

447-A-1

2005-0087

1 Bean Pot Circle

Bld. Expansion

B+M Beams

on Spreadsheet



PORTLAND, MAINE

Strengthening a Remarkable City, Building a Community for Life
www.portlandmaine.gov

Planning and Urban Development
Penny St. Louis Littell, Director

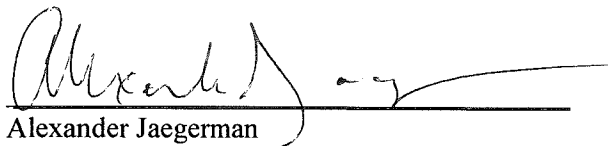
Planning Division
Alexander Jaegerman, Director

TO: Ellen Sanborn, Finance Department
FROM: Alexander Jaegerman, Planning Division Director
DATE: April 28, 2009
SUBJECT: Request for Release of Performance Guarantee
B & G Foods, Inc, 1 Bean Pot Circle
(ID# 2005-0087 Lead CBL#447 A 001001)

Please release the letter of credit, #710-0000-238-81-00 dated September 7, 2005 for the B & M Beans Expansion Project at 1 Bean Pot Circle.

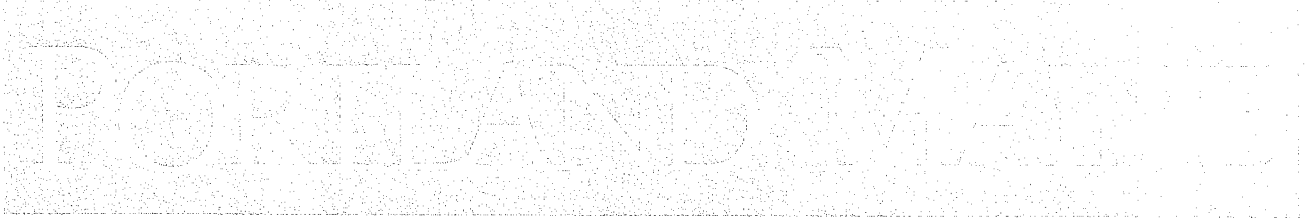
Remaining Balance \$ 9,860.00

Approved:



Alexander Jaegerman
Planning Division Director

cc: Barbara Barhydt, Development Review Services Manager
Philip DiPierro, Development Review Coordinator
File: Urban Insight



Strengthening a Remarkable City, Building a Community for Life www.portlandmaine.gov

Finance Department
Duane G. Kline, Director

February 28, 2008

B&G Foods, Inc.
4 Gatehall Drive, Suite 110
Parsippany, NJ 07054

Re: Performance Guarantee – B&G Foods for Burnham & Morrill Co.
 Escrow Account #710-0000-233-81-00

Enclosed please find a check for \$88,740.00, which the Planning Department has authorized me to release. This leaves a \$9,860.00 balance in the above-referenced account.

If you require any further information, please let me know.

Sincerely,

Duane G. Kline
Finance Director

DGK:mma
Enclosure

cc: ✓ Barbara Barhydt, Development Review Services Manager
 ✓ Philip DiPierro, Development Review Coordinator



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life www.portlandmaine.gov

Planning and Development Department

Lee D. Urban, Director

Planning Division

Alexander Jaegerman, Director

TO: Duane Kline, Finance Department

FROM: Alexander Jaegerman, Planning Division Director

DATE: February 25, 2008

SUBJECT: Request for Reduction of Performance Guarantee to Defect Guarantee
B & G Foods, Inc, 1 Bean Pot Circle
(ID# 2005-0087 Lead CBL#447 A 001001)

Please reduce the letter of credit, #710-0000-238-81-00 dated September 7, 2005 for the B & M Beans Expansion Project at 1 Bean Pot Circle, to the Defect Guarantee.

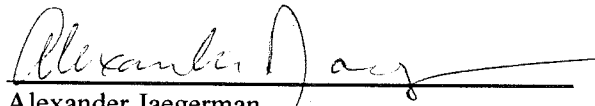
Original Amount \$98,600.00

This Reduction **\$88,740.00**

Remaining Balance \$ 9,860.00

This is the first reduction for the project.

Approved:


Alexander Jaegerman
Planning Division Director

cc: Barbara Barhydt, Development Review Services Manager
Philip DiPierro, Development Review Coordinator
File: Urban Insight

DEPARTMENT OF ENVIRONMENTAL PROTECTION
PERMIT BY RULE NOTIFICATION FORM
 (For use with DEP Regulation, Chapter 305)

PI PHASE TYPE OR PRINT IN BLACK INK ONLY

Name of Applicant (owner): BURNHAM & MERRILL CO.		Name of Agent: MARK B. BIGELOW	
Applicant Mailing Address: 1 BEAN POT Circle		Agent Phone # (include area code): 207-772-8341 x230	
Town/City: Portland		PROJECT Information Name of Town/City: PORTLAND, MAINE	
State and Zip code: MAINE 04103		Name of Wetland or Waterbody: CASCO BAY	
Daytime Phone # (include area code): 207-772-8341 ext. 269		Map #:	Lot #:
Detailed Directions to Site: Heading north on 295, take the Washington St. West exit. AT 1st intersection take a right on VIRAWA St. The second road on your right is Sherwood. go to the end.			
Description of Project: As per discussion with MDEP, we are proposing to move our non-contact water discharge to a point below mean H₂O level.		UTM Northing: (if known)	UTM Easting: (if known)
Part of a larger project? (check one) →	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	After the Fact? (check one) →	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Check one → This project <input checked="" type="checkbox"/> does (or) <input type="checkbox"/> does not involve work below mean low water (average low water).			

PERMIT BY RULE (PBR) SECTIONS: (Check at least one)

I am filing notice of my intent to carry out work which meets the requirements for Permit By Rule (PBR) under DEP Rules, Chapter 305. I and my agents, if any, **have read** and will comply with all of the standards in the Sections checked below.

- | | | |
|---|---|---|
| <input type="checkbox"/> Sec. (2) Act. Adj. to Protected Natural Res. | <input type="checkbox"/> Sec. (10) Stream Crossing | <input type="checkbox"/> Sec. (17) Transfers/Permit Extension |
| <input type="checkbox"/> Sec. (3) Intake Pipes | <input type="checkbox"/> Sec. (11) State Transportation Facil. | <input type="checkbox"/> Sec. (18) Maintenance Dredging |
| <input type="checkbox"/> Sec. (4) Replacement of Structures | <input type="checkbox"/> Sec. (12) Restoration of Natural Areas | <input type="checkbox"/> Sec. (19) Activities in/on/over significant vernal pool habitat |
| <input type="checkbox"/> Sec. (5) REPEALED | <input type="checkbox"/> Sec. (13) F&W Creation/Enhance/Water Quality Improvement | <input type="checkbox"/> Sec. (20) Activities in existing dev. areas located in/on/over high or moderate value inland waterfowl & wading bird habitat or shorebird nesting, feeding & staging areas |
| <input type="checkbox"/> Sec. (6) Movement of Rocks or Vegetation | <input type="checkbox"/> Sec. (14) REPEALED | |
| <input checked="" type="checkbox"/> Sec. (7) Outfall Pipes | <input type="checkbox"/> Sec. (15) Public Boat Ramps | |
| <input type="checkbox"/> Sec. (8) Shoreline stabilization | <input type="checkbox"/> Sec. (16) Coastal Sand Dune Projects | |
| <input type="checkbox"/> Sec. (9) Utility Crossing | | |

I have attached the following required submittals. **NOTIFICATION FORMS CANNOT BE ACCEPTED WITHOUT THE NECESSARY ATTACHMENTS:**

- Attach** a check for \$65 made payable to: "Treasurer, State of Maine".
- Attach** a U.S.G.S. topo map or Maine Atlas & Gazetteer map with the project site clearly marked.
- Attach** Certificate of Good Standing. If new applicant is a registered corporation, provide either a *Certificate of Good Standing* (available from Secretary of State) or a statement signed by a corporate officer affirming that the corporation is in good standing.
- Attach photos of the proposed site where activity will take place as outlined in PBR Sections checked above.**
- Attach** all other required submissions as outlined in the PBR Sections checked above.

I authorize staff of the Departments of Environmental Protection, Inland Fisheries & Wildlife, and Marine Resources to access the project site for the purpose of determining compliance with the rules. I also understand that **this permit is not valid until approved by the Department or 14 days after receipt by the Department, whichever is less.**

By signing this Notification Form, I represent that the project meets all applicability requirements and standards in the rule and that the applicant has sufficient title, right, or interest in the property where the activity takes place.

Signature of Agent or Applicant: Mark B. Bigelow	Date: 6/19/2009
---	------------------------

Keep a copy as a record of permit. Send the form with attachments via certified mail or hand deliver to the Maine Dept. of Environmental Protection at the appropriate regional office listed below. The DEP will send a copy to the Town Office as evidence of the DEP's receipt of notification. No further authorization by DEP will be issued after receipt of notice. Permits are valid for two years. **Work carried out in violation of any standard is subject to enforcement action.**

OFFICE USE ONLY	Ck.# 1835	Staff JM	Staff
BR# 48434	FP# 65.00	Acc. Date 7/21/09	Def. Date
Date 7/7/09		After	

AUGUSTA DEP
 17 STATE HOUSE STATION
 AUGUSTA, ME 04333-0017
 (207)287-3901

PORTLAND DEP
 312 CANCO ROAD
 PORTLAND, ME 04103
 (207)822-6300

BANGOR DEP
 106 HOGAN ROAD
 BANGOR, ME 04401
 (207)941-4570

PRESQUE ISLE DEP
 1235 CENTRAL DRIVE
 PRESQUE ISLE, ME 04769
 (207)764-0477



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life® www.portlandmaine.gov

Finance Department
Ellen Sanborn, Director

May 12, 2009

B&G Foods, Inc.
4 Gatehall Drive, Suite 110
Parsippany, NJ 07054

Re: Performance Guarantee – B&G Foods for Burnham & Morrill Co.
Escrow Account #710-0000-233-81-00

Enclosed please find a check for \$9,860.00, which the Planning Department has authorized me to release. This leaves a zero balance in the above-referenced account.

If you require any further information, please let me know.

Sincerely,

Ellen Sanborn
Finance Director

ES:mma
Enclosure

cc: Barbara Barhydt, Development Review Services Manager
Philip DiPierro, Development Review Coordinator

2005-0087

From: William Needelman
To: DiPierro, Philip
Date: 2/4/2008 2:13:29 PM
Subject: Fwd: Reduction in performance Guaranty

1 Bean Pot Circle
B & M Expansion

Phil

Please see the attached request. We need to do an unusual inspection (sniff test) prior to signing off.

Bill

>>> "Adam Bear" <abear@BGFOODS.com> 2/4/2008 1:04:11 PM >>>
Bill,

I would like to request a reduction of the performance Guaranty for the project that is completed at B & M. The Building Permit No. was 05-1219.

If you need any other information, let me know.

Thanks,

Adam Bear

Plant Engineer

772-8341 e224

This email and any files transmitted with it are confidential and intended solely for the use of the individual or entity to whom they are addressed. If you have received this email in error please notify the system manager.

\$98,600

2/11/08 Processing product all this week 9:00-5:00
- call to schedule an appt.



STATE OF MAINE
 DEPARTMENT OF CONSERVATION
 22 STATE HOUSE STATION
 AUGUSTA, MAINE
 04333-0022

*Jenn -
 Please post the Notice,
 copy Sarah,
 Jack L.*

JOHN ELIAS BALDACCI
 GOVERNOR

PATRICK K. MCGOWAN
 COMMISSIONER

December 7, 2005

Bill - B:M

Municipal Officials
 Town of Portland
 389 Congress Street
 Portland, ME 04101-3503

RE: Submerged Lands Application


Dear Municipal Officials:

The Bureau of Parks and Lands (Bureau), has received an application from **Burnham and Morrill Co.** regarding their existing docking structure on publicly - owned submerged lands (land below mean low water) in **Portland**. The Bureau's records indicate that the above structure was in place in 1975 and therefore was granted a "constructive easement" to occupy submerged lands for 30 years, meaning that a conveyance from the Bureau is not required until September 30, 2005. The owner has applied to convert the constructive easement to a standard conveyance (lease or easement). No changes are proposed.

The purpose of this letter is to provide the municipality with an opportunity to comment on any significant impacts the structure may have as described in the enclosed Notice. Please post this Notice in the municipal office. *The comment period is 14 days unless we receive a request for an extension.*

Comments from the municipal officials and/or harbormaster, will greatly assist the Bureau in determining whether there is an opportunity to improve an existing condition before a new 30-year conveyance is granted. If significant concerns are raised regarding public trust rights, or it appears that setback distances can be improved, the Bureau will try to work with the owner to lessen these impacts by modifying any non-permanent elements of a structure. Generally, the Bureau will not request that permanent structures be modified.

If you have any questions, please feel free to contact Cindy Dionne at 287-6128 in writing or by email to *cindy.dionne@maine.gov*.

Sincerely,

 Julie McPherson
 Submerged Lands Program

Enc: notice
 cc: Harbormaster w/ enclosures





STATE OF MAINE
 DEPARTMENT OF CONSERVATION
 22 STATE HOUSE STATION
 AUGUSTA, MAINE
 04333-0022

JOHN ELIAS BALDACCI
 GOVERNOR

PATRICK K. MCGOWAN
 COMMISSIONER

NOTICE

Applicant: Burnham & Morrill Co.
Description: Pier and building for commercial use
Location: Back Cove, Sherwood Street

Pursuant to Title 12 M.R.S.A., Section 1801 & 1862, the Bureau of Parks and Lands serves as trustee of submerged lands for the State of Maine. Submerged lands include all land from the mean **low-water** mark seaward to the 3-mile territorial limit including all land below the mean **low-water** mark of tidal rivers upstream to the farthest natural reaches of the tides. Constructive easements were granted for 30 years to structures located on submerged lands in 1975. The Bureau has received an application to extinguish the constructive easement and obtain a lease or easement for the existing structure described above.

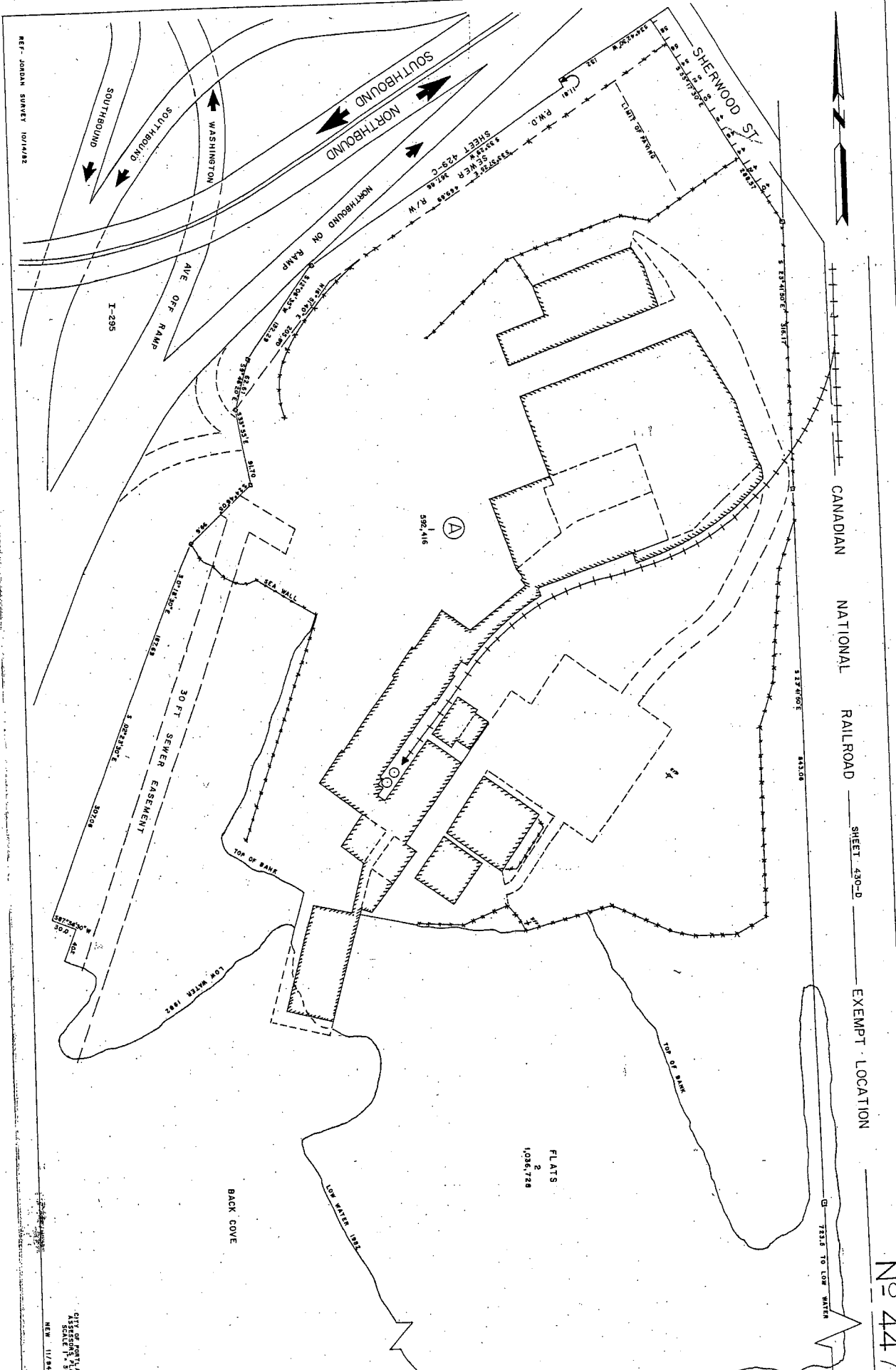
A lease or easement may be granted if the structure does not:

- unreasonably interfere with customary or traditional public access ways to, or public trust rights (fishing, fowling, recreation, and navigation) in, on or over the submerged lands;
- unreasonably interfere with fishing or other existing marine uses of the area;
- unreasonably diminish the availability of services and facilities necessary for commercial marine activities; and
- unreasonably interfere with ingress and egress of riparian owners.

