

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that LEGACY PARK PORTLAND ONE LLC

Located At 132 MARGINAL WAY

Job ID: 2012-11-5415-ALTCOMM

CBL: 442- A-001-001

has permission to Framing, bathrooms and ceiling work

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Plumbing Rough Commercial

Close In Elec/Plmb/Frame prior to insulate or gyp

Certificate of Occupancy Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-11-5415-ALTCOMM Located At: 132 MARGINAL WAY CBL: 442- A-001-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. Separate permits shall be required for any new signage.
3. With the issuance of this permit and the certificate of occupancy, this property shall remain as one retail space (UPS Store) one fitness center and 100 lodging units with 4 beds each. Any change of use shall require a separate permit application for review and approval.

Building

1. Application approval based upon information provided by the applicant or design professional, including revisions. Any deviation from approved plans requires separate review and approval prior to work.
2. All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM E 814 or UL 1479, per IBC 2009 Section 713.
3. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
4. Ventilation of this space is required per ASHRAE 62.2 or 62.1, 2007 edition.

Fire

1. All construction shall comply with City Code Chapter 10. The occupancy shall comply with City Code Chapter 10 upon inspection.
2. Street addresses shall be marked on the structure and shall be as approved by the City E-911 Addressing Officer. Contact Michelle Sweeney at 874-8682 for further information.
3. Any Fire alarm or Sprinkler systems shall be reviewed by a licensed contractor(s) for code compliance. All fire alarm installation and servicing companies shall have a Certificate of Fitness from the Fire Department. Compliance letters are required.

4. A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model. This review does not include approval of fire alarm system design or installation.
5. Fire Alarm system shall be maintained. If system is to be off line over 4 hours a fire watch shall be in place. Dispatch notification required 874-8576.
6. All smoke detectors shall be photoelectric. 120 volt single-station smoke alarms are not approved for this use. If automatic smoke detection is desired it shall be by system detectors.
7. The sprinkler system shall be installed in accordance with NFPA 13.
8. A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads. This review does not include approval of sprinkler system design or installation.
9. Sprinkler protection shall be maintained. Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
10. System acceptance and commissioning must be coordinated with alarm and suppression system contractors and the Fire Department. Call 874-8703 to schedule.
11. Installation of a sprinkler or fire alarm system requires a Knox Box to be installed per city ordinance.
12. Fire extinguishers are required per NFPA 1.
13. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
14. Any cutting and welding done will require a Hot Work Permit from Fire Department.
15. Fire walls, fire barriers, fire partitions, smoke barriers and smoke partitions or any other wall required to have protected openings or penetrations shall be effectively and permanently identified with signs or stenciling in accessible concealed floor, floor-ceiling or attic spaces at intervals not exceeding 30 feet with lettering not less than 0.5 inches in height.
16. Through-penetrations and membrane penetrations in fire walls, fire barrier walls, and fire resistance rated horizontal assemblies shall be protected by firestop systems or devices in conformance with NFPA 101:8.3.5 (ASTM E 814 or ANSI/UL 1479). Providing firestop labels at each firestop system or device and an onsite manual containing the detail for each firestop system or device used for the project will streamline final inspection approvals.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-11-5415- ALTCOMM	Date Applied: 11/16/2012	CBL: 442- A-001-001	
Location of Construction: 132 MARGINAL WAY	Owner Name: BLUE ATLANTIC PORTLAND, LLC (Ron Kortez)	Owner Address: 111 s. WACKER DR, STE 3300 CHICAGO IL 60606	Phone: 312-324-6082
Business Name:	Contractor Name: Wally J Staples Builders Inc	Contractor Address: 21 Greenwood Rd Brunswick ME 04011	Phone: 207-725-7700
Lessee/Buyer's Name:	Phone:	Permit Type: Building –Change of Use	Zone:
Past Use: Vacant Space	Proposed Use: Tenant fit up for Fitness Studio – frame two half baths & two changing rooms, install drop ceiling, interior doors	Cost of Work: \$58,000.00	CEO District:
		Fire Dept: 12/24/12 <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: B Type: IA MURBEC'09 Signature: JMB 12/13/12
Proposed Project Description: fit up vacant space for fitness studio		Pedestrian Activities District (P.A.D.)	

Permit Taken By: Brad	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: OK w/ conditions 11/26/12 ABM	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: ABM

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

B-7



General Building Permit Application

Entred 11/16/12 (83)

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

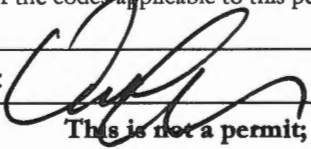
2012-11-5415 - ALTComm

Location/Address of Construction: 132 MARCEWAU WAY		
Total Square Footage of Proposed Structure/Area 1,350' SQ. FT.		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 442 A001	Applicant * must be owner, Lessee or Buyer* Name BLUE ATLANTIC PORTLAND, LLC (312) 324-6082 Address 111 S. WACKER DR. SUITE 3300 (RON KORTEZ) CHICAGO, ILLINOIS City, State & Zip 60606	Telephone: 58,000
Lessee/DBA (If Applicable) RECEIVED NOV 16 2012 Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name SAME AS ABOVE Address City, State & Zip	Cost Of Work: \$ 95,000 C of O Fee: \$ _____ Total Fee: \$ 600.00
Current legal use (i.e. single family) MIXED USE If vacant, what was the previous use? NEW CONSTRUCTION Proposed Specific use: FITNESS STUDIO Is property part of a subdivision? _____ If yes, please name _____ Project description: - Framing (2) 1/2 Bathrooms & (2) Changing rooms - Plumbing, Electrical & Hvac - Drop ceiling - VCT Flooring - Interior doors & trim -		
Contractor's name: WALLY J. STAPLES BUILDERS, INC. Address: 21 GREENWOOD RD. City, State & Zip BRUNSWICK, ME 04011 Telephone: 725-7700 Who should we contact when the permit is ready: WALLY STAPLES Telephone: 725-7700 X211 Mailing address: 21 GREENWOOD RD. BRUNSWICK, ME 04011		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: **11-15-12**

