

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 080798

This is to certify that Flaherty John P Kw Vet /Ma Flaherty

has permission to Single Family Home - 1 Story - bedroom / 2 car garage

AT 55 Chesley Ave 439 B010001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is leased or occupied. **24 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

PERMIT ISSUED

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

AUG 18 2008

CITY OF PORTLAND

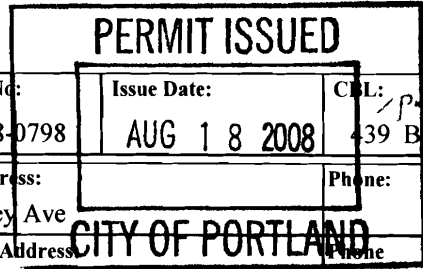
Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716



Permit No: 08-0798	Issue Date: AUG 18 2008	CEL: 439 B010001
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Location of Construction: 55 Chesley Ave (59-61)	Owner Name: Flaherty John P Kw Vet	Owner Address: 55 Chesley Ave	Phone:
Business Name:	Contractor Name: Matt Flaherty	Contractor Address: 49 Haverty's Way Portland	Phone: 2074152957
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-3

Past Use: Vacant Land Split from original house lot	Proposed Use: Single Family Home - 1 Story ^{house} bedroom w/ 2 car garage	Permit Fee: \$1,775.00	Cost of Work: \$168,000.00	CEO District: 4
Proposed Project Description: Single Family Home - 1 Story ^{house} 3 bedroom w/ 2 car garage		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied Signature: <i>N/A</i>	INSPECTION: Use Group: R-3 Type: 5B Signature: <i>IRC 2003</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 06/30/2008	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <i>N/A</i> <input type="checkbox"/> Flood Zone <i>per 7-Zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2008-0120</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK w/ conditions</i> Date: <i>7/14/08</i> <i>ABU</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABU</i> Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

55 Chesley Ave -

DB-0798

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)		
Component	Submitted Plan	Findings Revisions Date
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	12" x 24" Footing - 8" Wall - 8' below	
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Shows 4" drain w/ sock & foundation coating	
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A	
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2" diam bolts - 6' - OC	
Lally Column Type (Section R407)	4- 2" x 12" - S	
Girder & Header Spans (Table R 502.5(2))	OK - 11'-9" Max span	
Built-Up Wood Center Girder Dimension/Type	" "	
Sill/Band Joist Type & Dimensions	2" x 6" PT Plate	
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	Floor Trusses	Want truss design prior to issuance - 38' clear span roof truss - bearing points? want design.
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	Attic Trusses	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	" "	

08-0798

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	TRUSSES	
(16) Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	Shows 1/2" Roof - need 5/8" for 24" oc trusses - 1/2" walls + 3/4" floors	
Fastener Schedule (Table R602.3(1) & (2))		
Private Garage (Section R309) Living Space? <i>Yes</i> (Above or beside)		
(17) Fire separation (Section R309.2) - <i>not noted</i>		
Opening Protection (Section R309.1) <i>OK - shows fire door</i>		
Emergency Escape and Rescue Openings (Section R310)	OK	
Roof Covering (Chapter 9)	Asphalt	
Safety Glazing (Section R308)	N/A	
Attic Access (Section R807)	N/A	
(18) Chimney Clearances/Fire Blocking (Chap. 10)	not shown	
Header Schedule (Section 502.5(1) & (2))	OK noted	
(19) Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	R-38 Roof R-19 walls -	

0.35 or lower

Need to insulate bsmt / 1st floor - or rigid Ins.
- U-Values of windows

OB-0798

① Type of Heating System	not shown - Gas fired furnace	
② Means of Egress (Sec R311 & R312) Basement Number of Stairways 1 Interior 1 Exterior 2 Treads and Risers $T = 10''$ Min (Section R311.5.3) $R = 7\frac{3}{4}''$ Max Width (Section R311.5.1) 36'' ③ Headroom (Section R311.5.2) not shown - 6'-8" OK Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3) OK - front rail not req - not over 30"		
④ Smoke Detectors (Section R313) Location and type/Interconnected	Condition	
Draftstopping (Section R502.12) and Fireblocking (Section R602.8) Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	N/A	
Deck Construction (Section R502.2.1)	N/A	

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Jeff & Gretchen Shantar

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BUILDERS SUPPLY

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WOODSTRUCTURES



P.O. Box 347
20 Pomerlean Street
Biddeford, ME 04005

Tel: 207-282-7556
Customer Service: 877-974-7782
Out of State: 800-341-9612

Facsimile Cover Sheet

To: John Gilmer

Company:

Phone:

Fax: 207-282-9837

From: Chipper Roberts

Company: Wood Structures Inc.