While reviewing the application, the Bureau will take into account the fact that the structure has been in place for 30 years or more, and that some portion(s) may not comply with the current Submerged Lands Rules. As part of the Bureau's review, it will consider whether any non-permanent elements of a structure, such as floats, should be adjusted to improve the distance between structures. A copy of the site plan is attached for information. Any interested party or anyone who is knowledgeable about the area is welcome to comment on possible impacts to the activities listed above. **Written comments must be received by the Bureau on or before December 21,2005**

For more information, please contact Cindy Dionne, Bureau of Parks and Lands.
 Phone: (207) 287-6128
 Fax: (207) 287-8111
 Email: cindy.dionne@maine.gov





REF. JORDAN SINKET 10/14/82

I-295

SOUTHBOUND

SOUTHBOUND

WASHINGTON

SOUTHBOUND

NORTHBOUND

NORTHBOUND ON RAMP

AVE OFF RAMP

3120

3120

3120

3120

3120

3120

3120

3120

3120

3120

3120

3120

3120

3120

3120

3120

3120

FLATS
2
1,036,178

BACK COVE

LOW WATER 1982

TOP OF BANK

TOP OF BANK

SEA WALL

120 FT

120 FT

120 FT

120 FT

120 FT

120 FT

120 FT

120 FT

120 FT

120 FT

120 FT

7325 TO LOW WATER

CANADIAN NATIONAL RAILROAD EXEMPT LOCATION

SHEET 430-D

Nº 447

CITY OF PORTLAND
ASSESSOR'S PLAN
SCALE 1" = 50'
NEW 11/84

125'

125'

width-56'

width= 56'

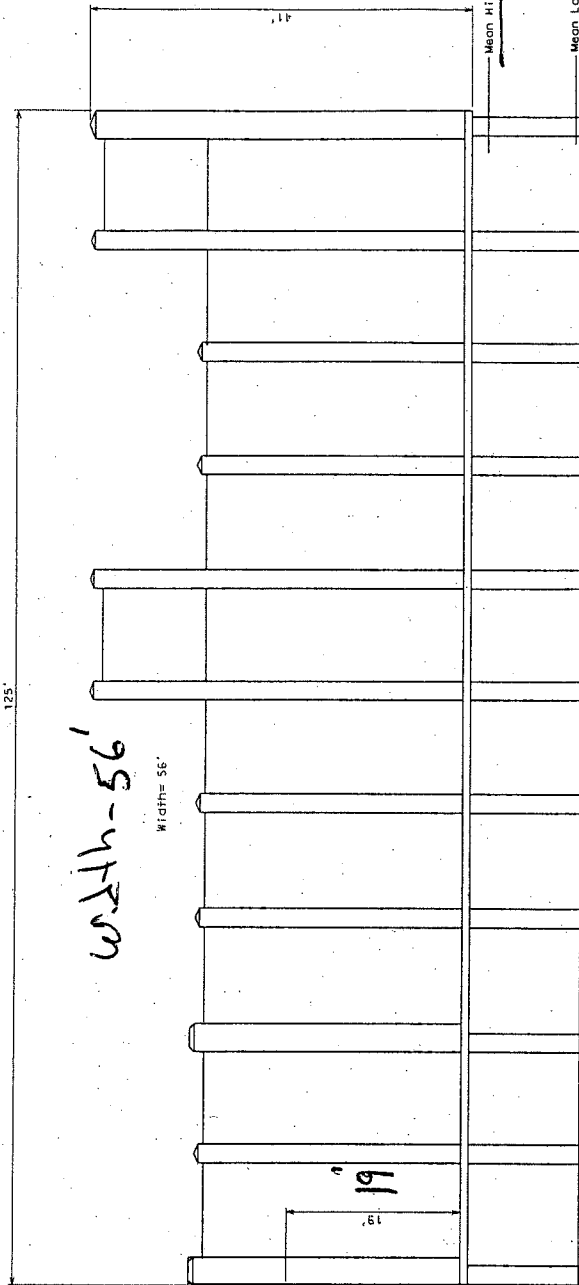
41'

High

Mean High Water

Mean Low Water

Low



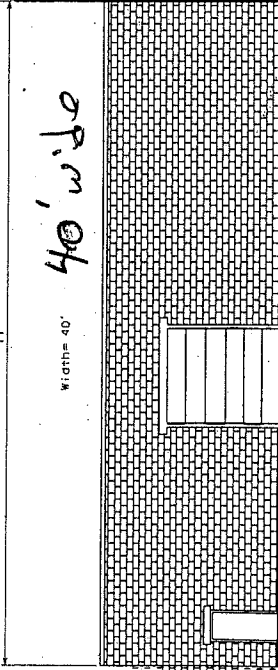
71'

71'

40' wide

width= 40'

19'



NOTE: There Are no Seasonal Portions

No



STATE OF MAINE
 DEPARTMENT OF CONSERVATION
 22 STATE HOUSE STATION
 AUGUSTA, MAINE
 04333-0022

JOHN ELIAS BALDACCI
 GOVERNOR

PATRICK K. MCGOWAN
 COMMISSIONER

December 7, 2005

Municipal Officials
 Town of Portland
 389 Congress Street
 Portland, ME 04101-3503

RE: Submerged Lands Application

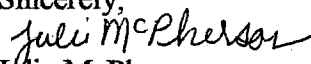
Dear Municipal Officials:

The Bureau of Parks and Lands (Bureau), has received an application from **Burnham and Morrill Co.** regarding their existing docking structure on publicly - owned submerged lands (land below mean low water) in **Portland**. The Bureau's records indicate that the above structure was in place in 1975 and therefore was granted a "constructive easement" to occupy submerged lands for 30 years, meaning that a conveyance from the Bureau is not required until September 30, 2005. The owner has applied to convert the constructive easement to a standard conveyance (lease or easement). No changes are proposed.

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Sincerely,

 Julie McPherson
 Submerged Lands Program

Enc: notice
 cc: Harbormaster w/ enclosures



PRINTED ON RECYCLED PAPER

www.maine.gov/doc
 PHONE: (207) 287-3821
 FAX: (207) 287-6170
 FAX: (207) 287-8111
 TTY: (207) 287-2213

BUREAU OF PARKS AND LANDS
 DAVID J. SOUCY, DIRECTOR



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

July 29, 2005

Mr. Robert Arledge, PE
Associated Design Partners, Inc.
80 Leighton Road
Falmouth, Me. 04105

Adam Bear
B & M Beans
One Bean Pot Circle
Portland, ME 04103

RE: B&M Baked Beans Expansion Project
CBL: 447 A001001

Dear Mr. Arledge and Mr. Bear:

On July 29, 2005, the Portland Planning Authority approved a 9,864 square foot building addition to the existing B&M Baked Bean manufacturing plant as shown on the approved plan with the following condition:

That the building addition is conditionally approved without odor mitigation technology based on the applicant's representation that the proposed manufacturing process, namely the production of a canned meat product as described in the applicant's submission packet, will not produce a discernable odor outside of the plant. Within the first six months of production of this product, the Planning Division staff shall make periodic inspections of the facility at the property boundary to determine if an odor attributable to the new production exists. If no such odor is readily detectable at the property boundary, as determined by the Planning and Development Authority, this approval shall remain in effect. If upon inspection an attributable odor is detected, then at the sole discretion of the Planning and Development Authority, the applicant will be required to install either the odor mitigation technology described in the letter from Steve Whipple, PE, Woodard and Curran Engineers to Sarah Hopkins, City of Portland, dated May 27, 2005; or, the applicant will be required to install such alternative technology as may be proposed by the applicant for the review and approval of the Planning and Development Authority.

Note: The above condition is required due a lack of quantifiable data supporting the applicant's assertion that an odor nuisance will not result from the new canned meat production. If at any time prior to commencement of manufacture of the new product such data is provided, for the review and approval of the Planning and Development Authority, the above condition shall be reconsidered.

cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Services Manager
Bill Needelman, Senior Planner
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Inspections
Michael Bobinsky, Public Works Director
Traffic Division
Eric Labelle, City Engineer
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Nelle Hanig, Economic Development
Fire Prevention
Assessor's Office
Approval Letter File

0019125

BK14616PG057

1

RELEASE DEED

The Pillsbury Company, a Delaware corporation with a principal place of business at 200 So. 6th Street, Minneapolis, County of Hennepin and State of Minnesota 55402, for consideration paid, releases to the Heritage Acquisition Corp., a Delaware corporation of Roseland, New Jersey, and whose mailing address is 426 Eagle Rock Avenue, Roseland, New Jersey 07068, all of The Pillsbury Company's right, title and interest in certain parcels of land, together with the fixtures and improvements thereon situated in the City of Portland, County of Cumberland, State of Maine, as more particularly described in Exhibit A, attached hereto and by this reference incorporated herein.

IN WITNESS WHEREOF, the Pillsbury Company has caused this instrument to be executed in its name by David Schmitt, Vice President, hereunto duly authorized, dated as of the 15th day of March, 1999

WITNESS:

THE PILLSBURY COMPANY

[Handwritten signature]

By: *[Handwritten signature]*
Name: David Schmitt
Title: Vice President

STATE OF NEW YORK

COUNTY OF NEW YORK, SS.

March 15, 1999

Personally appeared the above named David Schmitt, the duly authorized Vice President of The Pillsbury Company and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of The Pillsbury Company.

Before me,

SEAL

[Handwritten signature]
Notary Public

Print Name: Deborah R. Sirovich

Commission Expires: _____

DEBORAH R. SIROVICH
NOTARY PUBLIC, State of New York
No. 018316013044
Qualified in Westchester County
Commission Expires September 8, 2000

EXHIBIT A

A certain parcel of land located on the easterly sideline of Interstate 295 and the southerly sideline of Sherwood Street, in the City of Portland, Cumberland County, Maine, bounded and described as follows:

Beginning at a 6-inch by 6-inch granite monument found inscribed "ECJ #356" marking the southerly sideline of Sherwood Street westerly sideline of said Canadian National Railroad and further described as the most northeasterly corner of described parcel;
 THENCE, S 23-36-55 E, along said Railroad 316.33 feet to a 6-inch by 6-inch granite monument found inscribed "ECJ 356";
 THENCE, S 23-36-55 E, along said Railroad, 526.90 feet, to a 4-inch by 4-inch granite monument with a drill hole;
 THENCE, S 23-36-55 E, along said Railroad, 745 feet, more or less to the low water mark of the Casco Bay;
 THENCE, in a general westerly direction along said low water line about 1,685 feet to a point on the easterly sideline of Interstate 295;
 THENCE, N 2-23-50 W, along said sideline, 48 feet, more or less to a point;
 THENCE, S 87-36-10 W, along said sideline, 30.00 feet to a point;
 THENCE, N 2-23-50 W, along said sideline, 61.46 feet to a drill hole found, said drill hole lying on a tie course of S 73-07-39 W, 878.87 feet from the previous mentioned 4-inch by 4-inch granite monument with a drill hole;
 THENCE, N 2-23-50 W, along said sideline, 237.87 feet to a 5/8 inch re-bar found capped "ECJ #509";
 THENCE, N 89-44-14 E, along said sideline, 1.05 feet to a 5/8 inch re-bar found capped "ECJ #509";
 THENCE, N 6-28-53 E, along said sideline, 122.88 feet to a 5/8 inch re-bar found capped "ECJ #509";
 THENCE, N 0-24-30 E, along said sideline, 88.91 feet to a 4-inch by 4-inch granite monument found inscribed "ECJ #509";
 THENCE, N 24-48-04 E, along said sideline, 60.29 feet to a 6-inch by 6-inch granite highway monument;
 THENCE, N 31-29-16 W, along said sideline, 31.96 feet to a 4-inch by 4-inch granite monument inscribed "ECJ #509";
 THENCE, N 3-26-49 W, along said sideline, 111.10 feet to a 5/8 inch re-bar found capped "ECJ #509";
 THENCE, N 8-40-57 E, along said sideline, 89.05 feet to a 4-inch by 4-inch granite monument inscribed "ECJ #509";
 THENCE, N 23-15-05 E, along said sideline, 66.28 feet to a 4-inch by 4-inch granite monument inscribed "ECJ #509";
 THENCE, N 34-47-28 E, along said sideline, 96.68 feet to a 4-inch by 4-inch granite monument inscribed "ECJ #509";
 THENCE, N 25-25-29 E, along said sideline, 160.02 feet to a 5/8 inch re-bar found capped "ECJ #509";

BK 14616 PG 059

EXHIBIT A (contd.)

THENCE, N 23-37-03 E, along said sideline, 63.03 feet to a 4-inch by 4-inch granite monument inscribed "ECJ #509";
THENCE, N 39-23-04 E, along said sideline, 6.72 feet to a 6-inch by 6-inch granite monument found inscribed "ECJ #509";
THENCE, N 55-32-30 W, along said sideline, 11.67 feet to a 4-inch by 4-inch granite monument inscribed "ECJ #509";
THENCE, N 34-47-50 E, along said sideline, 117.04 feet to a 4-inch by 4-inch granite monument inscribed "ECJ #509";
THENCE, N 34-43-38 E, along said sideline, 15.02 feet to a 5/8 inch re-bar found capped "ECJ #509" marking the southerly sideline of Sherwood Street;
THENCE, S 55-12-08 E, along said Sherwood Street, 288.60 feet to the point of beginning.

Together with a constructive easement pursuant to 12 M.R.S.A. Section 1862 (6) for a thirty (30) year period commencing October 1, 1975 with respect to the structure shown on the Survey by OEST Associates recorded in the Cumberland County Registry of Deeds in Plan Book 199, Page 159 as lying partially below the low water mark of Casco Bay.

RECEIVED
RECORDED REGISTRY OF DEEDS
1999 MAR 17 PM 3:32
CUMBERLAND COUNTY
John B. Coburn

0019124

BK14616PG050

QUITCLAIM DEED WITH COVENANT

The Pillsbury Company, a Delaware corporation with a principal place of business at 200 So. 6th Street, Minneapolis, County of Hennepin and State of Minnesota 55402, for consideration paid, grants to the Heritage Acquisition Corp., a Delaware corporation of Roseland, New Jersey, and whose mailing address is 426 Eagle Rock Avenue; Roseland, New Jersey 07068, with QUITCLAIM COVENANT, certain parcels of land, together with the fixtures and improvements thereon situated in the City of Portland, County of Cumberland, State of Maine, as more particularly described on Exhibit A, attached hereto and by this reference incorporated herein, including, without limitation, any and all appurtenances, easements and other improvements relating or pertaining thereto.

MAINE REAL ESTATE TAX PAID

IN WITNESS WHEREOF, The Pillsbury Company has caused this instrument to be executed in its name by David Schmitt, Vice President hereunto duly authorized, dated as of the 15th day of March, 1999.

WITNESS:

THE PILLSBURY COMPANY

[Signature]

By: [Signature]
Name: David Schmitt
Title: Vice President

STATE OF NEW YORK
COUNTY OF NEW YORK SS.:

March 15 1999

Personally appeared the above named David Schmitt, the duly authorized Vice President of The Pillsbury Company and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of The Pillsbury Company.

Before me,

SEAL

[Signature]
Notary Public

Print Name: Elisabeth Falalcey

Commission Expires: Aug 13, 2002

EXHIBIT A

I. Ten parcels of land with the buildings thereon situated in the State of Maine, City of Portland, in the district formerly known as East Deering, and being more particularly bounded and described as follows:

Parcel One - So-called Merrill Lot

A parcel of land bounded northeasterly and easterly by land now or formerly of Mark Jordan; southerly by the channel of Back Bay; westerly by land now or formerly of George P. Derr; northerly and westerly by land now or formerly of Alberta Pettengill.

There is hereby excepted from Parcel One (a) that part which William W. Merrill conveyed to Ralph Kelley by deed of quit-claim bearing date of May 23, 1853, and recorded in the Cumberland County Registry of Deeds in Book 269, Page 137, and (b) that part of the same which William M. Merrill conveyed to Silas M. Adams by deeds bearing date of April 17, 1869, and December 11, 1860, and recorded in said Registry in Book 298, Page 425, and in Book 314, Page 463.

Parcel Two - So-called Jordan-Saunders Lot

A triangular parcel bounded and described as follows: beginning at a stake in the division line between land formerly of Sarah Jordan and Isabelle Jordan Saunders and land formerly of William Merrill, said stake being about eighty-eight (88) feet northerly of a street formerly known as Water Street on a line that passes through a stake five (5) feet northwest of the northwesterly corner of a house on said land of Merrill; thence from said first named stake north sixty-nine (69) degrees two (2) minutes east three hundred twenty-one (321) feet and thirty-five one hundredths ($35/100$) of a foot to a post in the westerly line of the right of way of Grand Trunk Railway Company of Canada; thence southerly by said westerly line of said right of way of said Railway Company five hundred sixty-eight (568) feet, more or less, to the northerly line of said land of Merrill; thence north forty (40) degrees thirty-seven (37) minutes west by said northerly line of Merrill's land five hundred ninety (590) feet, more or less, to point of beginning.

Parcel Three - So-called Derr Lot

A parcel bounded and described as follows, viz: beginning at a stake standing in the northerly side line of said Water Street, in the easterly corner of land formerly owned by Ephraim Sawyer; thence running south seventy-one (71) degrees east to a point where was situated an "Oak Stump" January 23, 1845, a distance of one (1) rod and eleven (11) links; thence south forty (40) degrees east five (5) rods and eight (8) links; thence north nine (9) degrees east twelve and one-half ($12 \frac{1}{2}$) rods to the line on which an old fence formerly stood; thence northwesterly by the line of said fence one hundred and thirty (130) feet to a point; thence on a straight line two hundred and thirty (230) feet, more or less, to the first bounds mentioned.

Also a certain lot or parcel of upland and flats on the southerly side of said Water Street, so-called, directly opposite the above described lot, bounded and described as follows: beginning on said southerly side of said Water Street at the northeasterly corner of land now or formerly of Ephraim Sawyer; thence southerly by said Sawyer land to the channel; thence easterly by said channel to land formerly of Burnham & Morrill Company; thence northerly by said Burnham & Morrill Company's land to said Water Street; thence westerly by said Water Street to said Sawyer land and point of beginning.

Excepting and reserving from Parcel Three that portion which was conveyed to Lemuel Dyer to Jacob P. Shattuck by his deed dated January 23, 1865, and recorded in said Registry in Book 770, Page 141.

Parcel Four - So-called Pettengill Lot

A parcel of land bounded and described as follows: beginning on said Water Street where the said lot and the land now or formerly of L. W. Dyer intersects at a post firmly set in the ground; thence along said Water Street in a southeasterly direction about eighty feet (80') to a post where the said lot intersects with land formerly owned by William W. Merrill; thence in a northeasterly direction about 100 feet to a post and land formerly owned by Ralph Kelley; thence in a northwesterly direction about 120 feet to a post and land now or formerly of said L. W. Dyer; thence in a southwesterly direction along said Dyer land to the point of beginning.