This is not a permit; you may not commence ANY work until the permit is issued



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Receipts Details:

Tender Information: Check , Check Number: 5251\$75.00

Tender Amount: 75.00

Receipt Header:

Cashier Id: bsaucier

Receipt Date: 11/26/2012

Receipt Number: 50519

Receipt Details:

Referance ID:	8841	Fee Type:	BP-C of O
Receipt Number:	0	Payment Date:	
Transaction Amount:	75.00	Charge Amount:	75.00
Job ID: Job ID: 2012-11-5415-ALTCOMM - fit up vacant space for fitness studio			
Additional Comments: 132 Marginal Way			

Thank You for your Payment!

EXISTING SPACE

EXISTING drop ceiling's

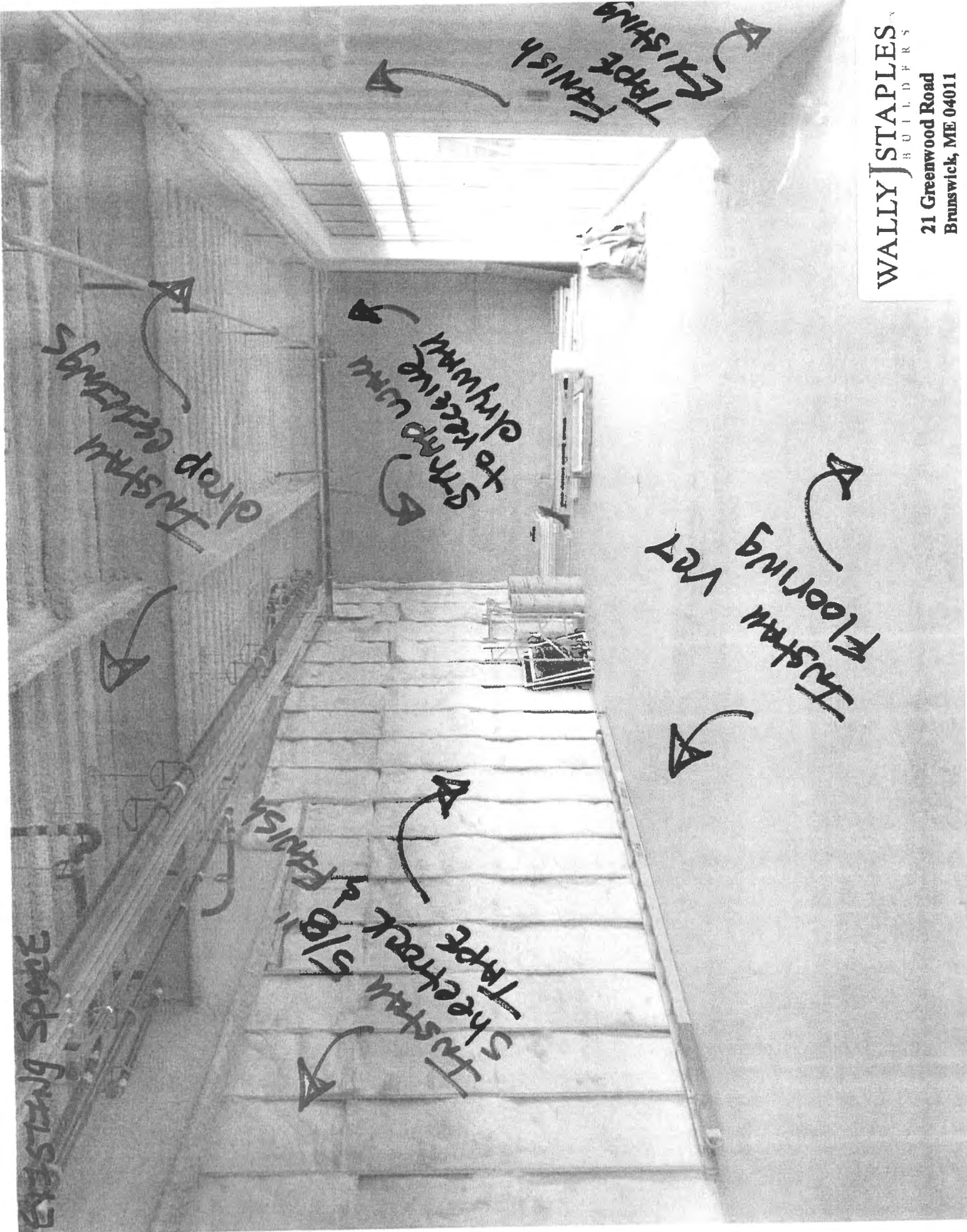
EXISTING TRAPE FINISH

EXISTING VCT Flooring

EXISTING TRAPE FINISH
New 5/8" Sheetrock

WALLY STAPLES BUILDERS

21 Greenwood Road
Brunswick, ME 04011



Existing Space

Install drop ceilings

Install s/g finish
Install Sheetrock & Tape

Strip wall to receive drywall

Install VOT Flooring VOT

Finish Tape Flashing



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Receipts Details:

Tender Information: Check , Check Number: 5247\$600.00

Tender Amount: 600.00

Receipt Header:

Cashier Id: bsaucier

Receipt Date: 11/16/2012

Receipt Number: 50312

Receipt Details:

Referance ID:	8766	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	600.00	Charge Amount:	600.00
Job ID: Job ID: 2012-11-5415-ALTCOMM - Framing, bathrooms and ceiling work			
Additional Comments: 132 Marginal Way			

Thank You for your Payment!

