the job.

Very truly yours,

Inspector of Buildings

YMOB/G

Enclosures to contractor: Copy of standards for thin veneers and a copy of this letter for the foreman on the job

CC: Frankel Shops, Hempstead, Long Island, New York
John Russell Heirs, c/o Mr. Fred E. Laribee, Jr.
465 Congress Street

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install one elevator in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications submitted herewith, and the following specifications:

Location 512 Congress Street Ward _____ Within Fire Limits? Yes Dist. No. 1
 Owner's name and address Liggett Drug Company, Inc.
 Elevator contractor's name and address Otis Elevator Co., 495 Fore Street Telephone 3-0588
 Last use of building store No. families _____
 Proposed use of building _____ No. families _____
 Material of outside walls of building Brick Wall interior frame _____
 No. of stories 4 Style of roof Flat No. of existing elevators in building One

Remarks

Details of Proposed Work

Extent of work by elevator contractor remove old elevator equipment and install new elevator.
 Extent of work by owner Any alterations to present shaftway.
 Type of elevator Electric Passenger in NEW or existing shaftway Existing
 Shaftway enclosed or open enclosed No. elevator stops 4
 Capacity of elevator 1500 lbs. Speed in feet per minute 100 ft.
 Material of cables steel No. and size of hoisting cables 4 - 1/2"
 Location of machinery Overhead Material of supports Steel of guides Steel
 Minimum diameter of sheaves 30" Minimum clearance counterweights and overhead beams 4 ft.
 Minimum clearance above car at topmost floor level 2' 5/8"
 Minimum clearance buffer plates and springs when car is at lowest floor level 2' 4"
 Type of power Electric Type of machine Traction
 Will elevator be equipped with the following safety devices:—governor? Yes, car safety? Yes, electric brakes? Yes, automatic terminal stops at top and bottom? Yes, slack cable stops? No, safety floor stops? No

If Passenger Elevator

Passenger capacity? 10 Area of platform 10' 1/4" x 4' 10" Material of enclosure Steel
 No. of entrances 2 Type of gates Collapsible, interlocked? Contact, automatic closing device? No
 Will elevator be automatic or will operator be in attendance? Operator
 Will doors in shaftway enclosure be interlocked? Yes

If Freight Elevator

Area of platform _____ No. of sides enclosed _____ Height of enclosure _____
 Will shaftway be enclosed? _____ Self-closing hatch gates? _____, height? _____
 No. outside entrances to shaftway? _____ Self-closing slatted gates? _____, height? _____

Miscellaneous

Plans filed as part of this application? yes No. of sheets 1
 Estimated cost of work by elevator contractor? \$ _____ Fee \$ 2.00
 Signature of elevator contractor Otis Elevator Co. Ellis S. Hanson

STATEMENT OF ELEVATOR TESTS

PORTLAND, MAINE, March 17, 1949

I, Ellis S. Hanson
 as an employee of Otis Elevator Company 513 Congress St. have personally supervised the installation of alterations to the elevator hatchways and enclosures at Liggett Drug Co. as permitted under Building Permit _____, and have personally supervised tests of loading capacity and of all brakes, interlocking and all other safety devices, and I do here state that, according to my best knowledge and belief, the elevator will safely carry the maximum rated loading and all brakes, interlocking and other safety devices are in satisfactory condition.

Ellis S. Hanson
(Signature)

PORTLAND, MAINE, March 17, 1949

STATE OF MAINE
 CUMBERLAND, SS: Personally appeared the above named Ellis S. Hanson and made oath the statements by him subscribed are true.

Richard L. Hawley
Justice of the Peace

APPLICANT'S COPY

Ward Permit No. 481

Location 515 Congress St

Owner Leggett's Drug Store

Date of permit 5/14/48

Elev. Cont.

Statement of tests rec'd

Final Notif.

Final Inspn.

Certificate issued
INSPECTION NOT COMPLETE
NOTES

*11/30/48. Lino did not permit
insps. 926.*

Rept. 4102B-I

December 7, 1943

Subject: Building permit for construction of
storm enclosure at rear door from Liggett's
Drug Store at 512 Congress Street.

Burnham-McLellan,
491 Congress Street,
Portland, Maine

Gentlemen:

Liggett's Drug Store has a copy of this letter.

The existing rear door which enclosure would protect is apparently a required rear exit for the patrons and employees of the store. On that basis there should be an electric light burning in the new enclosure at all times when patrons are in the store, and the new door from the enclosure to out of doors is required to be equipped with such a lock set (often called "vestibule lockset") that any person on the inside can always open the door quickly merely by turning the usual knob or pressing on the usual thumb latch without requiring a key or any special knowledge. As a matter of fact, of course, the existing rear door ought to be similarly equipped; but as this is probably an installation of long standing I doubt if I have authority under the law to require a change in this lockset if it is not of the vestibule type.

There is a question if the Building Code requires a foundation below frost (extending four feet in the ground) beneath this enclosure. I prefer to leave that up to the owner. If the enclosure were mine and was intended to be permanently in place, I believe I would put the foundation below frost. If it is merely a winter enclosure, however, I think I would do it as planned on a concrete slab. It is to be borne in mind that the type of wallboard to be used inside and out is inclined to be brittle and unable to stand very much dislocation by heaving of the frost which is almost never uniform.

Very truly yours,

WScD/H

Inspector of Buildings

CC: Liggett's Drug Store
512 Congress Street



APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class Permit No. 125

DEC 7 1942

Portland, Maine, December 2, 1942

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 513 Congress Street Within Fire Limits? yes Dist. No. 1
Owner's or Lessee's name and address John Russell Hairs Telephone _____
Lessee Liggett's Drug Store, 513 Congress St.
Contractor's name and address Burnham McLellan, 401 1/2 Congress St. Telephone 2-5951
Architect _____ Plans filed yes No. of sheets 1
Proposed use of building Stores No. families _____
Other buildings on same lot _____
Estimated cost \$ 75. Fee \$.50

Description of Present Building to be Altered

Material brick No. stories 3 Heat _____ Style of roof _____ Roofing _____
Last use Stores No. families _____

General Description of New Work

To provide storm enclosure 4' x 4' at rear entrance door - concrete slab -
2x4 studs 16" OC covered on both sides with 1/2" lfbestos

INSPECTION NOT COMPLETED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

STATEMENT OF CONTRACTOR
CONSENT IS WAIVED

Is any plumbing work involved in this work? _____
Is any electrical work involved in this work? _____ Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation concrete slab Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof flat Rise per foot 1 1/2" Roof covering Asphalt roofing Class C Und. Lab.
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Framing lumber - Kind _____ Dressed or full size? _____
Corner posts _____ Sills 2x4 Bolted to concrete _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 3x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor concrete, 2nd _____, 3rd _____, roof 2x4
On centers: 1st floor _____, 2nd _____, 3rd _____, roof 16"
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof 4'
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY
Signature of owner Liggett Drug Store
Burnham McLellan
By Walter McLellan