Parcel Five - So-called Shattuck Lot

Two parcels of land bounded and described as follows: beginning on the southerly side of said Water Street at the northeasterly corner of land and flats formerly belonging to Isaac Sturdivant and the heirs of Isaac Hsley; thence running southwesterly by said land and flats owned as aforesaid to low water mark; thence easterly by low water mark to land and flats formerly belonging to Lemuel Dyer; thence northeasterly by said Dyer land and flats to said Water Street; thence westerly by said Water Street to place of beginning; being about one hundred (100) feet on said Water Street and extending to low water mark, holding the width of one hundred (100) feet; subject to the rights and limitations set forth in the Colonial Ordinances, 1641-1646.

Also another certain lot or parcel of land with the buildings thereon, situated on the northerly side of said Water Street, bounded and described as follows: beginning at a post standing on the northerly side of said Water Street, south forty (40) degrees west, fourteen (14) feet and six (6) inches from the most southwesterly corner of the cellar wall of the house formerly on said premises; thence running north two (2) degrees east by land formerly of the heirs of James Lunt, one hundred (100) feet to a post at the southeasterly corner of land formerly of S. B. Brackett; thence north seven and one-half (7-1/2) degrees east by said Brackett's land, and by land formerly of the heirs of James Lunt, one hundred fifty-two (152) feet, more or less, to land formerly of Ralph Kelley; thence southeasterly by said Kelley's land, one hundred fifty-five (155) feet, more or less, to land conveyed by James Lunt to John Randall and William M. Merrill, afterwards owned by Lemuel Dyer; thence southwesterly by said last mentioned land to said Water Street; thence westerly by said Water Street to the place of beginning.

Parcel Six - So-called Dartmouth Real Estate Company Lot

A parcel of land with the buildings thereon bounded and described as follows: commencing at a stake standing in the northwesterly side line of a right of way granted to said Burnham & Morrill Company, which said stake is fifty-three and nine hundredths (53.09) feet on a course north 39 degrees 35 minutes west, from a concrete monument which stands on the southeasterly side line of said right of way and separating said right of way from other land of the said Burnham & Morrill Company; thence north 39 degrees 35 minutes west, three hundred forty-seven and sixty-eight hundredths (347.68) feet to a stake; thence at right angles on a course north 50 degrees 25 minutes east three hundred six and ninety-eight hundredths (306.98) feet to a stake; thence at right angles and running on a course of south 39 degrees 35 minutes east two hundred nine and fifty-five hundredths (209.55) feet to a stake; thence on a course of south 38 degrees 45 minutes east two hundred ninety-nine and eighteen hundredths (299.18) feet to a concrete monument standing in the line of the right of way of the Grand Trunk Railway of Canada; thence turning an interior angle of 71 degrees 11 minutes and running on a course south 70 degrees 04 minutes west one hundred sixty and sixty-eight hundredths (160.68) feet to a concrete monument at the easterly corner of the right of way of Burnham & Morrill Company; thence turning an angle of 90 degrees and running fifty (50) feet across the end of said right of way to a stake; thence in a course south 70 degrees 04 minutes west one hundred seventy-eight and fifty-two hundredths (178.52) feet to the point of beginning.

A plan of the above described premises entitled "The McLain Company Plan": is recorded in the Registry of Deeds for Cumberland County in Plan Book 15, Page 26.

Parcel Seven - So-called McCracken Lot

A parcel of land situated on the southwesterly side of Sherwood Street (formerly Winslow Street) in said Portland, and more particularly bounded and described as follows:

beginning at a point on the southwesterly line of Sherwood Street at the easterly corner of Lot No. 7 on Plan of Property belonging to the Lunt Heirs, made by John D. Balley, C. E., dated May 15, 1857, and recorded in Cumberland County Registry of Deeds in Plan Book 3, Page 48; thence southwesterly along the southeasterly line of said Lot No. 7 one hundred thirty-two (132) feet to a point on the southwesterly line of Lot No. 6 as shown on said Plan; thence southeasterly along said southwesterly line of Lot No. 6 and Lot No. 5 on said Plan one hundred (100) feet to the westerly corner of Lot No. 4 on said Plan; thence northeasterly along the northwesterly line of Lot No. 4 one hundred thirty-two (132) feet to a point on the southwesterly line of said Sherwood Street; thence along the southwesterly line of Sherwood Street in a northwesterly direction one hundred (100) feet to the point of beginning.

Being Lots Nos. 5 and 6 as shown on said Plan of Property belonging to the Lunt Heirs, recorded in Plan Book 3, Page 48.

Parcel Eight - So-called Lunt Lot

A parcel of land consisting of lots numbered three (3) and four (4) on the southwesterly side of Sherwood Street, formerly called Winslow Street, as delineated upon a plan entitled "Plan of Property belonging to the Lunt Heirs" and duly recorded in Cumberland County Registry of Deeds, in Plan Book 3, Page 48, to which plan and record thereof reference is hereby made for a more particular description of the premises above described.

Parcel Nine - So-called Wells Lot

A parcel of land situated on the southwesterly side of Sherwood (formerly Winslow) Street in said Portland, bounded and described as follows: beginning on said southwesterly side of said Sherwood Street at the most easterly corner of lot number 3 and the most northerly corner of lot number 2 on a plan made by John D. Bailey dated May 15, 1857 for the James Lunt heirs recorded in Cumberland County Registry of Deeds in Plan Book 3, Page 48; thence running southeasterly by said Street 87 feet to a stake standing on the most westerly line of the location of the Grand Trunk Railroad; thence southerly on the line of said Grand Trunk Railroad location 251 feet, more or less, to a stake standing on the line of land now or formerly owned by Ralph Kelley; thence northwesterly by said Kelley land 300 feet, more or less, to the most southerly corner of lot number 3 on said plan; thence northeasterly 132 feet to the point of beginning; being lots number 1 and 2 on said plan.

Parcel Ten - So-called Eastern Dredging Company Lot

A parcel of land conveyed by Charles B. Clarke, Trustee in Bankruptcy of Eastern Dredging Company, to Burnham & Morrill Company by deed dated May 22, 1916 and recorded in said Registry in Book 971, Page 270.

Excepting from the above parcels the land taken by the State of Maine by Notices of Layout and Taking dated August 12, 1953, recorded in the Cumberland County Registry of Deeds in Book 2146, Page 400; dated April 30, 1958, recorded in the Cumberland County Registry of Deeds in Book 2407, Page 418; dated September 3, 1985, recorded in the Cumberland County Registry of Deeds in Book 6897, Page 226; by deed to State of Maine dated July 17, 1957, recorded in the Cumberland County Registry of Deeds in Book 2369, Page 116 and by Receipt and Confirmation of Taking dated September 13, 1960, recorded in the Cumberland County Registry of Deeds in Book 2563, Page 202.

The above described parcels are, in whole or in part, conveyed subject to the conditions, obligations and restrictions to which reference is made in the following instruments:

1. Rights and easements granted to Central Maine Power Company and New England Telephone and Telegraph Company as set forth in an instrument from Burnham & Morrill Company dated July 13, 1948, recorded in the Cumberland County Registry of Deeds in Book 1989, Page 88.

2. Rights and easements granted to Central Maine Power Company and New England Telephone and Telegraph Company as set forth in an instrument from Burnham & Morrill Company dated July 5, 1951 and recorded in the Cumberland County Registry of Deeds in Book 2053, Page 394.
3. Rights and easements granted to central Maine Power Company and New England Telephone and Telegraph Company as set forth in an instrument from Burnham & Morrill Company dated July 1, 1959 and recorded in the Cumberland County Registry of Deeds in Book 2491, Page 45.
4. Rights and easements granted to Central Maine Power Company and New England Telephone and Telegraph Company as set forth in an instrument from George C. Seybolt et als as Trustees under Declaration of Trust dated May 31, 1966, dated March 4, 1969 and recorded in the Cumberland County Registry of Deeds in Book 3091, Page 18.
5. Rights and easements granted to Central Maine Power Company as set forth in an instrument from Burnham & Morrill Company dated October 31, 1986 and recorded in the Cumberland County Registry of Deeds in Book 7708, Page 219.
6. Terms and conditions as set forth in deed from City of Portland to Burnham & Morrill Company dated September 16, 1940 and recorded in the Cumberland County Registry of Deeds in Book 1622, Page 134, with reference to Water Street.
7. Terms and conditions of Maintenance of Service Road as set forth in deed from State of Maine Highway Commission to Burnham & Morrill Company dated August 7, 1957, recorded in the Cumberland County Registry of Deeds in Book 2368, Page 345.
8. Slope easements as set forth in Layout & Notice of Taking by State of Maine dated April 30, 1958 and recorded in the Cumberland County Registry of Deeds in Book 2407, Page 418.
9. Rights and easements as set forth in deed from Burnham & Morrill Company to City of Portland dated May 6, 1959 and recorded in the Cumberland County Registry of Deeds in Book 2471, Page 218.
10. Terms and conditions and rights and easements granted to Portland Water District as set forth in an instrument from George C. Seybolt et als, Trustees Under Declaration of Trust dated May 31, 1966, dated October 26, 1977 and recorded in the Cumberland County Registry of Deeds in Book 4124, Page 320.
11. Terms and conditions and rights and easements granted to Portland Water District as set forth in an instrument from George C. Seybolt et als, Trustees Under Declaration of Trust dated May 31, 1966, dated December 20, 1978 and recorded in the Cumberland County Registry of Deeds in Book 4360, Page 171.

BK 14616PG056

12. Controlled Access rights taken by State of Maine in Notice of Layout & Taking dated September 3, 1985 and recorded in the Cumberland County Registry of Deeds in Book 6897, Page 226.
13. Rights of Canadian National Railroad with respect to tracks traversing the property.
14. Sewer easement granted to Sarah Jordan and Isabelle Jordan Saunders by Burnham & Morrill Company as set forth in an instrument dated April 18, 1912 and recorded in the Cumberland County Registry of Deeds in Book 891, Page 256.

Being the same premises conveyed to The Pillsbury Company from William Underwood Company by deed dated November 6, 1998 and recorded in the Cumberland County Registry of Deeds in Book 14595, Page 196.

\\WORD1\vol\gen\1\Pillsbury\Co\Q\de\dm\Deed\DMAL.doc (01/199 4.19 PM)

RECEIVED
RECORDED REGISTRY OF DEEDS

1999 MAR 17 PM 3:30

CUMBERLAND COUNTY

John B. Coburn



City of Portland Site Plan Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Address of Proposed Development: ONE BEAN POT CIRCLE, PORTLAND, ME 04103 Zone: I-M		
Total Square Footage of Proposed Structure: 9,864 SQ. FT.	Square Footage of Lot: 566,280 SQ. FT. (13.0 ACRES)	
Tax Assessor's Chart, Block & Lot: Chart# Block# Lot#	Property owner's mailing address: HERITAGE ACQUISITION CORP	Telephone #: 973-401-6500
Consultant/Agent, mailing address, phone # & contact person: ASSOCIATED DESIGN PARTNERS, INC. 80 LEIGHTON ROAD FALMOUTH, ME 04105 207-878-1751 BOB ARLEDGE	Applicant's name, mailing address, telephone #/Fax#/Pager#: B & G FOODS, INC BURNHAM & MORRILL CONTACT: GLENN JAMESON 207-772-8341 x-269	Project name: B & M 2005 EXPANSION
<p>Proposed Development (check all that apply)</p> <p> <input type="checkbox"/> New Building <input checked="" type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot <input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ <input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____) <input type="checkbox"/> Traffic Movement (\$1,000.00) <input type="checkbox"/> Stormwater Quality (\$250.00) <input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot) <input type="checkbox"/> Other _____ </p> <p>Major Development (more than 10,000 sq. ft.)</p> <p> <input type="checkbox"/> Under 50,000 sq. ft. (\$500.00) <input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00) <input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00) <input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00) <input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00) <input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee) </p> <p>Minor Site Plan Review</p> <p> <input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$400.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee) </p> <p>Plan Amendments</p> <p> <input type="checkbox"/> Planning Staff Review (\$250.00) <input type="checkbox"/> Planning Board Review (\$500.00) </p>		
- Please see next page -		

Who billing will be sent to: (Company, Contact Person, Address, Phone #)

ASSOCIATED DESIGN PARTNERS, INC.

BOB ARLEDGE

80 LEIGHTON ROAD, FALMOUTH, ME 04105 207-878-1751

Submittals shall include (9) separate folded packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans check list

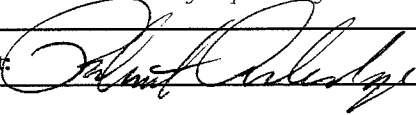
Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, & c)

ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process; copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: ci.portland.me.us chapter 14

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:



Date: 18 APR 2005

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

Development in Portland

The City of Portland has instituted the following fees to recover the costs of reviewing development proposals under the Site Plan and Subdivision ordinances: application fee; engineering fee; and inspection fee. Performance and defect guarantees are also required by ordinance to cover all site work proposed.

The **Application Fee** covers general planning and administrative processing costs, and is paid at the time of application.

The Planning Division is required to send notices to neighbors upon receipt of an application and prior to public meetings. The applicant will be billed for mailing and advertisement costs. Applicants for development will be charged an **Engineering Review Fee**. This fee is charged by the Planning Division for review of on-site improvements of a civil engineering nature, such as storm water management as well as the engineering analysis of related improvements within the public right-of-way, such as public streets and utility connections, as assessed by the Department of Public Works. The Engineering Review fee must be paid before a building permit can be issued. Monthly invoices are sent out by the Planning Division on a monthly basis to cover engineering costs.

A **Performance Guarantee** will be required following approval of development plans. This guarantee covers all required improvements within the public right-of-way, plus certain site improvements such as landscaping, paving, and drainage improvements. The Planning Division will provide a cost estimate form for figuring the amount of the performance guarantee, as well as sample form letters to be filled out by a financial institution.

An **Inspection Fee** must also be submitted to cover inspections to ensure that sites are developed in accordance with the approved plan. The inspection fee is 2.0% of the performance guarantee amount, or as assessed by the planning or public works engineer. The minimum inspection fee is \$300 for development, unless no site improvements are proposed. Public Works inspects work within the City right-of-way and Planning inspects work within the site including pipe-laying and connections. (The contractor must work with inspectors to coordinate timely inspections, and should provide adequate notice before inspections, especially in the case of final inspection.)

Upon completion of a development project, the performance guarantee is released, and a **Defect Guarantee** in the amount of 10% of the performance guarantee must be provided. The Defect Guarantee will be released after a year.

Other reimbursements to the City include actual or apportioned costs for advertising and mailed notices. All fees shall be paid prior to the issuance of any building permit.

For more information on the fees or review process, please call the Planning Division at 874-8719 or 874-8721.



City Of Portland Site Plan Checklist

Project Name, Address of Project	Application Number		
Submitted () & Date	Item	Required Information	Section 14-525 (b,c)
✓	(1)	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
✓	(2)	Name and address of applicant and name of proposed development	a
✓	(3)	Scale and north points	b
✓	(4)	Boundaries of the site	c
✓	(5)	Total land area of site	d
✓	(6)	Topography - existing and proposed (2 feet intervals or less)	e
	(7)	Plans based on the boundary survey including:	2
✓	(8)	Existing soil conditions	a
N/A	(9)	Location of water courses, marshes, rock outcroppings and wooded areas	b
✓	(10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
✓	(11)	Approx location of buildings or other structures on parcels abutting the site	d
✓	(12)	Location of on-site waste receptacles	e
✓	(13)	Public utilities	e
✓	(14)	Water and sewer mains	e
✓	(15)	Culverts, drains, existing and proposed, showing size and directions of flows	e
✓	(16)	Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
✓	(17)	Location and dimensions of on-site pedestrian and vehicular access ways	
	(18)	Parking areas	g
✓	(19)	Loading facilities	g
	(20)	Design of ingress and egress of vehicles to and from the site onto public streets	g
	(21)	Curb and sidewalks	g
	(22)	Landscape plan showing:	h
	(23)	Location of existing proposed vegetation	h
	(24)	Type of vegetation	h
	(25)	Quantity of plantings	h
	(26)	Size of proposed landscaping	h
	(27)	Existing areas to be preserved	h
	(28)	Preservation measures to be employed	h
	(29)	Details of planting and preservation specifications	h
	(30)	Location and dimensions of all fencing and screening	i
	(31)	Location and intensity of outdoor lighting system	j
✓	(32)	Location of fire hydrants, existing and proposed	k
✓	(33)	Written statement	c
✓	(34)	Description of proposed uses to be located on site	l
N/A	(35)	Quantity and type of residential, if any	l
✓	(36)	Total land area of the site	b2
✓	(37)	Total floor area and ground coverage of each proposed building and structure	b2
✓	(38)	General summary of existing and proposed easements or other burdens	c3
✓	(39)	Method of handling solid waste disposal	4
✓	(40)	Applicant's evaluation of availability of off-site public facilities, including sewer, water and streets	5
✓	(41)	Description of any problems of drainage or topography, or a representation that there are none	6
✓	(42)	An estimate of the time period required for completion of the development	7

April 19, 2005

04075

Planning and Development Department
City of Portland
Portland City Hall
389 Congress Street
Portland, ME 04101

Re: B&M Baked Beans Expansion

B&G Foods, Inc., the owner of the B&M Baked Bean plant in Portland, wish to move their Underwood Meat Spread production facility from Colorado to their Portland facility. There is some under utilized space in the existing building that will be converted to the new meat canning line, but some additional space will also be required. It is anticipated that initially 15 new jobs will be created by locating this facility in Portland.

The main requirement for additional space is for storing and depalletizing empty cans. The depalletizer is a machine approximately 45 feet long that lifts pallets of empty cans and sweeps cans off the pallet one row at a time then organizes them into single file on a conveyor. A 6,648 square foot can preparation area addition is proposed to house this piece of equipment and to store pallets of empty cans. The addition will be located in part on the footprint of an old, unused, wood and steel framed machine shop that is unsuitable for housing a food production facility and which will be removed.

Processing of food products with little or no meat in them is overseen by the Food and Drug Administration. The Food Inspection Service of the United State Department of Agriculture oversees and inspects production of food products that contain significant amounts of meat. For sanitation reasons, it is necessary that certain aspects of the two types of production be kept somewhat separate. For this reason new men's and women's locker rooms and an office for the production supervisor are proposed to be provided on a mezzanine in the can preparation building. They will be used exclusively for the new process. An office for the USDA inspector will be provided under the mezzanine.