Jeanie Bourke - FW: 132 Marginal Way Portland, Me Project

From: "Wally J. Staples" <wally@wallystaplesbuilders.com>
To: "Jeanie Bourke" <JMB@portlandmaine.gov>
Date: 12/10/2012 9:12 AM
Subject: FW: 132 Marginal Way Portland, Me Project
CC: "Diane Bibber-Oden" <bibb804@comcast.net>

Jeanie,

Please see description of intended use of space at 132 Marginal Way as provided by Richard Evans from Quest Fitness. Working on getting the stamped plans completed & to you this week.

Thanks

Wally J. Staples

WALLY STAPLES

21 Greenwood Rd.

Brunswick, ME 04011

Office: (207) 725-7700

Fax: (207) 725-7701

wally@wallystaplesbuilders.com

www.wallystaplesbuilders.com

RECEIVED
 DEC 10 2012
 Dept. of Building Inspections
 City of Portland Maine

Business model

From: Richard Evans [mailto:richard@questfitnessmaine.com]
Sent: Saturday, December 08, 2012 9:56 AM
To: 'Wally J. Staples'
Subject: RE: 132 Marginal Way Portland, Me Project

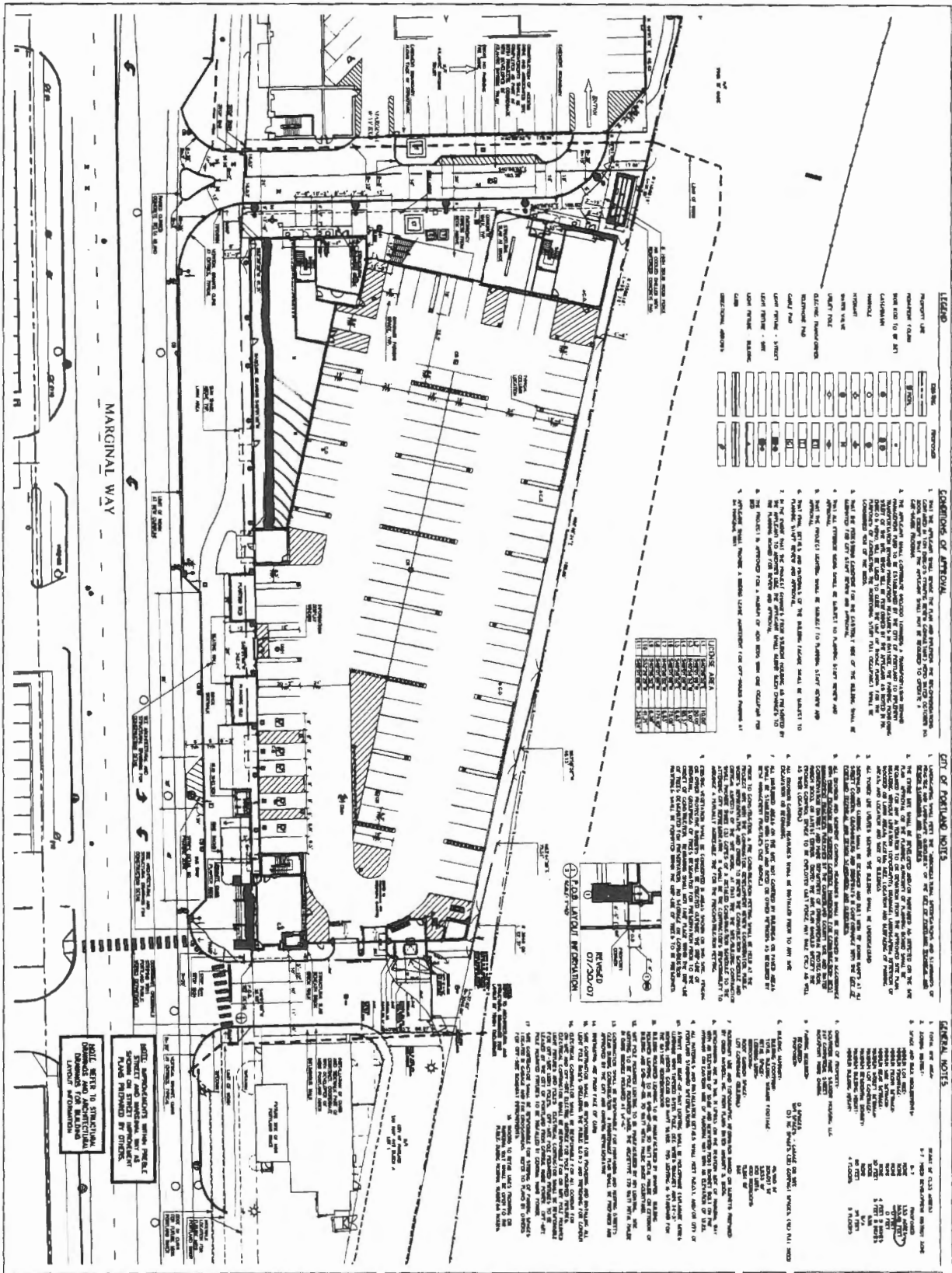
The space will be used for a 'Group Cycle' class, also goes by the name of 'spinning'. There will be 25 bikes in there, so a max of 25 people. The bikes require no electricity and are self propelled by the rider. No other fitness/exercise equipment will be located in the space.