Phone: (207) 282 - 7556

Fax: (207) 282 - 2423

Date: 8-15-08

Pages including this

Cover page: 7

Comments:

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BUILDERS SUPPLY

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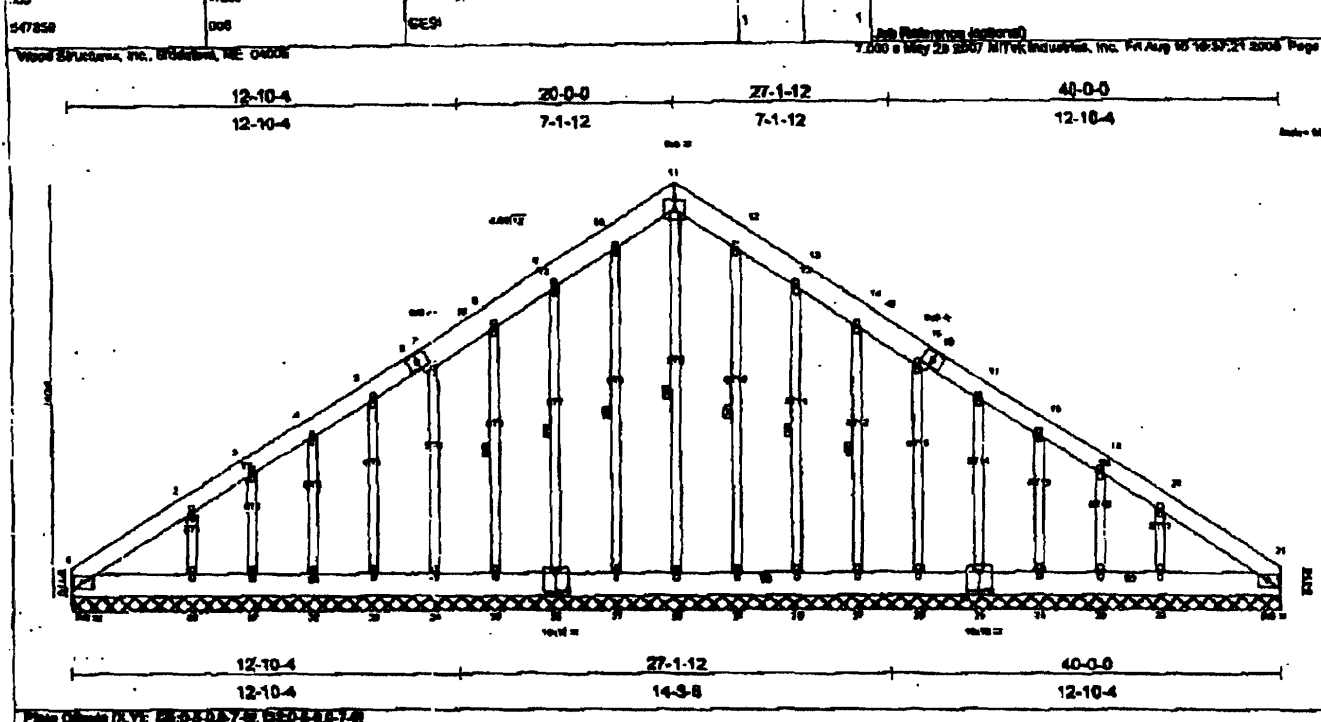
BUILDERS SUPPLY

Job Reference: 20080815
7:00 5 Aug 20 2007 0108 Industries, Inc. Fri Aug 15 09:24:21 2008 Page 2

LOAD CASE(S) Standard
1) Snow: Linear Increase=1.0L, Peak Increase=1.15
Uniform Loads (psf)
Wind: 1-37--30, 21-27--20, 21-23--20, 1-11--120, 11-21--120
Concentrated Loads (lb)
Wind: 4--2400

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LOADING (psf)	SPACING	CSI	DEFL.	PLATE	GRP
TCLL 50.0	20-0	TC 0.85	in (0.0)	MT29	15/144
(Roof Snow)=00.0	Platb Increase 1.75	SC 0.93	in/r -		
TCOL 18.0	Lumber Increase 1.75	YR 0.19	in/r -		
BCLL 0.0	Code WC308/TP1202	(Noted)	in/r -		
BCOL 18.0			in/r -		