A 1,764 square foot addition is proposed to create three new truck docks that are needed to support existing operations, but will also be used to bring in meat and empty cans for the new meat spread processing facility. This addition will also enclose a dust collector that is currently located outdoors. The space above the truck docks will provide an area to house some existing equipment closer the production area that it supports.

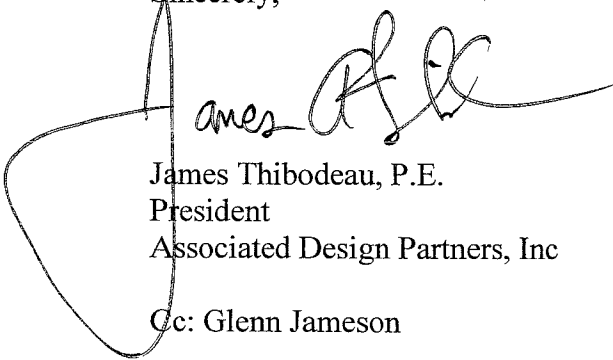
Finally a passageway between the new truck dock and the can preparation area is proposed to provide an enclosed route to move cans from the truck docks to the new can preparation area. The passageway would be 1,452 square feet and replace an existing storage shed.

This project is titled the B&M 2005 Expansion. The following items are included with this site plan improvement application:

1. City of Portland Site Plan Application form
2. *Site Plan*, drawing number C100
3. *Partial Site Plan of Existing Conditions*, drawing number C101
4. *Partial Site Plan of Proposed Conditions*, drawing number C102
5. *Site Details*, drawing number C103
6. OEST Associates, *ALTA/ACSM Land Title Survey*, drawing number ALTA-1
7. FEMA Flood Insurance Risk Map
8. Two deeds, dated March 15, 1999, evidencing ownership of the property
9. *Site Plan Improvement Application – Written Statement*
10. *First Floor Plan*, drawing number A101
11. *Second Floor Plan*, drawing number A102
12. *Proposed Elevations*, drawing number A301
13. *Foundation Plan*, drawing number S101
14. S.W. Cole Engineering, Inc., *Geotechnical Engineered Services report, 3/15/05*

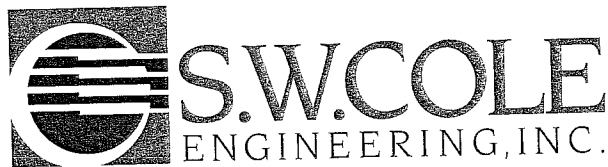
If you have any questions or require any additional information, please let us know.

Sincerely,

A handwritten signature in black ink, appearing to read "James Thibodeau". The signature is written in a cursive style and is positioned above the typed name and title.

James Thibodeau, P.E.
President
Associated Design Partners, Inc

Cc: Glenn Jameson



● *Geotechnical Engineering* ● *Field & Laboratory Testing* ● *Scientific & Environmental Consulting*

**GEOTECHNICAL ENGINEERING SERVICES
PROPOSED CANNED MEAT SPREAD EXPANSION
B&M BAKED BEANS FACILITY
ONE BEANPOT CIRCLE
PORTLAND, MAINE**

05-0077 March 15, 2005

Prepared for:

Associated Design Partners, Inc.
Attention: Bob Arledge, P.E.
80 Leighton Road
Falmouth, Maine 04105

Prepared by:



286 Portland Road
Gary, Maine 04039

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Attachment A - Limitations

Sheet 1 – Exploration Location Plan

Sheets 2 through 7 – Boring Logs

Sheet 8 – Key to Notes and Symbols used on Logs



S.W. COLE
ENGINEERING, INC.

• Geotechnical Engineering • Field & Lab Testing • Scientific & Environmental Consulting

05-0077

March 15, 2005

Associated Design Partners, Inc.
Attention: Bob Arledge, P.E.
80 Leighton Road
Falmouth, Maine 04105

Subject: Geotechnical Engineering Services
Proposed Canned Meat Spread Expansion
B&M Baked Beans Facility
One Beanpot Circle
Portland, Maine

Dear Mr. Arledge:

In accordance with our Agreement dated February 1, 2005, we have made a subsurface investigation at the site of the proposed building additions to the B&M Baked Beans Facility in Portland, Maine. We received verbal authorization to proceed on February 8, 2005. Preliminary subsurface findings and geotechnical recommendations for pile foundations were provided on February 21, 2005. This report summarizes our findings and geotechnical recommendations and its contents are subject to the limitations set forth in Attachment A.

1.0 INTRODUCTION

1.1 Scope of Work

The purpose of our work was to obtain subsurface information in order to develop geotechnical recommendations for foundations associated with the proposed construction. Our scope included six test boring explorations, a geotechnical evaluation of the subsurface findings relative to the proposed construction and preparation of this report.

1.2 Proposed Construction

Based on our discussions, we understand that the existing building consists of several structures. Portions of the existing building reportedly have spread footing foundations founded on bedrock while other portions are pile-supported. We understand that new

loading docks are proposed on the northeasterly side of the existing building. The proposed loading dock area will be about 24 feet by 53 feet in plan dimensions and will have a finish floor elevation at or near existing grade. We understand that a truckwell is being considered, and a new retaining wall will likely be needed at the edge of the proposed truckwell. Additional site improvements will include construction of an enclosed hallway for fork truck loader traffic and some new interior mechanical equipment in the southeasterly portion of the building. We understand that fills to construct the new additions will be limited to less than 1-foot.

2.0 EXPLORATION AND TESTING

2.1 Exploration

Six test borings (B-1 through B-6) were made at the site on February 16, 2005. The test borings were made by Northern Test Boring of Gorham, Maine. The exploration locations were selected by Associated Design Partners. S. W. COLE ENGINEERING, INC. established the test boring locations in the field based upon existing site features and underground utilities constraints. The approximate exploration locations are shown on the "Exploration Location Plan" attached as Sheet 1. Logs of explorations are attached at Sheets 2 through 7. A key to the notes and symbols used on the logs is attached as Sheet 8.

2.2 Testing

The test borings were drilled using solid-stem auger drilling techniques. The soils were sampled at 5-foot intervals using a split spoon sampler and Standard Penetration Test (SPT) methods. SPT results are shown on the logs. Soil samples obtained from the test borings were returned to our laboratory for further visual classification.

3.0 SITE AND SUBSURFACE CONDITIONS

3.1 Site Conditions

The site is relatively flat and level and situated on the existing B&M Baked Beans facility along the shoreline area of Casco Bay and Back Cove in Portland, Maine. The areas of the proposed building additions were covered with asphalt pavement during the test boring work.

3.2 Subsurface Conditions

Below a surficial layer of asphalt pavement, the test borings encountered a soil profile generally consisting of brown silty gravelly sand (pavement gravel) overlying black silt with sand, ash, organics, shells, glass and slag (fill) overlying gray silty clay and silty sand (glaciomarine sediments) overlying refusal surfaces (probable bedrock). The brown silty gravelly sand was generally found to be 0 to 2 feet thick and generally frozen. The black silt fill was generally found to be 6 to 10 feet thick, very loose and containing deleterious ash and organic materials. The glaciomarine sediments, where encountered, were generally found to be 8 to 13 feet thick. The glaciomarine silty sands were found to be loose to very loose in relative density and the glaciomarine clays were found to be medium in consistency. Each of the test borings were terminated on refusal surfaces (probable bedrock) encountered at depths varying from 8.4 to 23.3 feet below the ground surface.

3.3 Groundwater

At the time of drilling, groundwater was observed at depths of 4 to 6 feet below the ground surface. It should be noted that groundwater levels likely fluctuate in response to nearby tidal water levels.

3.4 Seismic and Frost Conditions

According to IBC 2000/2003, we interpret the subsurface conditions to correspond to a Seismic Site Class E. The design freezing index for the Portland, Maine area is approximately 1250 Fahrenheit-Degree-Days, which corresponds to a frost penetration on the order of 4.5 feet.

4.0 EVALUATION AND RECOMMENDATIONS

4.1 General Findings

Based on the findings at the exploration locations, and our understanding of the proposed project, it is our opinion the proposed construction appears feasible from a geotechnical standpoint provided the proposed building additions are founded on pile-supported foundations. As discussed, the excavation spoils generated from foundation excavations are unsuitable for foundation backfill against foundations exposed to freezing temperatures. As discussed, the fills containing ash may require disposal at regulated facilities such as a sanitary landfill or Commercial Recycling Systems of Scarborough, Maine.

Excavations for pile caps and grade beams will likely encounter groundwater seepage, which will likely require the use of a crushed stone mat to form a working pad to cast foundation concrete. The crushed stone mat will also provide a drainage media from which to sump and pump for temporary dewatering. A layer of geotextile filter fabric should also be needed below the crushed stone to help stabilize the subgrades. Deeper excavations for utilities will likely require braced shoring to support the excavation sidewalls and to help groundwater cutoff. Excavations made adjacent to existing structures must be properly shored or sloped to prevent undermining of the existing buildings.

4.2 Pile Foundations

4.2.1 Pile Design

Considering the subsurface conditions encountered and our understanding of the proposed construction, we recommend foundation support of the proposed building and floor slabs be derived from steel H-Piles with cast driving tips driven to end-bearing on bedrock. Grade beams, pile caps and foundations exposed to freezing temperatures should extend at least 4.5 feet below exterior finished grade for frost protection or be insulated with foundation insulation to provide adequate frost protection.

Based on our understanding of the project, we offer the following pile sections and allowable axial compressive capacities for design consideration. The allowable axial capacities have been reduced to allow for 1/8-inch corrosion of the pile section.

H-PILE SECTION ASTM A572 Grade 50	ALLOWABLE AXIAL COMPRESSIVE PILE CAPACITY (1/8" Corrosion Allowance)
HP10 x 42	80 kips
HP8 x 36	75 kips
NOTE: Axial capacity based up 1/8" corrosion reduction in steel and working stress not exceeding 16.7 ksi.	

Post-construction settlement of piles driven to practical refusal, on rock should not exceed ½ inch; elastic shortening of the pile should be evaluated on a pile cap by pile cap basis, as deemed necessary by the structural engineer. Considering the depth to bedrock and a

bottom of pile cap elevation of 4.5 feet below exterior grades, we anticipate pile lengths will likely vary from about 4 to 20 feet.

Piles should be spaced a minimum of two pile diameters, center-to-center, but not less than 24 inches. We recommend that pile caps and grade beams be underlain with 8 inches of compacted crushed stone to help provide a stable working surface during construction. Lateral loads can be resisted by passive earth pressures acting on the sides of pile caps and grade beams. For pile caps backfilled with properly compacted Structural Fill (clean, free-draining sand and gravel), we recommend a passive earth pressure of 325 pcf (equivalent fluid) for design consideration. Additional lateral resistance can be provided by tie beams and grade beams between the pile caps, as deemed necessary by the structural engineer.

4.2.2 Pile Submittals and Load Testing

The pile-driving contractor should submit information on the pile driving equipment and proposed 'set' or stop driving criteria to S. W. COLE ENGINEERING, INC. prior to the start of pile driving activities. S. W. COLE ENGINEERING, INC. should be on-site during the driving of piles to maintain pile-driving records and to monitor vibrations due to driving.

Vibrations from pile driving activities can adversely affect adjacent structures. We recommend that a pre-driving survey be done on structures adjacent to the proposed project. The pre-driving survey should include photographs and the installation of crack monitors as appropriate to establish a baseline prior to the start of pile driving activities.

The IBC 2000/2003 requires that pile load tests be performed on piles with design capacities over 40 tons (80 kips). Considering the recommended pile capacities are 80 kips or less, pile load testing will is not required. However, based on our experience in the City of Portland, we recommend that a pile driving summary plan and letter, stamped by a Maine Professional Engineer, stating that the piles were installed according to the recommendations in the geotechnical report, be prepared to meet the Special Inspections requirements of the City.

4.3 Foundation Drainage

We recommend that a perimeter foundation drainage system be provided near pile cap subgrade around the exterior side of the perimeter grade beam system for the building. The underdrain pipe should be surrounded with 6 inches of crushed stone wrapped in a

non-woven geotextile filter fabric having an apparent opening size of at least 70, such as Mirafi 140N. The underdrain pipe should consist of rigid, 4-inch diameter PVC with perforations of ¼- to ½-inch. The underdrain must have a positive gravity outlet protected from freezing temperatures and backflow.

4.4 Excavation Work

An erosion control system should be instituted prior to any construction activity at the site to help protect adjacent drainage ways.

Groundwater and wet soil conditions will likely be encountered in the foundation excavations. In our opinion, ditching with sump and pump dewatering techniques should be adequate to control groundwater in excavations less than about 6 feet deep. We recommend placing at least an 8 inch thick layer of crushed stone at the base of pile cap and grade beam excavations to act as a drainage media from which to sump and pump. A crushed stone working mat will likely also be needed for utility excavations to provide a stable working surface. A geotextile fabric should be used below the crushed stone to help separate the stone and subgrade soils and help stabilize the subgrade.

Deeper excavations, such as for utilities, will likely require braced sheeting for groundwater cutoff and excavation stability. In any case, all excavations must be properly shored and/or sloped in accordance with OSHA trenching regulations to prevent sloughing and caving of the sidewalls during construction. Excavations adjacent to existing buildings must be properly shored to prevent undermining of the existing structures.

4.5 Backfill and Compaction

The existing fill soils are unsuitable for backfill against foundations exposed to freezing or for reuse below paved areas. The existing pavement base gravels may be reused as compacted fills below pile-supported on-grade floor slabs to form a casting bed for construction of the floor slabs. We recommend that foundation exposed to freezing temperatures be backfilled with clean, free-draining, sand and gravel meeting the gradation requirements for Structural Fill, as given below.

A non-woven geotextile (such as Mirafi 140N) should be placed on top of crushed stone working mats prior to placing the Structural Backfill. Crushed stone placed around foundation underdrain pipes and as a working mat below pile caps and grade beams

should be clean, washed ¾-inch minus Crushed Stone Drainage Aggregate meeting the gradation requirements for MDOT 703.23 Underdrain Type C.

Structural Fill	
Sieve Size	Percent Finer by Weight
4 inch	100
3 inch	90 to 100
¼ inch	25 to 90
No. 40	0 to 30
No. 200	0 to 5

Fill should be placed in horizontal lifts and be compacted. Lift thickness should be generally limited to between 6 to 12 inches, as appropriate for the compaction equipment being used, such that the desired density is achieved throughout the lift thickness with 3 to 5 passes of the compaction equipment. Foundation backfill and fills placed beneath slabs, paved areas and walkways should be compacted to at least 95 percent of its maximum dry density as determined by ASTM D-1557 (Modified Proctor). Crushed stone below pile-supported foundations should be compacted to provide stable access for foundation construction crews and stable subgrades for concrete placement.

4.6 Entrance Slabs

Entrance slabs at door openings should be designed to reduce the effects of differential frost action. We recommend that exterior entrance slabs be underlain with a minimum of 4.5 feet of Structural Fill extending beneath the entire width and length of entrance slab. The thickness of Structural Fill below the entrance slab should transition up to adjacent pavement subbase at a 3H:1V slope or flatter. This is to help avoid abrupt, differential heaving. All adjacent paved and grassed areas should be sloped to promote drainage away from the building periphery.

4.7 Weather Considerations

If foundation construction takes place during cold weather, subgrades, foundations, and concrete must be protected during freezing conditions. Concrete must not be placed on frozen soil and once placed, the soil and concrete must be protected from freezing. Further, the on-site fills are moisture sensitive and as such exposed soil surfaces will be susceptible to disturbance during wet conditions. Consequently, sitework and

construction activities should take appropriate measures to protect exposed soils, particularly when wet.

4.8 Construction Testing

S. W. COLE ENGINEERING, INC. should be retained to provide testing and observation services during the excavation, pile driving and foundation phases of construction. This is to observe compliance with the design recommendations, drawings and specifications and to allow design changes in the event that subsurface conditions are found to differ from those anticipated prior to the start of construction.

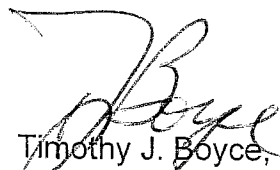
S. W. COLE ENGINEERING, INC. is available to assist in conducting a pre-pile driving survey, provide pile driving vibration monitoring, observe pile installation, and to test soil, concrete, asphalt, steel, spray-applied fireproofing and masonry construction materials.

5.0 CLOSURE

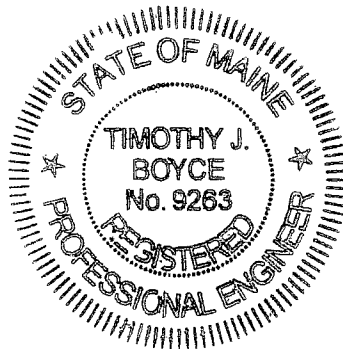
S. W. COLE ENGINEERING, INC. should be engaged to review the sitework and foundation design drawings to confirm that our recommendations have been appropriately interpreted and implemented. It has been a pleasure to be of assistance to you with this phase of your project. We look forward to working with you as the design progresses and during the construction phase.

Sincerely,

S.W. COLE ENGINEERING, INC.



Timothy J. Boyce, P.E.
Senior Geotechnical Engineer



TJB:tjb/pfb

Attachment A - Limitations

This report has been prepared for the exclusive use of Associated Design Partners, Inc. for specific application to the proposed Canned Meat Spread Expansion at the B&M Baked Beans Facility located at One Beanpot Circle in Portland, Maine. S. W. COLE ENGINEERING, INC. has endeavored to conduct the work in accordance with generally accepted soil and foundation engineering practices. No other warranty, expressed or implied, is made.

The soil profiles described in the report are intended to convey general trends in subsurface conditions. The boundaries between strata are approximate and are based upon interpretation of exploration data and samples.

The analyses performed during this investigation and recommendations presented in this report are based in part upon the data obtained from subsurface explorations made at the site. Variations in subsurface conditions may occur between explorations and may not become evident until construction. If variations in subsurface conditions become evident after submission of this report, it will be necessary to evaluate their nature and to review the recommendations of this report.

Observations have been made during exploration work to assess site groundwater levels. Fluctuations in water levels will occur due to variations in rainfall, temperature, and other factors.

S. W. COLE ENGINEERING, INC.'s scope of work has not included the investigation, detection, or prevention of any Biological Pollutants at the project site or in any existing or proposed structure at the site. The term "Biological Pollutants" includes, but is not limited to, molds, fungi, spores, bacteria, and viruses, and the byproducts of any such biological organisms.