The business plan:

Customers will schedule and purchase class time through our web site. There will be on average 3 to 4 classes per day, maybe one on a Sunday. Classes will be 50 minutes long. There will be no food and beverage other than a water fountain. There will be an AED (Automatic External Defibrillator) on site and staff certified in CPR and use of AED at all times classes are in session. Customers will enter class up to 15 minutes before class and leave within 5-10 minutes after class ends.

Richard Evans
 Managing Partner
 Quest Fitness

Bayside Village
 1-3 Room Apartments
 Signs for cars



LEGEND

PROPERTY LINE	CONCRETE	PAVEMENT
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- CONDITIONS OF APPROVAL
1. THE APPLICANT SHALL SUBMIT TO THE CITY AND DISTRICT AND TO THE BOARD OF HEALTH AND FIRE DEPARTMENT... [text continues]
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- GENERAL NOTES
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 16. THE APPLICANT SHALL SUBMIT TO THE CITY AND DISTRICT AND TO THE BOARD OF HEALTH AND FIRE DEPARTMENT... [text continues]

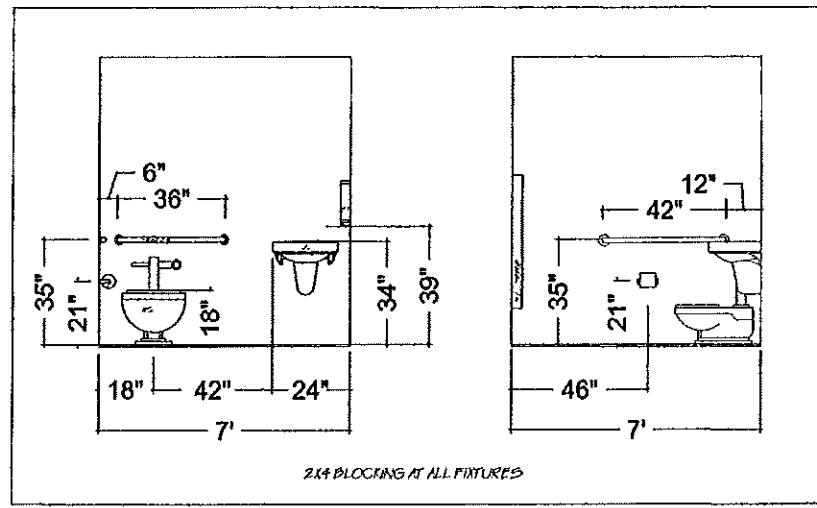
BAYSIDE VILLAGE
A STUDENT HOUSING COMPLEX

132 Marginal Way Portland, Maine

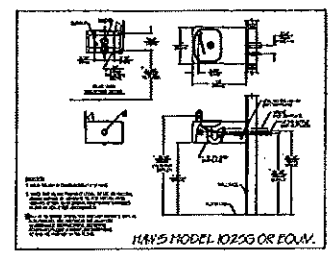
DATE: April 14, 1968	PROJECT: Bayside Village	ARCHITECT: H. H. H. Architects
SCALE: As Shown	CONTRACT NO.: H-11-11-68	CLIENT: The Trustees of Bayside Village
NOTES: 1. THIS PLAN IS A GENERAL LAYOUT AND IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE ARCHITECT'S PERMISSION. 2. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED. 3. SEE SEPARATE PLANS FOR DETAILS AND MATERIALS. 4. SEE SEPARATE PLANS FOR FINISHES AND SCHEDULES. 5. SEE SEPARATE PLANS FOR STRUCTURAL DETAILS AND FOUNDATIONS.		