Weight 404 lb

LUMBER
TOP CHORD 2 X 10 SYP M 23 "E" type
BOT CHORD 2 X 10 SYP M 23
OTHERS 2 X 4 GPP 180CF 1.2E

BRACING
TOP CHORD Structural steel sheathing directly applied or 5-0-0 oc joists.
BOT CHORD Right cutting directly applied or 10-0-0 oc joists.
WEBS 1 Row at midsp 11-30, 10-31, 8-32, 5-33, 12-28, 13-28, 14-27

REACTIONS (kips) 1-20000.0-0, 21-20000.0-0, 22-20000.0-0, 23-20000.0-0, 24-20000.0-0, 25-20000.0-0, 26-20000.0-0, 27-20000.0-0, 28-20000.0-0, 29-20000.0-0, 30-20000.0-0, 31-20000.0-0, 32-20000.0-0, 33-20000.0-0, 34-20000.0-0, 35-20000.0-0, 36-20000.0-0, 37-20000.0-0, 38-20000.0-0, 39-20000.0-0, 40-20000.0-0, 41-20000.0-0, 42-20000.0-0, 43-20000.0-0, 44-20000.0-0, 45-20000.0-0, 46-20000.0-0, 47-20000.0-0, 48-20000.0-0, 49-20000.0-0, 50-20000.0-0, 51-20000.0-0, 52-20000.0-0, 53-20000.0-0, 54-20000.0-0, 55-20000.0-0, 56-20000.0-0, 57-20000.0-0, 58-20000.0-0, 59-20000.0-0, 60-20000.0-0, 61-20000.0-0, 62-20000.0-0, 63-20000.0-0, 64-20000.0-0, 65-20000.0-0, 66-20000.0-0, 67-20000.0-0, 68-20000.0-0, 69-20000.0-0, 70-20000.0-0, 71-20000.0-0, 72-20000.0-0, 73-20000.0-0, 74-20000.0-0, 75-20000.0-0, 76-20000.0-0, 77-20000.0-0, 78-20000.0-0, 79-20000.0-0, 80-20000.0-0, 81-20000.0-0, 82-20000.0-0, 83-20000.0-0, 84-20000.0-0, 85-20000.0-0, 86-20000.0-0, 87-20000.0-0, 88-20000.0-0, 89-20000.0-0, 90-20000.0-0, 91-20000.0-0, 92-20000.0-0, 93-20000.0-0, 94-20000.0-0, 95-20000.0-0, 96-20000.0-0, 97-20000.0-0, 98-20000.0-0, 99-20000.0-0, 100-20000.0-0

PERMS (k) - Minimum Compression Tension
TOP CHORD 1-3-20000, 2-3-20000, 3-4-20000, 4-5-20000, 5-6-20000, 6-7-20000, 7-8-20000, 8-9-20000, 9-10-20000, 10-11-20000, 11-12-20000, 12-13-20000, 13-14-20000, 14-15-20000, 15-16-20000, 16-17-20000, 17-18-20000, 18-19-20000, 19-20-20000, 20-21-20000, 21-22-20000, 22-23-20000, 23-24-20000, 24-25-20000, 25-26-20000, 26-27-20000, 27-28-20000, 28-29-20000, 29-30-20000, 30-31-20000, 31-32-20000, 32-33-20000, 33-34-20000, 34-35-20000, 35-36-20000, 36-37-20000, 37-38-20000, 38-39-20000, 39-40-20000, 40-41-20000, 41-42-20000, 42-43-20000, 43-44-20000, 44-45-20000, 45-46-20000, 46-47-20000, 47-48-20000, 48-49-20000, 49-50-20000, 50-51-20000, 51-52-20000, 52-53-20000, 53-54-20000, 54-55-20000, 55-56-20000, 56-57-20000, 57-58-20000, 58-59-20000, 59-60-20000, 60-61-20000, 61-62-20000, 62-63-20000, 63-64-20000, 64-65-20000, 65-66-20000, 66-67-20000, 67-68-20000, 68-69-20000, 69-70-20000, 70-71-20000, 71-72-20000, 72-73-20000, 73-74-20000, 74-75-20000, 75-76-20000, 76-77-20000, 77-78-20000, 78-79-20000, 79-80-20000, 80-81-20000, 81-82-20000, 82-83-20000, 83-84-20000, 84-85-20000, 85-86-20000, 86-87-20000, 87-88-20000, 88-89-20000, 89-90-20000, 90-91-20000, 91-92-20000, 92-93-20000, 93-94-20000, 94-95-20000, 95-96-20000, 96-97-20000, 97-98-20000, 98-99-20000, 99-100-20000