Recommendations contained in this report are based substantially upon information provided by others regarding the proposed project. In the event that any changes are made in the design, nature, or location of the proposed project, S. W. COLE ENGINEERING, INC. should review such changes as they relate to analyses associated with this report. Recommendations contained in this report shall not be considered valid unless the changes are reviewed by S. W. COLE ENGINEERING, INC.



BORING LOG

BORING NO.: B-1
 SHEET: 1 OF 1
 PROJECT NO.: 05-0077
 DATE START: 2/16/05
 DATE FINISH: 2/16/05
 ELEVATION: NO SURVEY
 SWC REP.: KBG
 WATER LEVEL INFORMATION
WATER AT 5' +/-

PROJECT / CLIENT: B&M BAKED BEANS PLANT EXPANSION / ASSOCIATED DESIGN PARTNERS, INC.
 LOCATION: ONE BEANPOT CIRCLE, PORTLAND, MAINE
 DRILLING CO.: NORTHERN TEST BORING, INC. DRILLER: RICH LEONARD

CASING: TYPE SSA SIZE 4 1/2" O.D. HAMMER WT. 140 lb HAMMER FALL 30"
 SAMPLER: TYPE SSA SIZE 1 3/8" I.D. HAMMER WT. 140 lb HAMMER FALL 30"
 CORE BARREL: _____

CASING BLOWS PER FOOT	SAMPLE			DEPTH @ BOT	SAMPLER BLOWS PER 6"				DEPTH	STRATA & TEST DATA
	NO.	PEN.	REC.		0-6	6-12	12-18	18-24		
	1D	24"	20"	2.5'	13	8	6	8	0.3'	ASPHALT PAVEMENT
									0.5'	~ FROZEN ~ BROWN SILTY GRAVELLY SAND (FILL)
										BLACK SILT SOME SAND WITH ASH, ORGANICS AND SHELLS (FILL) ~ VERY LOOSE ~
	2D	24"	5"	7.0'		1 / 18"		1		
	3D	1"	1"	10.1'	50/1"				10.1'	
									10.2'	PROBABLE WEATHERED ROCK
										REFUSAL AT 10.2' (PROBABLE BEDROCK)

SAMPLES: _____ SOIL CLASSIFIED BY: _____ REMARKS: _____

D = SPLIT SPOON
 C = 3" SHELBY TUBE
 U = 3.5" SHELBY TUBE

DRILLER - VISUALLY
 SOIL TECH. - VISUALLY
 LABORATORY TEST

STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY BETWEEN SOIL TYPES AND THE TRANSITION MAY BE GRADUAL.

(2)

BORING NO.: B-1



BORING LOG

BORING NO.: **B-2**
 SHEET: **1 OF 1**
 PROJECT NO.: **05-0077**
 DATE START: **2/16/05**
 DATE FINISH: **2/16/05**
 ELEVATION: **NO SURVEY**
 SWC REP.: **KBG**

PROJECT / CLIENT: **B&M BAKED BEANS PLANT EXPANSION / ASSOCIATED DESIGN PARTNERS, INC.**
 LOCATION: **ONE BEANPOT CIRCLE, PORTLAND, MAINE**
 DRILLING CO.: **NORTHERN TEST BORING, INC.** DRILLER: **RICH LEONARD**

CASING: TYPE **SSA** SIZE **4 1/2" O.D.**
 SAMPLER: TYPE **SSA** SIZE **1 3/8" I.D.** HAMMER WT. **140 lb** HAMMER FALL **30"**
 CORE BARREL:

WATER LEVEL INFORMATION
 WATER AT 5.5' +/-

CASING BLOWS PER FOOT	SAMPLE				SAMPLER BLOWS PER 6"				DEPTH	STRATA & TEST DATA
	NO.	PEN.	REC.	DEPTH @ BOT	0-6	6-12	12-18	18-24		
	1D	24"	6"	2.5'	10	4	3	4	0.1'	ASPHALT PAVEMENT
									0.5'	~ FROZEN ~ BROWN SILTY GRAVELLY SAND (FILL)
										BLACK SILT SOME SAND WITH ASH, ORGANICS AND SHELLS (FILL) ~LOOSE~
	2D	24"	12"	7.0'	2	2	8	7	9.8'	
									10.0'	PROBABLE WEATHERED ROCK
										REFUSAL AT 10.0' (PROBABLE BEDROCK)

SAMPLES: D = SPLIT SPOON
 C = 3" SHELBY TUBE
 U = 3.5" SHELBY TUBE

SOIL CLASSIFIED BY: DRILLER - VISUALLY
 SOIL TECH. - VISUALLY
 LABORATORY TEST

REMARKS: STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY BETWEEN SOIL TYPES AND THE TRANSITION MAY BE GRADUAL.

3

BORING NO.: **B-2**



BORING LOG

BORING NO.: B-3
 SHEET: 1 OF 1
 PROJECT NO.: 05-0077
 DATE START: 2/16/05
 DATE FINISH: 2/16/05
 ELEVATION: NO SURVEY
 SWC REP.: KBG
 WATER LEVEL INFORMATION
WATER AT 6' +/-

PROJECT / CLIENT: B&M BAKED BEANS PLANT EXPANSION / ASSOCIATED DESIGN PARTNERS, INC.
 LOCATION: ONE BEANPOT CIRCLE, PORTLAND, MAINE
 DRILLING CO.: NORTHERN TEST BORING, INC. DRILLER: RICH LEONARD

CASING: TYPE SSA SIZE 4 1/2" O.D. HAMMER WT. 140 lb HAMMER FALL 30"
 SAMPLER: TYPE SSA SIZE 1 3/8" I.D. HAMMER WT. 140 lb HAMMER FALL 30"
 CORE BARREL: _____

CASING BLOWS PER FOOT	SAMPLE				SAMPLER BLOWS PER 6"				DEPTH	STRATA & TEST DATA
	NO.	PEN.	REC.	DEPTH @ BOT	0-6	6-12	12-18	18-24		
	1D	24"	16"	2.5	32	32	28	21	0.1'	ASPHALT PAVEMENT
									2.0'	- FROZEN - BROWN GRAVELLY SAND SOME SILT (FILL)
										BLACK SILT SOME SAND WITH ASH, ORGANICS, BRICK FRAGMENTS AND SHELLS (FILL)
	2D	24"	6"	7.0'	3	2	1	1	8.0'	- VERY LOOSE -
									8.4'	PROBABLE WEATHERED ROCK
										REFUSAL AT 8.4' (PROBABLE BEDROCK)

SAMPLES: _____ SOIL CLASSIFIED BY: _____ REMARKS: _____
 D = SPLIT SPOON DRILLER - VISUALLY
 C = 3" SHELBY TUBE SOIL TECH. - VISUALLY
 U = 3.5" SHELBY TUBE LABORATORY TEST

STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY BETWEEN SOIL TYPES AND THE TRANSITION MAY BE GRADUAL.

4

BORING NO.: **B-3**



BORING LOG

BORING NO.: B-4
 SHEET: 1 OF 1
 PROJECT NO.: 05-0077
 DATE START: 2/16/05
 DATE FINISH: 2/16/05
 ELEVATION: NO SURVEY
 SWC REP.: KBG
 WATER LEVEL INFORMATION
WATER AT 5' +/-

PROJECT / CLIENT: B&M BAKED BEANS PLANT EXPANSION / ASSOCIATED DESIGN PARTNERS, INC.
 LOCATION: ONE BEANPOT CIRCLE, PORTLAND, MAINE
 DRILLING CO.: NORTHERN TEST BORING, INC. DRILLER: RICH LEONARD

CASING: TYPE SSA SIZE 4 1/2" O.D. HAMMER WT. 140 lb HAMMER FALL 30"
 SAMPLER: TYPE SSA SIZE 1 3/8" I.D.
 CORE BARREL:

CASING BLOWS PER FOOT	SAMPLE				SAMPLER BLOWS PER 6"				DEPTH	STRATA & TEST DATA
	NO.	PEN.	REC.	DEPTH @ BOT	0-6	6-12	12-18	18-24		
	1D	24"	24"	2.5'	31	22	17	22	0.2' 1.0'	ASPHALT PAVEMENT ~ FROZEN ~ DARK BROWN SILTY GRAVELLY SAND (FILL)
	2D	24"	6"	7.0'	WOH	1	1 / 12"		10.0'	BLACK SILT SOME SAND WITH SLAG, BRICK, GLASS, ASH, ORGANICS AND SHELLS (FILL) ~ VERY LOOSE ~
	3D	24"	8"	12.0'		1 / 12"	1 / 12"		15.0'	GRAY SILTY SAND LAYERED WITH MEDIUM GRAY SILTY CLAY AND STIFF BLACK SILTY CLAY ~ VERY LOOSE ~
	4D	24"	14"	17.0'	2	4	3	4	15.5' 16.5'	~LOOSE~ BROWN FINE SAND TRACE SILT ~LOOSE~ BROWN SILTY SAND SOME FINE GRAVEL
	5D	24"	17"	22.0'	2	1	6	9	23.3'	GRAY SILTY SAND SOME FINE GRAVEL TRACE CLAY ~LOOSE~
										REFUSAL AT 23.3' (PROBABLE BEDROCK)

SAMPLES: SOIL CLASSIFIED BY: REMARKS:
 D = SPLIT SPOON
 C = 3" SHELBY TUBE
 U = 3.5" SHELBY TUBE

DRILLER - VISUALLY
 SOIL TECH. - VISUALLY
 LABORATORY TEST

STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY BETWEEN SOIL TYPES AND THE TRANSITION MAY BE GRADUAL.

5

BORING NO.: B-4



BORING LOG

PROJECT / CLIENT: B&M BAKED BEANS PLANT EXPANSION / ASSOCIATED DESIGN PARTNERS, INC.
 LOCATION: ONE BEANPOT CIRCLE, PORTLAND, MAINE
 DRILLING CO.: NORTHERN TEST BORING, INC. DRILLER: RICH LEONARD

BORING NO.: B-5
 SHEET: 1 OF 1
 PROJECT NO.: 05-0077
 DATE START: 2/16/05
 DATE FINISH: 2/16/05
 ELEVATION: NO SURVEY
 SWC REP.: KBG

CASING: TYPE SSA SIZE 4 1/2" O.D.
 SAMPLER: TYPE SSA SIZE 1 3/8" I.D. HAMMER WT. 140 lb HAMMER FALL 30"
 CORE BARREL: _____

WATER LEVEL INFORMATION
 WATER AT 4' +/-

CASING BLOWS PER FOOT	SAMPLE				SAMPLER BLOWS PER 6"				DEPTH	STRATA & TEST DATA
	NO.	PEN.	REC.	DEPTH @ BOT	0-6	6-12	12-18	18-24		
	1D	24"	18"	2.5'	18	15	29	9	0.4'	ASPHALT PAVEMENT ~ FROZEN ~
	2D	24"	7"	6.0'	1	1 / 12"	1		9.0'	BLACK SILT SOME SAND WITH SLAG, BRICK, GLASS, ASH, ORGANICS AND SHELLS (FILL) ~VERY LOOSE~
	3D	24"	22"	11.0'	WOH	4	7	6	10.5'	GRAY SILTY CLAY SOME SAND WITH ORGANICS AND SHELLS ~ MEDIUM ~
	4D	24"	7"	16.0'	9	11	10	6	17.5'	GRAY TO GREEN SILTY SAND TRACE FINE GRAVEL ~LOOSE~ < BLOWCOUNTS OVERSTATED, GRAVEL IN SHOE)
										REFUSAL AT 17.5' (PROBABLE BEDROCK)

SAMPLES: D = SPLIT SPOON
 C = 3" SHELBY TUBE
 U = 3.5" SHELBY TUBE

SOIL CLASSIFIED BY: DRILLER - VISUALLY
 SOIL TECH. - VISUALLY
 LABORATORY TEST

REMARKS: STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY BETWEEN SOIL TYPES AND THE TRANSITION MAY BE GRADUAL.



BORING LOG

BORING NO.: B-6
 SHEET: 1 OF 1
 PROJECT NO.: 05-0077
 DATE START: 2/16/05
 DATE FINISH: 2/16/05
 ELEVATION: NO SURVEY
 SWC REP.: KBG
 WATER LEVEL INFORMATION
WATER AT 5' +/-

PROJECT / CLIENT: B&M BAKED BEANS PLANT EXPANSION / ASSOCIATED DESIGN PARTNERS, INC.
 LOCATION: ONE BEANPOT CIRCLE, PORTLAND, MAINE
 DRILLING CO.: NORTHERN TEST BORING, INC. DRILLER: RICH LEONARD

CASING: _____ TYPE _____ SIZE _____ HAMMER WT. _____ HAMMER FALL _____
 SAMPLER: _____ SSA _____ 4 1/2" O.D. _____
 CORE BARREL: _____

CASING BLOWS PER FOOT	SAMPLE				SAMPLER BLOWS PER 8"				DEPTH	STRATA & TEST DATA
	NO.	PEN.	REC.	DEPTH @ BOT	0-6	6-12	12-18	18-24		
									0.2'	ASPHALT PAVEMENT
									2.0'	PROBABLE BROWN GRAVELLY SILTY SAND (FILL)
										PROBABLE BLACK SILT SOME SAND WITH ASH, ORGANICS AND SHELLS (FILL)
										*** AUGER PROBE - NO SAMPLING ***
									12.0'	
										PROBABLE GRAY SILTY SAND WITH GRAVEL
									15.5'	REFUSAL AT 15.5' (PROBABLE BEDROCK)
										NOTE: NO SPLIT SPOON SAMPLING, AUGER PROBE ONLY, STRATA DESCRIPTIONS ARE BASED ON AUGER CUTTINGS.

SAMPLES: _____ SOIL CLASSIFIED BY: _____
 D = SPLIT SPOON DRILLER - VISUALLY
 C = 3" SHELBY TUBE SOIL TECH. - VISUALLY
 U = 3.5" SHELBY TUBE LABORATORY TEST

REMARKS: STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY BETWEEN SOIL TYPES AND THE TRANSITION MAY BE GRADUAL.

7

BORING NO.: B-6

KEY TO THE NOTES & SYMBOLS

Test Boring and Test Pit Explorations

All stratification lines represent the approximate boundary between soil types and the transition may be gradual.

Key to Symbols Used:

w	-	water content, percent (dry weight basis)
q _u	-	unconfined compressive strength, kips/sq. ft. - based on laboratory unconfined compressive test
S _v	-	field vane shear strength, kips/sq. ft.
L _v	-	lab vane shear strength, kips/sq. ft.
q _p	-	unconfined compressive strength, kips/sq. ft. based on pocket penetrometer test
O	-	organic content, percent (dry weight basis)
W _L	-	liquid limit - Atterberg test
W _p	-	plastic limit - Atterberg test
WOH	-	advance by weight of hammer
WOM	-	advance by weight of man
WOR	-	advance by weight of rods
HYD	-	advance by force of hydraulic piston on drill
RQD	-	Rock Quality Designator - an index of the quality of a rock mass. RQD is computed from recovered core samples.
γ _T	-	total soil weight
γ _B	-	buoyant soil weight

Description of Proportions:

0 to 5% TRACE
5 to 12% SOME
12 to 35% "Y"
35+% AND

REFUSAL: Test Boring Explorations - Refusal depth indicates that depth at which, in the drill foreman's opinion, sufficient resistance to the advance of the casing, auger, probe rod or sampler was encountered to render further advance impossible or impracticable by the procedures and equipment being used.

REFUSAL: Test Pit Explorations - Refusal depth indicates that depth at which sufficient resistance to the advance of the backhoe bucket was encountered to render further advance impossible or impracticable by the procedures and equipment being used.

Although refusal may indicate the encountering of the bedrock surface, it may indicate the striking of large cobbles, boulders, very dense or cemented soil, or other buried natural or man-made objects or it may indicate the encountering of a harder zone after penetrating a considerable depth through a weathered or disintegrated zone of the bedrock.

- Please delineate Loading docks/stripping locations.
- Will a stack guy wire support be jeopardized during renovation and construction of the building addition? It appears close to the limits of construction, please verify its structural integrity and influences from this project.
- Is any work intended on the sea wall? Any new retaining wall will require a structural review at building permit.

Sheet 103, Site Details

- There is a conflict between details of the typical pavement section and what kind of grade base and sub-base aggregate will be used. The general notes differ from the details.
- The trench pipe insulation detail is shown but it is not indicated on the plan where it is proposed. Please show on the site plan all utility work locations.

Geotechnical Report

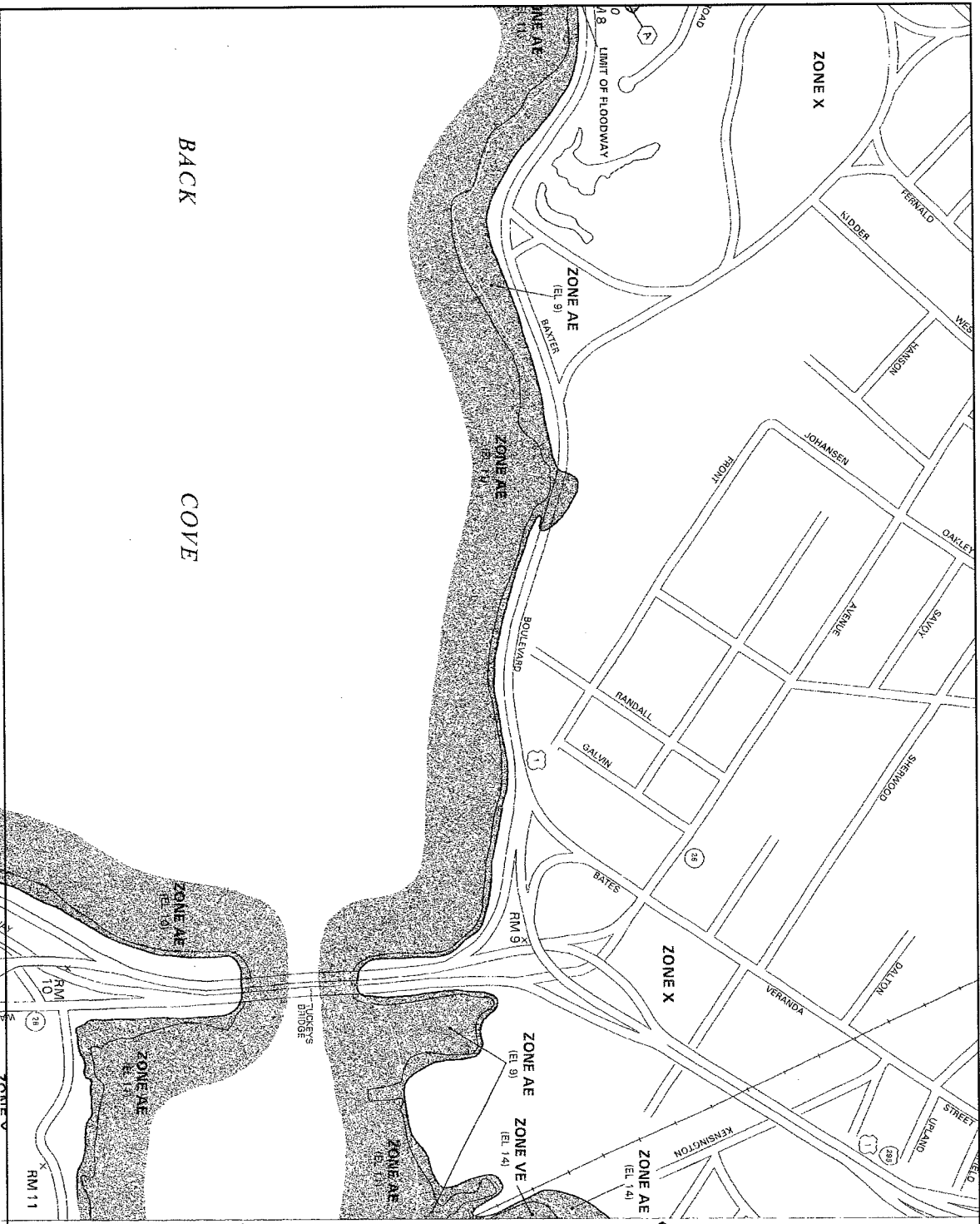
- The report recommends positive foundation drains. How will that occur given tidal influence and no real ability to obtain positive slope?
- The report also notes that the fill contains ash, which will require removal to a licensed facility or handling location. A note is needed on the drawings disclosing hazardous material or certain wastes handling and shipping if necessary.