15

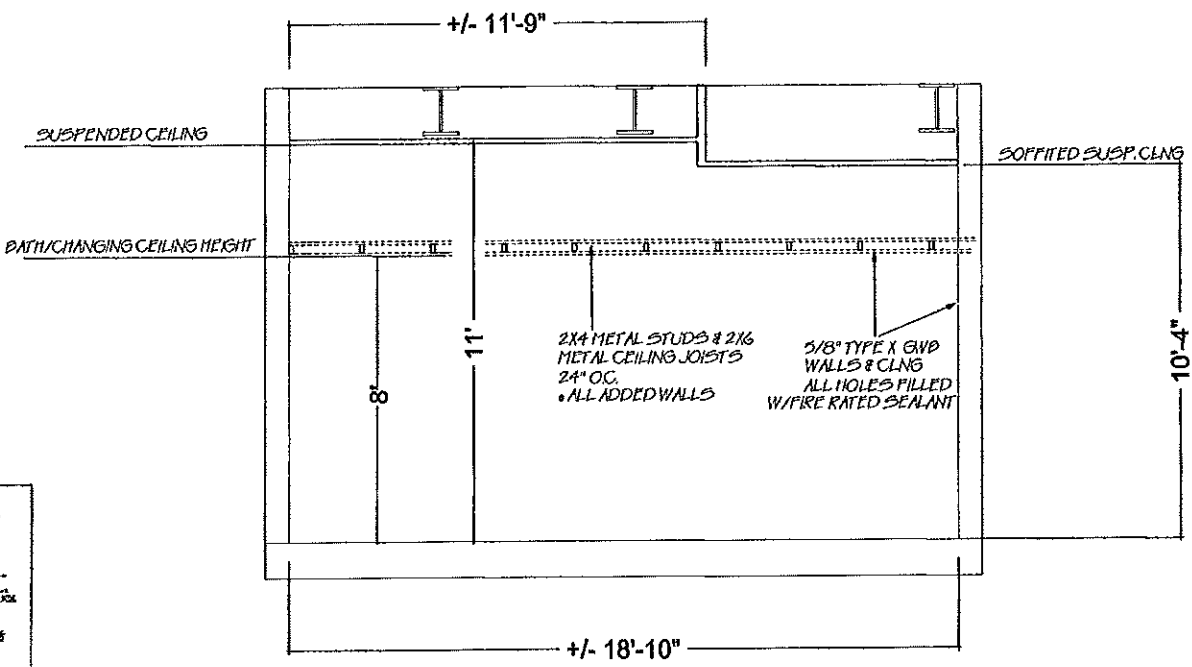
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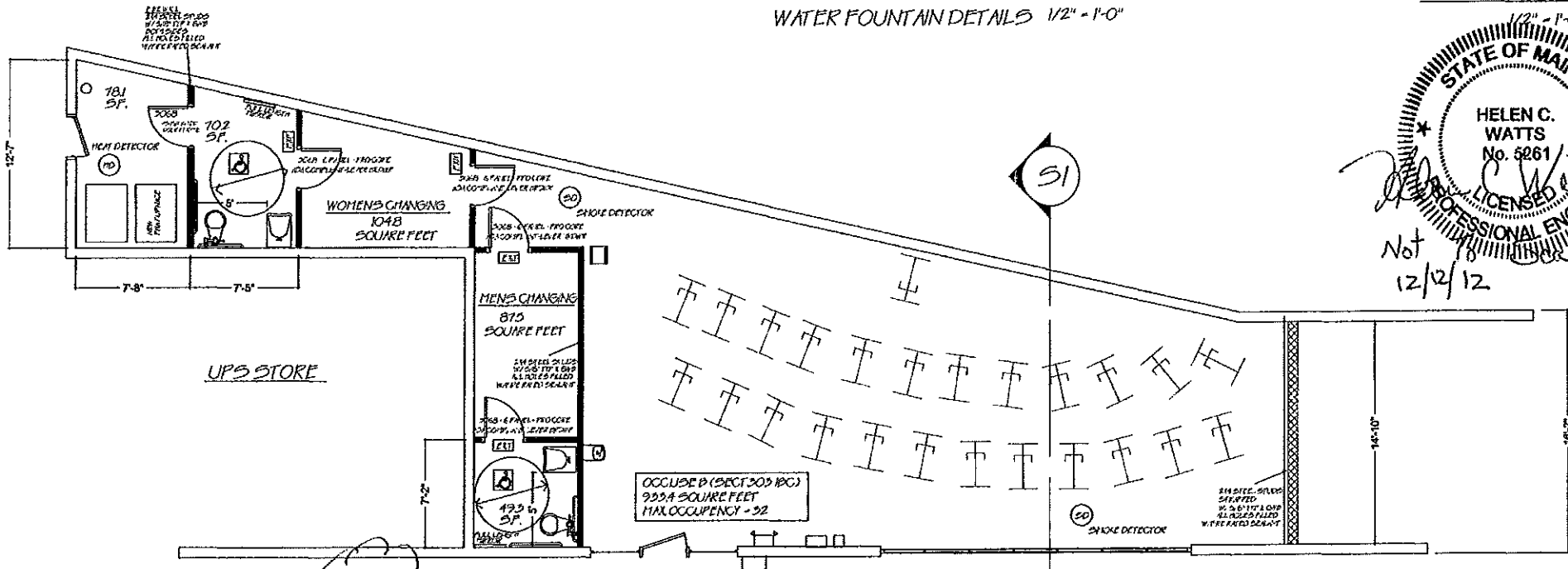
ADA LAVATORY DETAILS 1/2" = 1'-0"



WATER FOUNTAIN DETAILS 1/2" = 1'-0"