NOTES (13)
 1) WIND: ASCE 7-02; 120mph; 1-00E; TCCL=0.85; BCLL=0.85; Category I; Esp C; snowload 150PSF; gable end and C-C Exterior (0-0-0 to 2-1-12), Interior (1-2-11-12 to 15-11-5), Exterior (15-11-5 to 20-0-0), Interior (15-11-5 to 20-0-0) and slight upward; Lumber DOU-1.80 plate gpl BCL-1.80. This truss is designed for C-C for members and bracing, and for 150PSF for machine specified.
 2) Truss designed for wind loads to the plane of the truss only. For studs exposed to wind (located to the face), use MITec "Standard Gable End Data".
 3) TCCL: ASCE 7-02; 150PSF psf (flat roof snow); Category I; Esp C; Fully Exp.; Cp=1.1
 4) Unbalanced snow loads have been considered for this design.
 5) This truss has been designed for a 10-0 psf bottom chord for post-tensionment with any other tie loads.
 6) All plates are 208 60/20 unless otherwise indicated.
 7) This truss requires plate inspection per the Truss Count Method when this truss is chosen for quality assurance inspection.
 8) Gable requires continuous bottom chord bracing.
 9) Gable studs spaced at 2-0-0 oc.
 10) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rafter is 5-0-0 tall by 1-0-0 wide and 2 between the bottom chord and any other members.
 11) Provide mechanical connection (by means of truss to bearing plate capable of withstanding 225 lb uplift at joint 1, 61 lb uplift at joint 21, 65 lb uplift at joint 31, 182 lb uplift at joint 32, 128 lb uplift at joint 33, 110 lb uplift at joint 34, 910 lb uplift at joint 35, 282 lb uplift at joint 36, 128 lb uplift at joint 37, 273 lb uplift at joint 38, 128 lb uplift at joint 39, 128 lb uplift at joint 27, 117 lb uplift at joint 28, 108 lb uplift at joint 29, 148 lb uplift at joint 25, 148 lb uplift at joint 23 and 373 lb uplift at joint 22.
 12) This truss is designed in accordance with the 2006 International Residential Code sections R102.11.1 and R102.10.2 and referenced standard ANSI/TPI 1 designations of steel connection details shall be provided outlined to support manufacturer listed 2x6 2x8 and 2x10 up at 5-0-0 on top chord. The 1-6 is the LOAD CASES section, loads applied to the face of the truss are listed on chart (F) or back (B).
 13) Drawing prepared exclusively for manufacturing by Wood Structures Inc.

LOAD CASES: Standard
 Continued on page 2

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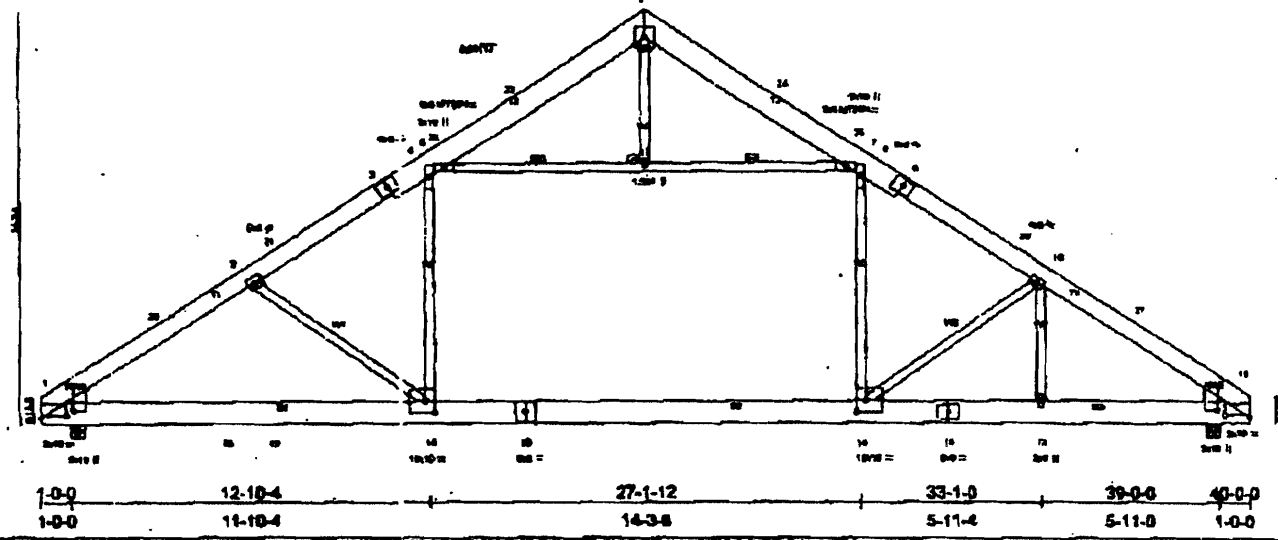
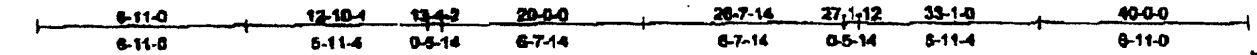
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Wood Structures, Inc. Shelton, ME 04083