Summary

Based on the plans submitted the exact grading and drainage designs are difficult to follow. While the plant and current operations are close to the shoreline, we still have concerns about drainage course and the instillation of level piping under tidal influence. The plans don't utilize on site topography in some critical areas around the expanded building and attempt to overlay aerial photographs to delineate on-site features. While the overlay is useful we do not recommend basing design parameters, setbacks, and dimensioning of pavement, natural features, and grading from them. Field survey shall be conducted to accurately verify setbacks, building layouts, and proposed utility locations. We feel that the design can be situated on the site and that access to the expansion is not an issue. If the applicant can show accurate representation of what is current beyond the structures or can provide grading plans that actual can function properly and provide positive drainage away from the proposed structure, we feel the proposal could be acceptable.

There has been no discussion of MEDEP approvals needed, or whether there have to be any revised stormwater permits, Site Location of Development permit issues, or revised emissions permits for air quality. We should ask the applicant to state the project has not triggered any such thresholds. Please call if you need any addition assistance.

JS:js



NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

CITY OF
PORTLAND,
MAINE
CUMBERLAND COUNTY

PANEL 7 OF 17
(SEE MAP INDEX FOR PANELS NOT PRINTED)

COMMUNITY PANEL NUMBER
230051 0007 C
MAP REVISED:
DECEMBER 8, 1998

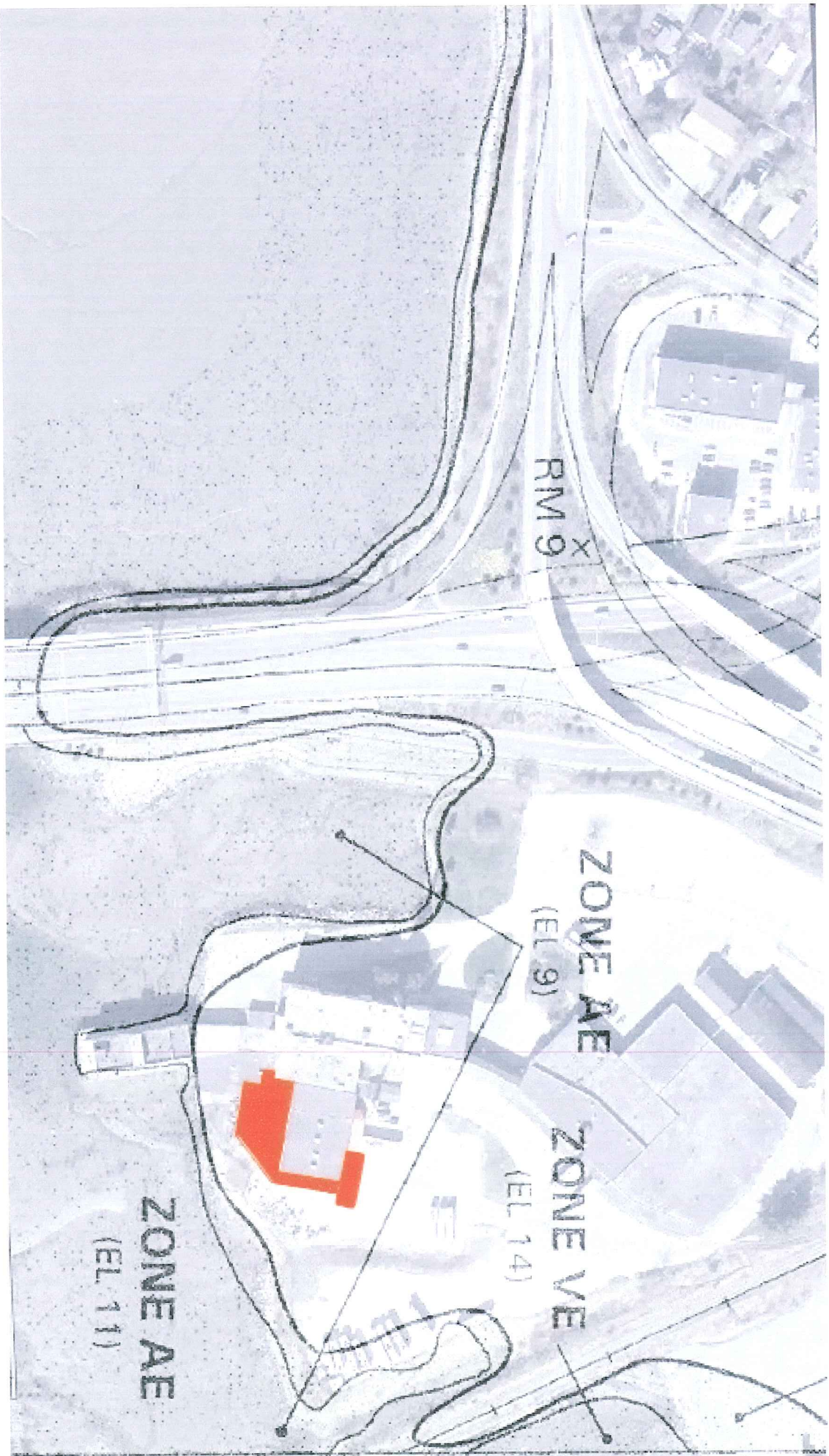


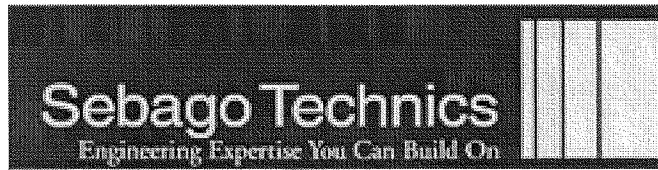
Federal Emergency Management Agency

This is not a flood map. It is a map of the flood insurance rate zones. It does not show the actual flood hazard. The map does not reflect changes of amendments which may have been made subsequent to the date of the map. For the latest product information, please refer to the "Product Information" section of the Flood Insurance Manual, which is available from the Federal Emergency Management Agency.

BACK

COVE





05P087

TO: Bill Needelman - Planner
FROM: Jim Seymour
Development Review Coordinator, Sebago Technics, Inc.
RE: B&G Foods, Inc. – B&M Expansion-1 Bean Pot Circle
DATE: June 3, 2005

Sebago Technics has reviewed the Site Plan package and supporting documentation for the B&G Foods, Inc. – B&M Expansion for the property located at 1 Bean Pot Circle. The following comments are organized by submitted drawing identification label:

Sheet C-100, Site Plan

- Provide Zoning Information standard site plan notes
- Verify Onsite benchmark utilized for site layout/elevations.
- Reference to a note 4 regarding Flood Zones has no note 4.
- Why does it appear that the normal high tidal line cross over the Zone C flood limits?
- All proposed additions and site modifications should be shown on the overall site plan, none are shown on this site plan. Also new areas of building footprints along with finish floor elevations are needed.

Sheet C-200, Partial Site Plan

- Please identify limits of proposed pavement cut areas. Along with proposed grading around the entire new building addition footprint.
- Please add the proposed grades of the proposed foundation/floor grade of the addition.
- The storm drain line is unacceptable having no slope on the storm drain for 380+ feet which is under tidal influence, and is restricted by existing piping is not a good option. The pipe will be subject to sedimentation, be restricted by the ex. 8-inch pipe through the sea wall will be subject to tidal influence. The pipe size needs to be calculated, and back flow preventer or flap valve is needed, and some pitch on the pipe is needed. If the pipes cannot work then surface channels should be considered.

B&M 2005 Expansion

April 18, 2005

Site Plan Improvement Application - Written Statement

The property is owned by:

Heritage Acquisition Corporation
 Four Gatehall Drive
 Suite 110
 Parsippany, NJ 07054



The estimated cost of the proposed development is: \$1,400,000.

1. The site is currently used as a facility to process, package and warehouse food for human consumption. The primary product produced on the site is canned beans. The proposed use will be to expand the processing, packaging and warehousing of food to include canned meat spreads. The canned meat production will be minor relative to the existing canned bean production. The new process will result in the creation of 15 to 20 new jobs.
2. The total land area of the site is 13.0 acres above the high tide line and 23.5 acres above the low tide line. The new structure will be an addition to the existing processing facility and will be composed of three components: 1) a can preparation area, 2) a truck dock, and 3) a passageway connecting the two. The areas of the building's component parts, in square feet, are:

<u>COMPONENT</u>	<u>GROUND COVERAGE</u>	<u>GROUND FLOOR AREA</u>	<u>SECOND FLOOR AREA</u>
Can preparation building	6,648	6,532	1,959
Truck dock	1,764	1,662	1,565
Connecting passageway	1,452	1,380	

The site is in the I-M zone. The total ground coverage for new structures is 9,864 square feet, which is less than the 20,000 square foot area upper limit for classification as a minor development in an I-M zone under §14-522 of the Portland Code of Ordinances.

3. Existing easements are shown on the Associated Design Partners, Site Plan drawing (04075-C100) dated April 18, 2005.
4. Solid waste generated by this addition will be removed by a commercial waste removal company with no financial impact on the City of Portland.

*Resubmitted
waste*

5. Adam Bear, the B&M Plant Engineer, met with Steve Harris, an engineer with the City of Portland Public Works Department, to discuss the impact of the B&M expansion on Portland. Based on a comparison with a similar processing facility, it was estimated that the additional discharge into the city sanitary sewer system would conservatively be in the 30,000 to 50,000 gallon per day range and that this would not be an undue burden on the City's wastewater treatment plant and it would not exceed B&M's current sewer discharge license.

Need letter

It is estimated that the traffic generated by this project will be approximately 1.7 additional truck trips per day and an additional 15 -20 people commuting to work.

6. The amount of impervious surface area on the site will not be changed by this project. Stormwater runoff currently discharges into the sea and will continue to do so. Three new catch basins will be installed on the site (one in the new truck dock truck well and the others in paved areas that currently collects standing water) but the amount of stormwater discharged will not be affected.

Under drain tie in?

7. The preliminary construction schedule is:

a. Paving demo, catch basins and stormwater lines	June
b. Piles, pilecaps, grade beams, foundation walls	June
c. Steel erection	July - August
d. Roofing and siding	August
e. Slabs	August - September
f. Mechanical, electrical and interior finish	July - December

It is possible that this schedule could be adjusted once a general contractor is selected.

8. No federal or state construction approvals are required.

9. The geotechnical exploration and report were developed by S.W. Cole Engineering, Inc. A copy of the report is submitted with this application. The structural design is by Associated Design Partners, Inc. All construction documents will be sealed by a professional engineer or professional surveyor, registered in the State of Maine.

Excavation spoils - what where?

10. Evidence of the applicant's title, right or interest in the property is provided by copies of two deeds, dated March 15, 1999, from the Pillsbury Company to the Heritage Acquisition Corp., which are submitted with this application.

11. This site has been used as a food processing facility since 1913; there are no unusual natural areas on the site.

12. CADD.DXF files of the submission drawings have been submitted with this application.

13. B&M currently recycles pallets, cardboard, paper and all other solid waste that they are reasonably able to. B&M received the Governor's Award for their recycling program. All additional solid waste generated by the new process will be incorporated into the current recycling program.

W&C understands that the City is aware that the Underwood Meat production line is currently operating at B&G's Denver plant. The operation has not been a source of odor outside of the immediate process area room, and has never caused or contributed to odor complaints from neighbors. This history is a good indicator that the Underwood Meat operation will not cause odor nuisance conditions, as B&M does not plan to increase the scope of the line or make any significant operational changes.

The Underwood Meat production will be located in a room on the south side of the facility, which will be enclosed, by other rooms on three sides. The room will be bordered by production rooms to the east and west and by a boiler room to the north. The south side of the room will be an exterior wall, which faces the ocean and overlooks the City's wastewater treatment facility. The Underwood Meat room is designated as the 2 - STORY CONC. BLOCK Area in Site Plan C-100 (included in the recently submitted application). The Underwood Meat production room will be vented by forced ventilation fans in the roof to maintain comfortable working conditions and stacks will not be necessary.

Regarding the nearest residential receptors B&M's interior Underwood Meat operation will be 750' from the nearest residential zone boundary line and 900' from the nearest residential house. Because of the distant proximity of the residential zone, the low emission nature of the operation, the indirect ventilation characteristics of the operation, and B&G's history at the Denver facility, the City can be reasonably assured that the Underwood Meat operations will not cause or contribute to an odor nuisance.

Although it is unlikely that the Underwood Meat operation will cause or contribute to an odor nuisance, if after operation commences B&M receives complaints due to odor, B&M has identified several abatement options which it will explore. Options include removing forced room ventilation fans or directing ventilation to the adjacent boiler room. The boilers operate during all production periods and air intakes are located in the boiler room. If exhaust from the Underwood Meat production room is re-directed to the boiler room odor-causing organics would be incinerated in the boilers. B&M believes that this option is unnecessary at this time but will seriously consider it as a remedy in the unlikely event that an odor nuisance is realized.

Sarah, I hope that we have addressed any concerns regarding potential odor nuisances generated by the Underwood Meat operation. As always, if you have any additional questions or concerns please feel free to contact myself or Adam Bear at B&M.

Sincerely,

WOODARD & CURRAN, INC.



Steve Whipple, P.E.
Project Manager

City of Portland
Department of Planning and Development
Planning Division
389 Congress Street, 4th Floor
Portland ME 04101
(207)874-8721 or (207)874-8719
Fax: (207)756-8258



FAX

To: Martha O'Brien

Company: OSE

Fax #: (860) 243-9431

Date: _____

From: Sarah Hopkins

You should receive 3 page(s) including this cover sheet.

Comments:

Martha,
This just came in... Does it make sense to you?
Could you write me a note and invoice
the City separately?
A couple of neighbors have called, so I wanted
to check with you.
Thanks!
Sarah

May 27, 2005

Sarah Hopkins
Development Review Manager
Planning and Development Dept.
Portland City Hall
389 Congress St.
Portland, ME 04101

Re: B&M's Minor Site Plan Application – Odor Nuisance Documentation

Dear Sarah:

On behalf of Burnham & Morrill Co. (B&M) Woodard & Curran (W&C) is pleased to provide this letter in an effort to address odor nuisances potentially generated by the proposed Underwood Meat manufacturing operation. W&C understands that B&M recently submitted a minor site plan application for expansion of its facility and changes to its manufacturing operations. Because B&M is planning to locate B&G Foods' Underwood Meat operation at its Portland facility, the City of Portland has requested that B&M provide additional information with regard to potential odors. Provided in the following paragraphs is a discussion of the applicable City odor limits and the contributing factors that convince B&M and W&C that the Underwood Meat operation will not cause or contribute to violations of the City standards.

B&M is located at One Bean Pot Circle on the northeast side of Portland in a moderate impact industrial zone. B&M is bordered by: a highway to the northwest; the ocean to the west, south, and east; commercial facilities to the northeast; and most significantly, residential neighborhoods to the north. The City of Portland's Ordinance limits odor emanating from an industrial use to a 3.0 on the n-butanol scale within residential zones and a 4.0 within industrial zones. See Portland Code of Ordinances Chapter 14 § 252.

B&M's Underwood Meat Spreads operation is currently co-packed for B&G Foods' at a location in Denver, Colorado and will be moved to B&G Food's Portland facility (B&M). The meat spreads operation includes the following basic manufacturing steps:

1. Receive fresh and/or frozen meats (i.e., ham, chicken, roast beef, liverwurst);
2. Process with augur grinders;
3. Add brine solution (e.g., vinegar, spices, etc.);
4. Heat in kettles/blenders to 120 °F;
5. Pump to a second set of kettles/blenders, add mores spices and heat to 185 °F;
6. Package; and
7. Sterilize packaged product.

W&C understands that Steps 4 and 5 in the process have the greatest potential to generate odor as there is mild heat introduced to the process. Because of the relatively low heat and the limited organic release, kettles and blenders do not require direct ventilation to the atmosphere like fryer lines or ovens at other food production facilities. Accordingly, concentrated organic and/or particulate laden plumes will not be discharged to the atmosphere.

June 24, 2005

ADP Project Number: - 04075

Mr. Bill Needelman
Planning and Development Department
City of Portland
389 Congress Street
Portland, ME 04101

Re: B&M Baked Beans Expansion Project
STI Review Memorandum-Response Letter

Dear Mr. Needelman,

This letter is being written to address the comments made by Jim Seymour in his review memorandum dated June 3, 2005.