NEW SECTION VIEW S1



NEW FIRST FLOOR PLAN

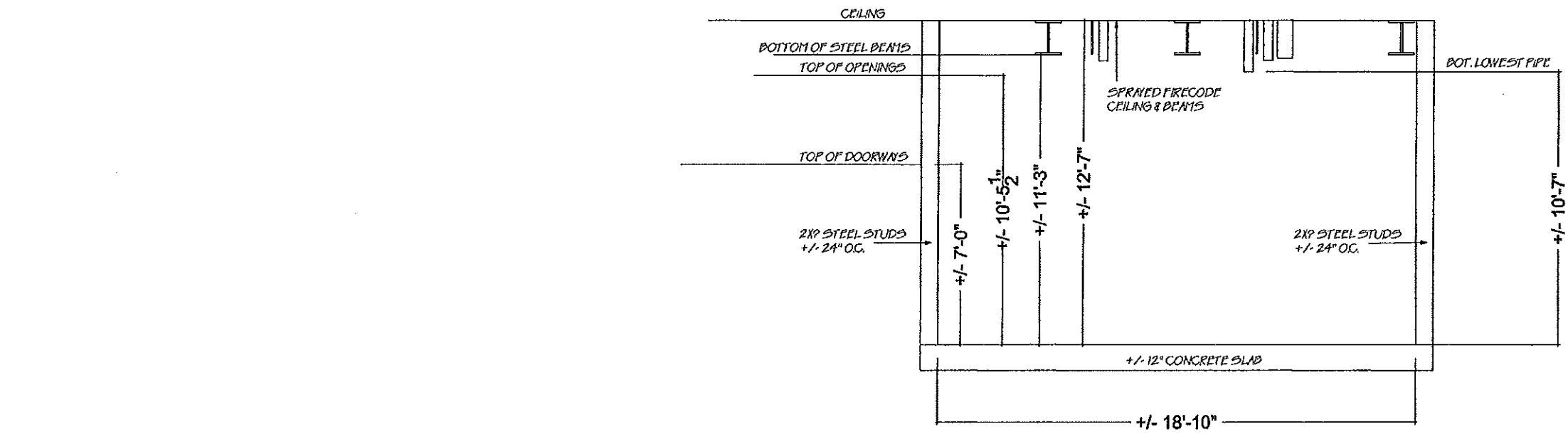
STATE OF MAINE
HELEN C. WATTS
No. 5061
LICENSED PROFESSIONAL ENGINEER
Not 12/12/12

NOTES:
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATE AND LOCAL CODES AND SHALL BE COMPLETED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
EXCEPT AS NOTED OTHERWISE TO CONFORM WITH THE EXISTING CONDITIONS OF THE BUILDING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS.
DO NOT SCALE DRAWINGS.

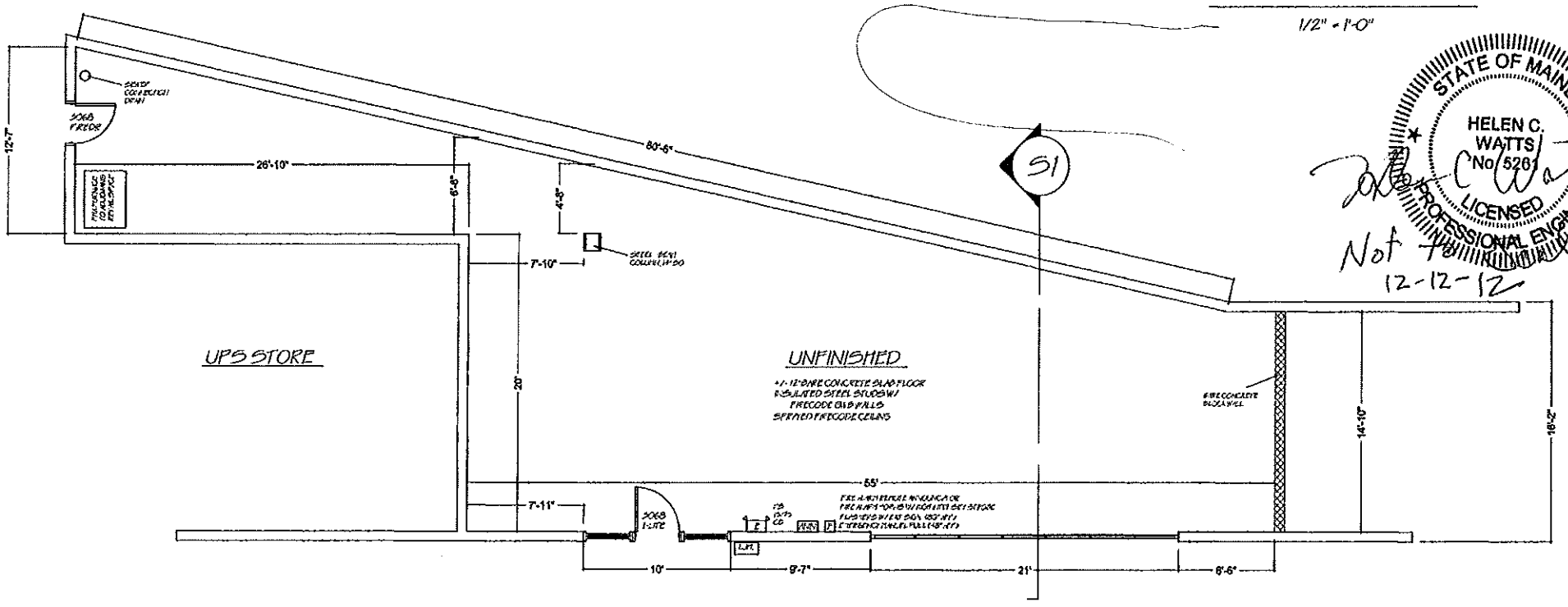
- GENERAL ARCHITECTURAL NOTES:
1. ALL WORK IS TO MEET OR EXCEED ALL PERTINENT FEDERAL, STATE & LOCAL CODES.
 2. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD, AND ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER FOR RESOLUTION PRIOR TO CONSTRUCTION.
 3. UNLESS OTHERWISE NOTED, DETAILS SHOWN ARE TO BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS.
 4. ANY CHANGES OR MODIFICATIONS TO THESE PLANS MUST BE APPROVED IN WRITING BY THE OWNER & CONTRACTOR PRIOR TO CONSTRUCTION.