Sheet C-100, Site Plan

1. Note #4 has been added to the Site Plan. It states that the property is located in the IM zone.
2. The on-site Benchmark was established by running a level loop from a published MDOT Benchmark (3088N) on Tukeys Bridge. The level loop closed within 0.01 feet. Elevation 20.00 is based on NGVD 1929 datum.
3. The note referring to note #4 has been revised to state "...see note #4 on Oest plan".
4. The FIRM maps that show the different flood zone information are not overly accurate. Additionally the zone lines are not tied into anything substantial other than approximate shorelines and rough road locations. You can almost never get an exact duplication on the face of the earth from the FIRM maps. (The STI survey department could attest to this fact.) That being said, there exists the possibility that more accurate ground information will not match the flood maps.
5. The overall site plan is drawn at a 1"=50' scale; the purpose of this plan is to show the entire site. The scale is too big to show all the site improvements. The (2) 1"=20' partial site plans are intended to show the level of detail requested for the overall site plan. We have, however shown the proposed building footprint on the overall site plan, we hope this is adequate. All proposed site modifications, finished floor elevations, and building footprints are now shown on the (2), 1"=20', partial site plans.

Sheet C-200, Partial Site Plan

1. Proposed grading has shown. Pavement overlay area has been shown.

2. Finished floor elevations have been shown for the addition.
3. Storm drain has been revised. All storm drain pipes have a minimum slope of 1.00%.
4. Loading dock striping has been added to the plan.
5. The east boiler stack guy wire will be relocated to a new anchor on the roof of the truck dock at column line Y-0.9.
6. No work will occur on existing sea wall. No new retaining walls are planned.

Sheet 103 Site Details

1. All material specs are now consistent.
2. No pipe insulation is required with the revised design.

Geotechnical Report

1. Foundation drains will not be specified. All floors will be above grade. Foundation drains would only serve as an access for seawater and oxygen to the piles and reinforcing steel. The geotechnical engineer concurs in this decision.
2. An area is noted on the drawing C102 for disposal of unsuitable backfill on site. Soil unsuitable for disposal on site will be tested and sent to Commercial Paving & Recycling Company, 2 Gibson Road, Scarborough, Maine.

Sincerely,



Arthur J. Colvin, PE, PLS
Robert Arledge, PE

AJC/RCA

Sarah/Bill:

I have reviewed the May 27, 2005 letter submitted by W&C which addresses the potential odor impact from the proposed introduction of a new food processing line (Underwood Meat operation) at the B&M facility in Portland.

To more fully address the potential off-site odor impact from this process I would request to see items that may have been submitted in the application such as:

- Detailed site plan with nearest receptors identified
- Annual windrose for Portland – to determine what percentage of the time the wind tends to blow towards the north.
- Any odor emission data from the process exhaust(s) or processing room exhausts at the Denver facility
- Exhaust flow rates and location of roof exhaust fans proposed for Portland Facility – How does this compare to the current exhaust scenario of the same process operation at the Denver plant (which we understand has not had any off site odor complaints)?

Although there will not be any concentrated process exhaust streams, everything is exhausted into the process areas and then these are exhausted out the roof fans. Even if the odor concentration is low, if there is a significant amount of room air being exhausted, it could potentially be an odor issue.

The best documentation would involve the collection of odor emission samples from the same processing operation at the Denver facility and conducting odor dispersion modeling which uses the Denver odor emission data and models it specific to the Portland site.

This may not be required, but we need to know some idea of the current odor levels and what air exhaust rates they have planned for the Portland facility.

The proposed odor abatement technique (if required) of using the boilers to control the process exhausts is a good one, but there are many questions on the feasibility of actually doing this.

Do the boilers operate all the time? How much air do they require relative to what's exhausted from the new process, etc.

If additional information is available for me to review - please let me know. Was there much detail submitted with the facility expansion application?



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

March 18, 2005

Paul Bradbury, P.E., Facilities and Engineering Manager
City of Portland Department of Ports and Transportation
C/O Portland Ocean Terminal
Portland, Maine 04101

RE: Minor Site Plan Approval for the International Marine Terminal
CBL: 043 D005001

Dear Mr. Bradbury:

On March 14, 2005, the Portland Planning Authority approved of a minor site plan at the International Marine Terminal at 468 Commercial Street. The approval is for a 6000 square foot warehouse.

This approval also incorporates 4,900 square feet of temporary modular office space that is to be removed from the site after the 2005 sailing season.

Construction shall be completed as shown on the approved plan with the following conditions:

1. If the temporary office structures are to be utilized beyond December 1, 2005, the applicant shall apply for a major site plan for review by the Planning Board.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following:

1. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy.

FIRST DRAFT 7-19-05

B&M Condition of approval regarding potential odors:

That the building addition is conditionally approved without odor mitigation technology based on the applicant's representation that the proposed manufacturing process, namely the production of a canned meat product as described in the applicant's submission packet, will not produce a discernable odor outside of the plant. Within the first six months of production of this product, the Planning and Development Department shall make periodic inspections of the facility at the property boundary to determine if an odor attributable to the new production exists. If no such odor is readily detectable at the property boundary, as determined by the Planning and Development Authority, this approval shall remain in effect. If upon inspection an attributable odor is detected, then at the sole discretion of the Planning and Development Authority, the applicant will be required to install either the odor mitigation technology described in the letter from Steve Whipple, PE, Woodard and Curran Engineers to Sarah Hopkins, City of Portland, dated May 27, 2005; or such alternative technology as may be proposed by the applicant for the review and approval of the City Planning staff.

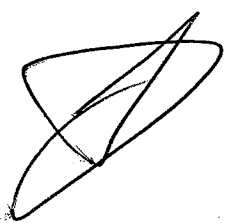
Division Staff

and Development Authority *

the applicant will be required to install

1/20/05
AM *

Just trying to be internally consistent; is it P+D Authority?



THINK -

- ① Can we note in ~~hear~~ here somewhere the "reluctance", "unwillingness" or whatever other non-pejorative term we can think of of the applicant to furnish suitable data re potential odors?
- ② We need to acquaint Nelle with the background.

hee

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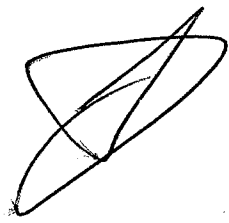
Division staff

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lee



June 24, 2005

ADP Project Number: - 04075

Mr. Bill Needelman
Planning and Development Department
City of Portland
389 Congress Street
Portland, ME 04101

Re: B&M Baked Beans Expansion Project
Outdoor Lighting and Solid Waste Removal

Dear Mr. Needelman,

Outdoor Lighting

There will be six lighting fixtures on the exterior of the new building. They will be mounted 25 feet above grade; this is five feet below the maximum height permitted by the *City of Portland Technical and Design Stands and Guidelines*. The specifications for the type of fixture is: Lithonia Lighting WFL3, High pressure sodium, 400 Watt, wide asymmetric distribution, 240 volt, with enhanced corrosion resistance and locked at 90° for full cutoff. A cut sheet for the fixture is attached.

Solid Waste Management

Production solid waste at B&M is kept in covered containers and is removed from the plant every morning. A copy of the B&M Waste Disposal Policy is attached. If this does not prevent odors, B&M will install a refrigerated dumpster for solid waste from the meat spread line.

Sincerely,

415
1567

Robert Arledge, PE

RCA



FEATURES & SPECIFICATIONS

INTENDED USE

For building and wall-mounted applications.

CONSTRUCTION

Extruded aluminum body with cast end caps is mounted with 1/4" bolts, to formed steel wall bracket. Housing body rotates to allow for variable aiming. Standard finish is dark bronze (DDB) corrosion resistant polyester powder. Other architectural colors available. Cast aluminum frame is hinged and secured by stainless steel fasteners. Closed cell silicone gasket prevents the penetration of dust and moisture.

OPTICAL SYSTEM

Centered optics with anodized, aluminum reflectors: segmented, specular or hammertone finish. Clear, impact-resistant, tempered glass lens. No silkscreen on FT optic.

ELECTRICAL SYSTEM

Constant-wattage autotransformer ballast, copper wound and 100% factory tested. Horizontal, mogul-base porcelain socket with copper alloy, nickel-plated screw shell and center contact. 4KV pulse rated. UL listed 660W, 600V.

INSTALLATION

Optional Backbox wall mounting available for surface conduit applications. Mounts either lens-up or lens-down.

LISTINGS

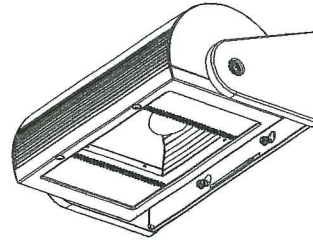
UL listed for wet locations. Listed and labeled to comply with Canadian Standards (see Options). IP65 rated in accordance with IEC standard 529.

Catalog Number	
Notes	Type

Architectural Wall-Mounted Lighting

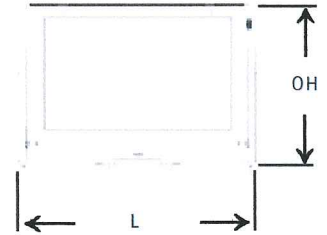
WFL3

HIGH PRESSURE SODIUM
250, 400W



Standard dimensions

EPA: 2.0 ft² (.19 m²)
Length: 21.5 (54.6)
Depth: 8-3/4 (22.3)
Overall Height: 14-3/4 (37.5)
Max. Weight: 44 (19.9 kg)



All dimensions are inches (centimeters) unless otherwise specified.

ORDERING INFORMATION

Choose the boldface catalog nomenclature that best suits your needs and write it on the appropriate line. Order accessories as separate catalog numbers (shipped separately).

Example: **WFL3 400S GZ 120 SF LPI**

WFL3				Options	
Series	Wattage/Source	Distribution	Voltage	Shipped Installed In Fixture	Architectural Colors
WFL3	250S 400S	SP Spot HPN Narrow asymmetric HPM Medium asymmetric HPW Wide asymmetric RN Narrow symmetric RM Medium symmetric RW Wide symmetric GZ Wall grazing FT ⁶ Forward throw	120 208 ⁴ 240 ⁴ 277 347 480 ⁵ TB ¹	DF Double fuse (208, 240, 480V, n/a with TB) LPI Lamp included as standard L/LP Less lamp CR Enhanced corrosion-resistance CSA Listed and labeled to comply with Canadian Standards PE Photoelectric cell-button type (n/a with TB) QRS Quartz restrike ⁵ CFBL Color lens/Blue CFRO Color lens/Rosa EC Emergency Circuit LC90 Lock at 90° for full cutoff	(powder finish) ³ Standard Colors DDB Dark bronze (standard) DWH White DBL Black Classic Colors DMB Medium bronze DNA Natural aluminum DSS Sandstone DGC Charcoal gray DTG Tennis green DBR Bright red DSB Steel blue
				Shipped Separately²	
				BBW Backbox wall mounting UV Upper visor EV Eggcrate visor (black) FV Full visor BV Bottom visor WG Wire guard BD Barn door HLV Horizontal louver (black) VLV Vertical louver (black) BVG Bubble vandal guard	

NOTES:

- Optional multi-tap ballast (120, 208, 240, 277V) In Canada 120, 277, 347V; ships as 120/347.
- May be ordered as an accessory. Door frame must be factory drilled.
- Additional architectural colors available; see paint brochure (Form number 794.3).
- Consult factory for availability in Canada.
- 100W max; QRS can not be used with 480V.
- No silkscreen on lens

WFL3 High Pressure Sodium Architectural Wall-Mounted Lighting

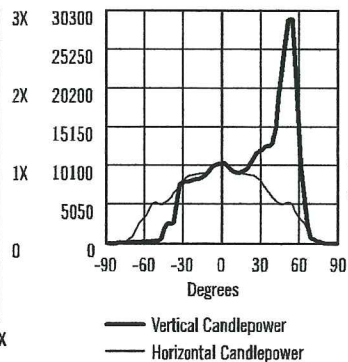
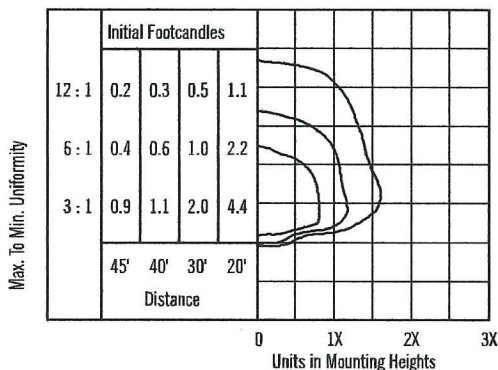
Luminaire/lamp

Iso-Illuminance Contour

Cartesian Plot

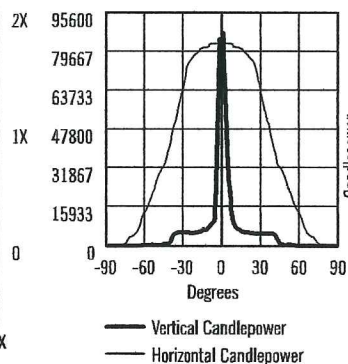
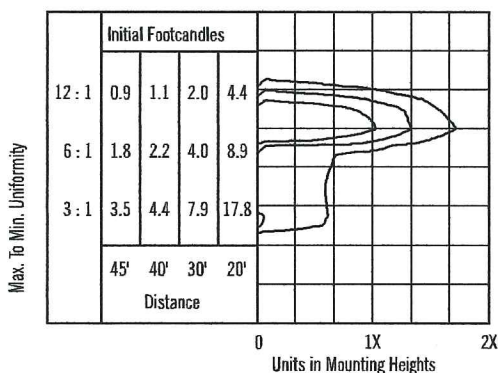
Max. to Min. Uniformity

WFL3 400S FT
 Test No. LTL8587
 50000 Lumens
 10% Maximum
 111° H x 105° V
 50% Maximum
 84° H x 19° V
 Tilt = 45°



D	Avg	Max	S	H	V	
3	20	16.7	25.1	3	23	2
6	30	7.4	11.2	4	34	3
1	40	4.2	6.3	5	45	4
1	45	3.3	5.0	6	51	5
6	20	10.6	21.2	15	35	1
1	30	4.7	9.4	22	52	1
1	40	2.6	5.3	29	69	1
1	45	2.1	4.2	33	78	1

WFL3 400S GZ
 Test No. LTL8591
 50000 Lumens
 10% Maximum
 127° H x 16° V
 50% Maximum
 76° H x 7° V
 Tilt = 45°



D	Avg	Max	S	H	V	
3	20	34.5	55.2	45	5	19
6	30	15.3	24.5	67	7	28
1	40	8.6	13.8	89	9	37
1	45	6.8	10.9	100	10	42
6	20	0.0	0.0	0	0	0
1	30	0.0	0.0	0	0	0
1	40	0.0	0.0	0	0	0
1	45	0.0	0.0	0	0	0



Lithonia Lighting
 Acuity Lighting Group, Inc.
 Outdoor Lighting
 One Lithonia Way, Conyers, GA 30012-3957
 Phone: 770-922-9000 Fax: 770-918-1209
 In Canada: 160 avenue Labrosse, Pointe-Claire, P.Q. H9R 1A1
 www.lithonia.com

B&M Plant Quality Systems

Waste Disposal Policy	Document No. 50-20
Issued by: Susan Gallagher	6/17/05 Supercedes (Original)

Purpose: Establish requirements for disposal of waste, which are relevant to odor prevention and pest control management. These requirements are intended to reduce or eliminate the potential for insect and rodent harborage due to unsanitary conditions.

Responsibilities:

Disposal of wastes

Production:

- Dry waste, i.e., trash and rubbish, shall be placed in suitable receptacles conveniently located throughout the plant. Containers must be cleaned daily prior to entering plant and be appropriately marked as "trash" and be of appropriate color as to follow our color-coding system. Product wastes shall be collected in suitable containers, which shall be kept covered when not in continuous use. All waste shall be collected and disposed of in a sanitary manner and as frequently as necessary to prevent the contamination of product or objectionable odors. In order to prevent odor and aide in pest control, trash shall be removed from the premises on a daily basis. Trash staging area shall be maintained in sanitary condition with all trash containers covered.
- Recycled waste, i.e. corrugated, cans, paper and plastic green strapping shall be placed in suitable receptacles clearly identified with intended material to be recycled. Containers shall be removed from area when full. Recycled waste must be removed from premises as frequently as necessary as to prevent odor and aide in pest control.

Maintenance:

- Liquid wastes shall be disposed of by methods or systems, which will not create unsanitary conditions. This includes but is not limited to control of effluent as mandated by state and city licensing. This also includes control and yearly testing to maintain BOD permits adequately.
- Buildup of unused equipment storage on plant grounds must be controlled to prevent pest harborages and aid in grounds keeping and sanitation.



PORTLAND MAINE

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Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

July 29, 2005

Mr. Robert Arledge, PE
Associated Design Partners, Inc.
80 Leighton Road
Falmouth, Me. 04105

Adam Bear
B & M Beans
One Bean Pot Circle
Portland, ME 04103

RE: B&M Baked Beans Expansion Project
CBL: 447 A001001

Dear Mr. Arledge and Mr. Bear:

On July 29, 2005, the Portland Planning Authority approved a 9,864 square foot building addition to the existing B&M Baked Bean manufacturing plant as shown on the approved plan with the following condition:

That the building addition is conditionally approved without odor mitigation technology based on the applicant's representation that the proposed manufacturing process, namely the production of a canned meat product as described in the applicant's submission packet, will not produce a discernable odor outside of the plant. Within the first six months of production of this product, the Planning Division staff shall make periodic inspections of the facility at the property boundary to determine if an odor attributable to the new production exists. If no such odor is readily detectable at the property boundary, as determined by the Planning and Development Authority, this approval shall remain in effect. If upon inspection an attributable odor is detected, then at the sole discretion of the Planning and Development Authority, the applicant will be required to install either the odor mitigation technology described in the letter from Steve Whipple, PE, Woodard and Curran Engineers to Sarah Hopkins, City of Portland, dated May 27, 2005; or, the applicant will be required to install such alternative technology as may be proposed by the applicant for the review and approval of the Planning and Development Authority.

Note: The above condition is required due a lack of quantifiable data supporting the applicant's assertion that an odor nuisance will not result from the new canned meat production. If at any time prior to commencement of manufacture of the new product such data is provided, for the review and approval of the Planning and Development Authority, the above condition shall be reconsidered.

cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Services Manager
Bill Needelman, Senior Planner
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Inspections
Michael Bobinsky, Public Works Director
Traffic Division
Eric Labelle, City Engineer
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Nelle Hanig, Economic Development
Fire Prevention
Assessor's Office
Approval Letter File

DEPARTMENT OF ENVIRONMENTAL PROTECTION
 PERMIT BY RULE NOTIFICATION FORM
 (For use with DEP Regulation, Chapter 305)

RECEIVED DEP - SMRO

PLEASE TYPE OR PRINT IN BLACK INK ONLY

2005 JUL 15 AM 10:25

Name of Applicant: (owner)		BURNHAM & MORRILL			Applicant Mailing Address:		ONE BEAN POT CIRCLE		
Town/City:				State:				MAINE	
Zip Code:		Daytime Telephone No: (include area code)		207 772 8341		Project Location: (town)		PORTLAND	
County:		Map #:		Lot #:		Name of Wetland or Waterbody:		CASCO BAY	
CUMBERLAND		447		A1					
Name of Agent:				Agents Telephone No: (include area code)		207 878 1751			
BOB ARLEDGE, ASSOC. DESIGN PART.									
Detailed Directions to Site:		N on I-295 - N(W) ON Rt 26 (WASHINGTON AVE) - 1 BLOCK - RIGHT ON VERANDA ST. - 2 BLOCKS - RIGHT ON SHERWOOD ST. - 1 BLOCK RIGHT ON BEAN POT CIRCLE							
Description of Project:		(SEE ATTACHED COVER LETTER)							
Part of a larger project?						Yes		No	
								✓	

(CHECK ONE) This project: does does not involve work below mean low water.

I am filing notice of my intent to carry out work which meets the requirements for Permit By Rule (PBR) under DEP Rules, Chapter 305. I and my agents, if any, have read and will comply with all of the standards in the Sections checked below.

- | | | |
|---|---|---|
| <input type="checkbox"/> Sec. (2) Act. Adjacent to Protected Natural Res. | <input type="checkbox"/> Sec. (8) Shoreline stabilization | <input type="checkbox"/> Sec. (14) REPEALED |
| <input type="checkbox"/> Sec. (3) Intake Pipes | <input type="checkbox"/> Sec. (9) Utility Crossing | <input type="checkbox"/> Sec. (15) Public Boat Ramps |
| <input checked="" type="checkbox"/> Sec. (4) Replacement of Structures | <input type="checkbox"/> Sec. (10) Stream Crossing | <input type="checkbox"/> Sec. (16) Coastal Sand Dune Projects |
| <input type="checkbox"/> Sec. (5) REPEALED | <input type="checkbox"/> Sec. (11) State Transportation Facilities | <input type="checkbox"/> Sec. (17) Transfers/Permit Extension |
| <input type="checkbox"/> Sec. (6) Movement of Rocks or Vegetation | <input type="checkbox"/> Sec. (12) Restoration of Natural Areas | <input type="checkbox"/> Sec. (18) Maintenance Dredging |
| <input type="checkbox"/> Sec. (7) Outfall Pipes | <input type="checkbox"/> Sec. (13) F&W Creation/Enhance/Water Quality Improvement | |

I authorize staff of the Departments of Environmental Protection, Inland Fisheries & Wildlife, and Marine Resources to access the project site for the purpose of determining compliance with the rules. I also understand that *this permit is not valid until approved by the Department or 14 days after receipt by the Department, whichever is less.*

I have attached the following required submittals. NOTIFICATION FORMS CANNOT BE ACCEPTED WITHOUT THE NECESSARY ATTACHMENTS:

- Attach a check for \$55 (non-refundable) made payable to: "Treasurer, State of Maine".
- Attach a U.S.G.S. topo map or Maine Atlas & Gazetteer map with the project site clearly marked.
- Attach all other required submissions as outlined in the PBR Sections checked above.

By signing this Notification Form, I represent that the project meets all applicability requirements and standards in the rule and that the applicant has sufficient title, right, or interest in the property where the activity takes place.

Signature of Agent or Applicant:	<i>Bob Arledge FOR B&M</i>	Date:	14 JULY 2005
----------------------------------	--------------------------------	-------	--------------

Keep a copy as a record of permit. Send the form with attachments via certified mail to the Maine Dept. of Environmental Protection at the appropriate regional office listed below. The DEP will send a copy to the Town Office as evidence of the DEP's receipt of notification. No further authorization by DEP will be issued after receipt of notice. Permits are valid for two years. Work carried out in violation of any standard is subject to enforcement action.

AUGUSTA DEP STATE HOUSE STATION 17 AUGUSTA, ME 04333-0017 (207)287-2111	PORTLAND DEP 312 CANCO ROAD PORTLAND, ME 04103 (207)822-6300	BANGOR DEP 106 HOGAN ROAD BANGOR, ME 04401 (207)941-4570	PRESQUE ISLE DEP 1235 CENTRAL DRIVE PRESQUE ISLE, ME 04769 (207)764-0477
--	---	---	---

OFFICE USE ONLY	Ck.#	Date	Staff	Staff	After Photos
PBR #	5951	07/15/05	<i>[Signature]</i>	<i>[Signature]</i>	
38270	55.00		Date 7/25/05	Date 7/22/05	



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Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

July 29, 2005

Mr. Robert Arledge, PE
Associated Design Partners, Inc.
80 Leighton Road
Falmouth, Me. 04105

Adam Bear
B & M Beans
One Bean Pot Circle
Portland, ME 04103

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cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
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Eric Labelle, City Engineer
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Nelle Hanig, Economic Development
Fire Prevention
Assessor's Office
Approval Letter File

TO: Inspections Department
FROM: Jay Reynolds, Development Review Coordinator
DATE: August 23, 2006
RE: C. of O. for #1 Bean Pot Circle, B+M Beans expansion
(Id#2005-0087)(CBL 447A001)

After visiting the site, I have the following comments:

Site work complete:

At this time, **I recommend issuing a permanent Certificate of Occupancy.**

Cc: Sarah Hopkins, Development Review Services Manager
Mike Nugent, Inspection Services Manager
File: Urban Insight

File: O:\plan\drc\beanpot1a.doc

**PERFORMANCE GUARANTEE
with the City of Portland**

Developer's Tax Identification Number: 13-3918742

Developer's Name and Mailing Address: B & G Foods, Inc.

4 Gatehall Drive, Suite 110

Parsippany, NJ 07054

City Account Number: ¹ 710-0000-238.81-00

Treasurer's Report of Receipts Number: ¹ 63956

Project Job Number: ¹ 2005-0087
(from Site Plan Application form)

Application of B & G Foods, Inc. for Burnham & Morrill Co. at One Bean Pot Circle, Portland, Maine.

The City of Portland (hereinafter the "City") will hold the sum of \$98,600 on behalf of B & G Foods, Inc in a non-interest bearing account established with the City. This account shall represent the estimated cost of installing site improvements as depicted on the subdivision/site plan, approved on July 29, 2005 as required under Portland Code of Ordinances Chapter 14 §§499, 499.5, 525 and Chapter 25 §§46 through 65. It is intended to satisfy the Applicant's obligation, under Portland Code of Ordinances Chapter 14 §§501, 502 and 525, to post a performance guarantee for the above referenced development.

The City, through its Director of Planning and Development and in his sole discretion, may draw against this Escrow Account in the event that:

1. the Developer has failed to satisfactorily complete by July 29, 2007 the work on the improvements contained within the site improvements approval, dated July 29, 2005; or
2. the Developer has failed to deliver to the City a deed containing the metes and bounds description of any streets, easements or other improvements required to be deeded to the City; or
3. the Developer has failed to post the ten percent (10%) Defect Guarantee required by Portland Code of Ordinances Chapter 14 §§501 and 525; or
4. the Developer has failed to notify the City for inspections in conjunction with the installation of improvements noted in paragraph one.

The Director of Planning and Development may draw on this guarantee, at his option, either thirty days prior to the expiration date contained herein, or s/he may draw against this escrow for a period not to exceed ninety (90) days after the expiration of this commitment; provided that the

Applicant will give the City written notice, by certified mail (restricted delivery to Duane Kline, Director of Finance, City of Portland, 389 Congress Street, Room 110, Portland, Maine) of the expiration of this escrow within sixty (60) days prior thereto. Otherwise, drafts may be submitted by the City of Portland no later than ninety (90) days following such notice, whenever given.

After all underground work has been completed and inspected to the satisfaction of the Department of Public Works and Planning, including but not limited to sanitary sewers, storm drains, catch basins, manholes, electrical conduits, and other required improvements constructed chiefly below grade, the City of Portland Director of Planning and Development or its Director of Finance as provided in Chapter 14 §501 of the Portland Code of Ordinances, may authorize the City to reduce the available amount of the escrowed money by a specified amount.

This Escrow will automatically expire upon the earlier of:

1. the written notification from Portland's Director of Planning and Development that said work contained within the site improvements approval and as required by Portland Code of Ordinances Chapter 14 §§499, 499.5, 525 and Chapter 25 §46 through 65 has been completed in accordance with the City of Portland's specifications; or
2. the expiration date of July 29, 2007 or any automatically extended date as specified herein.

Seen and Agreed to: Burnham & Morrill

By: Donald E. Gower

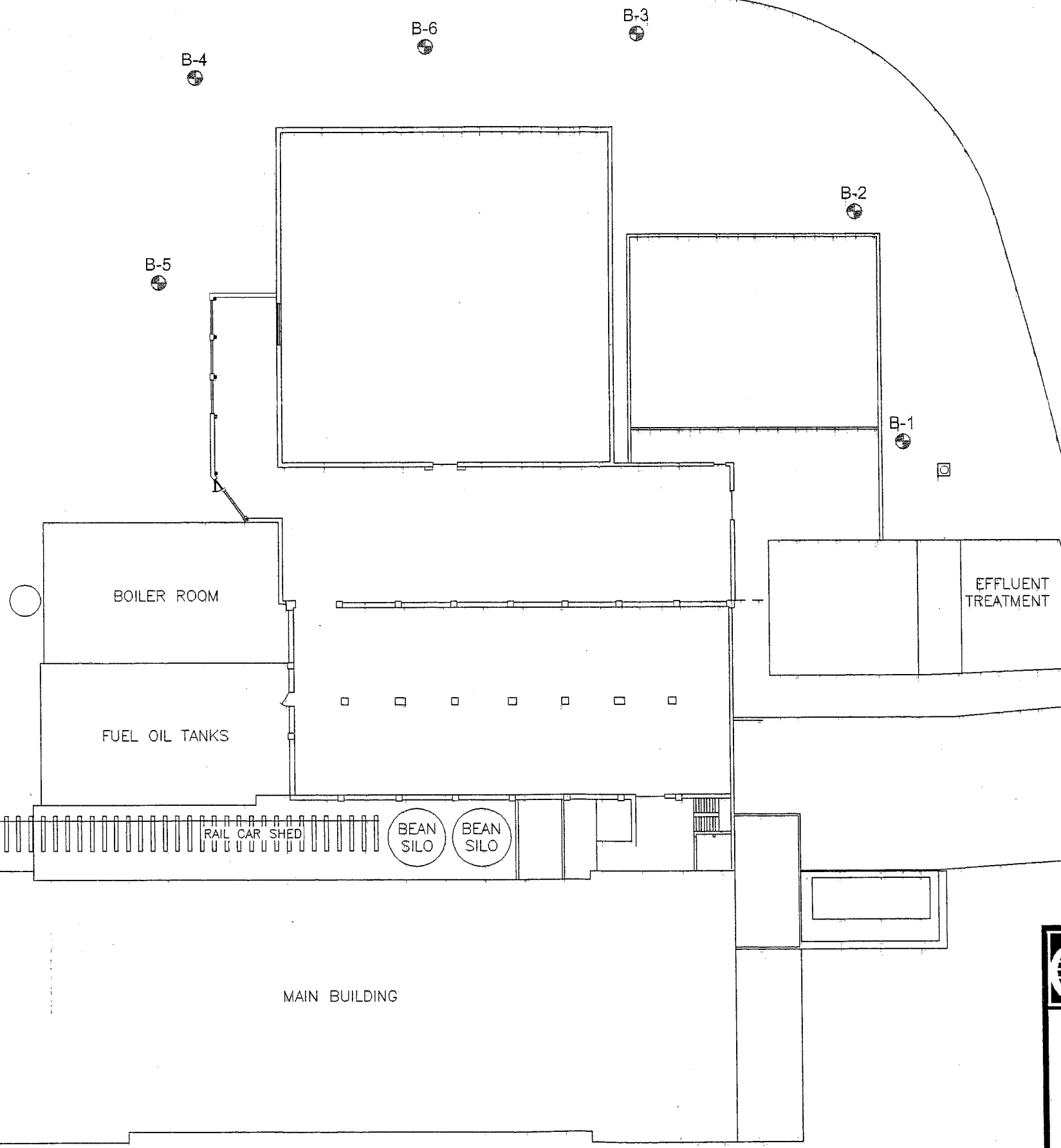
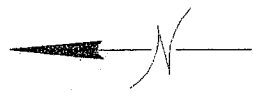
Attach **Letter of Approval and Estimated Cost of Improvements** to this form.

Distribution

1. This information will be completed by Planning Staff.
2. The account number can be obtained by calling Paul Colpitts, ext. 8665.
3. The Agreement will be executed with one original and one copy.
4. The original and copy, each signed by the Developer, will be delivered to the Finance Office, together with a copy of the Report of Receipts form.
5. The Director of Finance will sign the copies, retain the original for their files and deliver the other signed copy to the Planning Office.

Jay Reynolds
DRC 9-7-07

F:\PROJECTS\2005\05-0077 B & M EXPANSION\05-0077 EXP LOC.dwg, Layout1, 3/4/2005 8:57:02 AM, DRay, HP DesignJet 450C.pc3, Oversize: ANSIB (portrait), 1:1




LEGEND

Approximate Test Boring Location

NOTE :

Base plan provided by Associated Design Partners, Inc.

 S.W. COLE ENGINEERING, INC.	
ASSOCIATED DESIGN PARTNERS EXPLORATION LOCATION PLAN Proposed B&M Baked Beans Expansion One Beanpot Circle Portland, Maine	
Job No. 05-0077 S Date: 03/04/05	Scale 1" = 30' Sheet 1

NOTES

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size, or all planimetric features outside Special Flood Hazard Areas. The community map repository should be consulted for possible updated flood hazard information prior to use of this map for property purchase or construction purposes.

Coastal base flood elevations apply only landward of 0.0 NCGVD, and include the effects of wave action; these elevations may also differ significantly from those developed by the National Weather Service for hurricane evacuation planning. Areas of special flood hazard (100-year flood) include Zones A, AE, AH, AO, A99, V, and VE.

Certain areas not in Special Flood Hazard Areas may be protected by flood control structures.

Boundaries of the floodways were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the Federal Emergency Management Agency.

Floodway widths in some areas may be too narrow to show to scale. Floodway widths are provided in the Flood Insurance Study Report.

For adjoining map panels see separately printed Map Index.

MAP REPOSITORY

City of Portland Zoning and Building Inspection Office, 389 Congress Street, Room 315, Portland, Maine 04101 (Maps available for reference only, not for distribution.)

INITIAL IDENTIFICATION:

APRIL 29, 1977

FLOOD HAZARD BOUNDARY MAP REVISIONS:
NONE

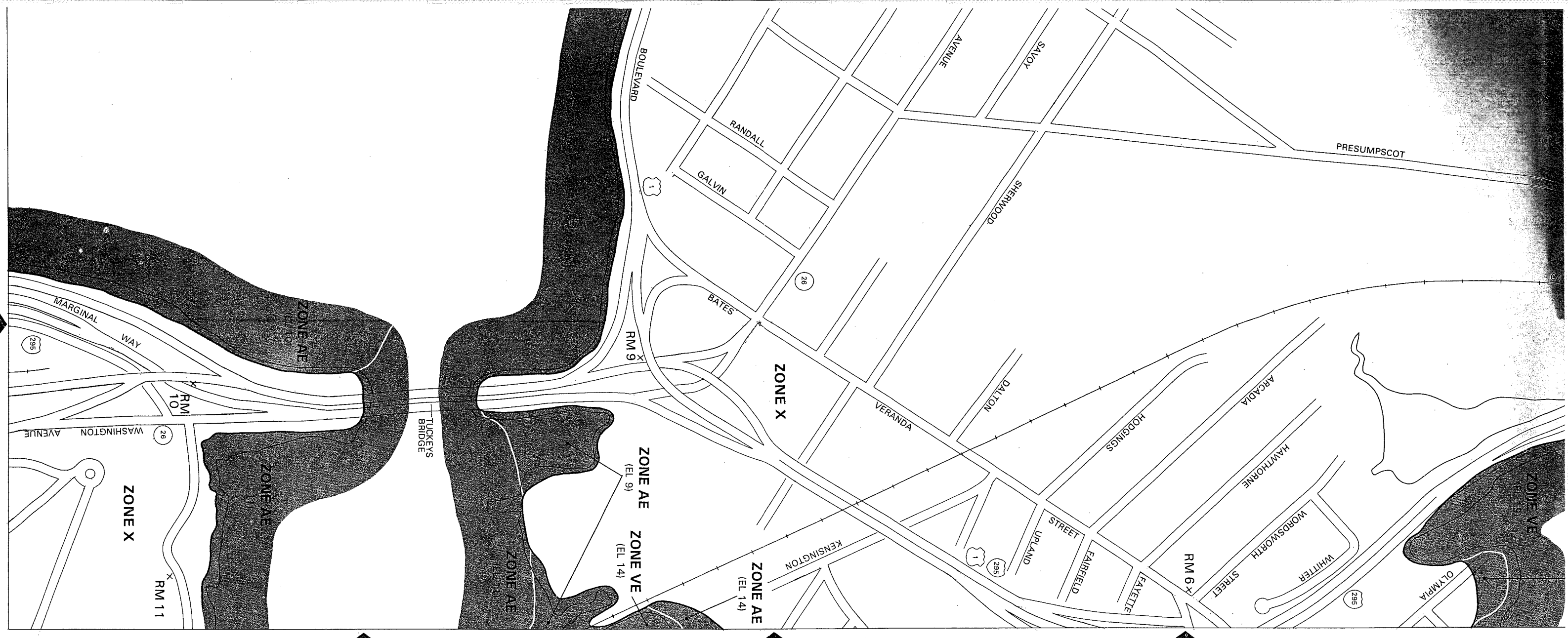
FLOOD INSURANCE RATE MAP EFFECTIVE:
JULY 17, 1986

FLOOD INSURANCE RATE MAP REVISIONS:

December 8, 1998 - to change base flood elevations, to add base flood elevations, to change zone designations, to update map format, and to change floodway



APPROXIMATE SCALE



NATIONAL FLOOD INSURANCE PROGRAM

**FIRM
FLOOD INSURANCE RATE MAP**

CITY OF
PORTLAND,
MAINE
CUMBERLAND COUNTY

PANEL 7 OF 17
(SEE MAP INDEX FOR PANELS NOT PRINTED)

Office

COMMUNITY PANEL NUMBER
230051 0007 C

MAP REVISED:
DECEMBER 8, 1998



Federal Emergency Management Agency