Project Name: QUEST FITNESS		Map 01, Lot 114	
122 MARGINAL WAY RETAIL RENOVATION			
Scale: 1/4" = 1'-0"	Revision:	Drawn by: Dave Edgerly	
Date: 12/08/12	Author:		
NEW FLOOR PLAN, DETAILS & SECTION		Drawing Number: 2 OF 2	
WALLY J. STAPLES, BUILDER			
NOTE: All drawings, plans, sketches, etc. are provided to my clients based upon information provided by the clients in accordance with common building practices and local codes. No one who has worked on this project is a registered Architect, Engineer or Surveyor. If all dimensions and specifications are not verified by the owner and Contractor before actual construction begins, the owner will be held responsible. We assume no liability for changes and/or revisions made to the plans by Client and/or Contractor after final building codes have been issued and construction has commenced. A structural Engineer should be consulted prior to construction. These are preliminary plans only.			

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EXISTING SECTION S1



EXISTING FLOOR PLAN

STATE OF MAINE
 HELEN C. WATTS
 No 5261
 LICENSED PROFESSIONAL ENGINEER
 Not to be used
 12-12-12

NOTE 2:
 ALL DIMENSIONS ARE PROVIDED UNLESS OTHERWISE NOTED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. DIMENSIONS ARE TO CENTER UNLESS OTHERWISE NOTED. DIMENSIONS TO THE OUTSIDE EDGE UNLESS OTHERWISE NOTED.

GENERAL ARCHITECTURAL NOTES:

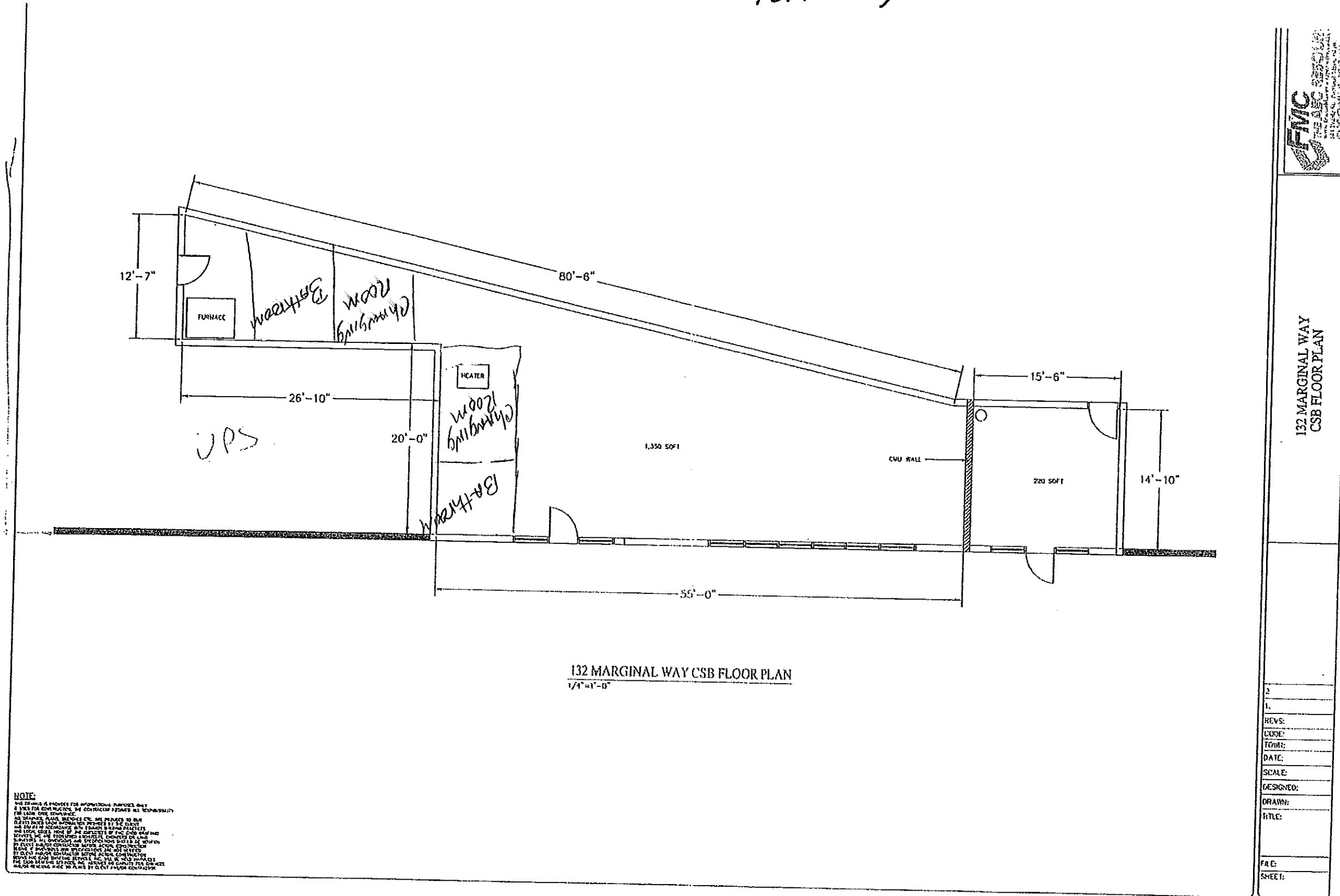
1. ALL WORK IS TO MEET OR EXCEED ALL PERTINENT FEDERAL, STATE & LOCAL CODES.
2. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD, AND ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER FOR RESOLUTION PRIOR TO CONSTRUCTION.
3. UNLESS OTHERWISE NOTED, DETAILS SHOWN ARE TO BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS.
4. ANY CHANGES OR MODIFICATIONS TO THESE PLANS MUST BE APPROVED IN WRITING BY THE OWNER & CONTRACTOR PRIOR TO CONSTRUCTION.

Project Name	QUEST FITNESS	MAP 07, LOT 114
Client	127 HAZARDNA WAY RETAIL RENOVATION	
Scale	1/4" = 1'-0"	Drawn by: Diana Blain O'Neil
Date	12/08/12	Revised:
EXISTING FLOOR PLAN & SECTION		
Designer	WALLY J. STAPLES, BUILDER	Sheet Number: 1 OF 2
NOTE: All Elevation, plans, sketches, Etc. are provided to my Clients based upon information provided by the client in accordance with common building practices and local codes. No one who has worked on this plan is a registered Architect, Engineer or Surveyor. If all dimensions and/or specifications are not verified by the owner and Contractor before actual construction begins, the client is held responsible. We assume no liability for changes and/or omissions made to the plans by Client and/or Contractor. All local & national building codes must be adhered to and take precedence. A structural Engineer should be consulted prior to construction. These are print plans only.		

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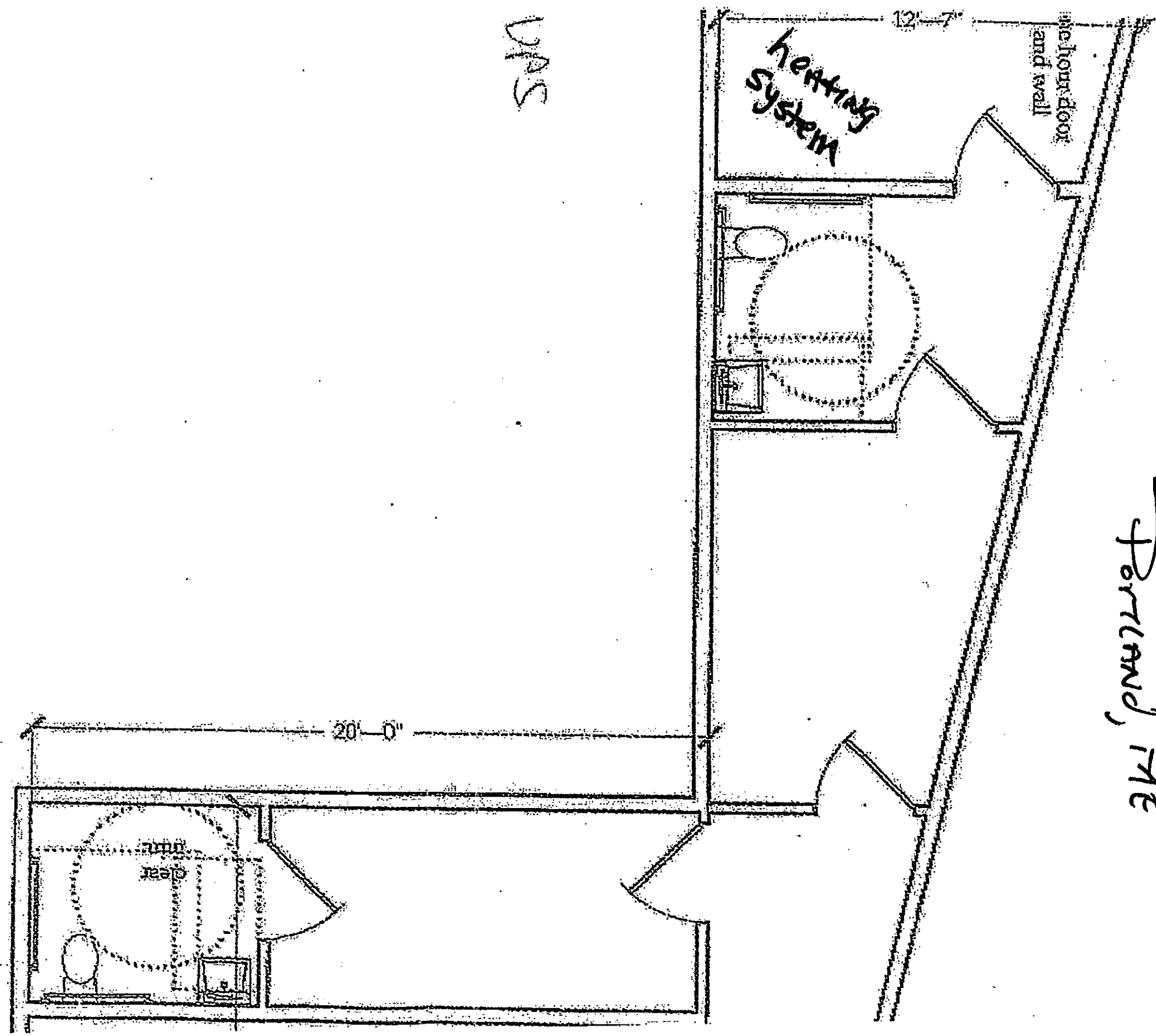
132 MARGINAL WAY
 PORTLAND, ME

EXISTING FLOOR PLAN



NOTE:
 THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
 IT IS NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND FOR ANY NECESSARY ADJUSTMENTS TO THE DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND FOR ANY NECESSARY ADJUSTMENTS TO THE DRAWING.

132 MARGIZONE DR
PORTLAND, ME



WAS

1/4" = 1'

Floor Plan (A) 9-24-12