Job Reference (optional)
7/20/08 May 23 2007 10:04:00 AM, Inc. 17 Aug 11 10:57:20 2008 Page 1



LOADING (psf)	SPRINGS	CS	DEFL.	PLATES	GW
TCLL 36.0 (Roof Snow=60.0)	2-0-0 Panns Increase 1.15 Lumber Increase 1.15 Rup Stress Incr YES Code IRC2006/TP2002	TC 0.74 BC 0.88 WB 0.50 (Min)	in (mm) Min L# Vn(4L) -0.08 14-18 >800 300 Vn(TL) -0.08 14-18 >785 340 Vn(2L) 0.10 11 min n/a Vn(3L) 0.24 1-18 >800 340	MT20 187/144 MT20H 148/108	
TCDL 18.0					
BCLL 0.0					
BCDL 18.0					

LUMBER
TOP CHORD 2 X 10 SYP M 29 "Eave"
T1 2 X 6 SYP M 23, T4 2 X 6 SYP M 23
BOT CHORD 2 X 10 SYP M 23
WEBS 2 X 4 SPF 160F 1.5E
WEDGE
Lec: 2 X 6 SPF 160F 1.5E, Right 2 X 6 SPF 160F 1.5E

REACTIONS (k/ft) 1-0618/5.8, 11-0628/6.8
Max: Max 1-4015/C 8
Max: Lp 11-4015/C 8, 11-0221/C 9

FORCES (k) - Maximum Compression/Maximum Tension
TOP CHORD 1-20-0213/1078, 3-20-0782/1182, 2-21-0338/257, 3-21-0051/234, 3-4-0088/27, 4-0-0190/48, 5-22-0325/288, 23-22-1288/111,
6-23-1188/257, 6-24-1025/45, 24-25-1372/110, 7-25-1328/384, 7-26-0233/258, 8-0-0228/252, 9-26-0051/228, 10-26-1228/112,
10-27-0208/1078, 11-27-0228/257

BOT CHORD 1-10-704/285, 10-10-704/285, 10-10-704/285, 15-10-321/1214, 14-15-321/1214, 13-14-0224/257, 12-13-0224/257,
11-12-0224/257

WEBS 3-17-3247/884, 7-17-3247/884, 4-10-1287/487, 6-14-0271/401, 10-12-0202/280, 2-10-0088/274, 10-14-0228/254, 6-17-02252

- NOTES (14)**
- 1) Vn(4L) ASCE 7-05; 250psf h=200; TCLL=4.0psf; BCCL=2.0psf; Category II; Esp C; enclosed; MWFRS; gable end zone and C-C Exterior(2) 0-3-12 to 4-3-12, Interior(1) 4-3-12 to 10-8-8, Exterior(2) 10-0-0 to 20-0-0, Interior(1) 0-0-0 to 20-0-0; cantilever left and right exposed; Lumber DOL=1.50 plate gird DOL=1.50. This truss is designed for C-C for members and beams, and for MWFRS for members specified.
 - 2) TCLL: ASCE 7-05; P=36.0 psf (flat roof snow); Category II; Esp C; Fully Exp.; C=1.1
 - 3) Unbalanced snow loads have been considered for this design.
 - 4) This truss has been designed for a 10.0 psf uniform dead live load concurrent with any other live loads.
 - 5) All plates and MT20 plates unless otherwise indicated.
 - 6) This truss requires plate inspection per the Tenth Count Method when this truss is shown for quality assurance inspection.
 - 7) * This truss has been designed for a live load of 20.0 psf on the bottom chord in all areas where a rectangle 3-0-0 tall by 1-4-0 wide will fit between the bottom chord and any other members.
 - 8) Ceiling dead load (5.0 psf) on members(1), 4-0, 7-0, 5-17, 7-17; Wall dead load (5.0 psf) on members(1), 4-10, 6-14
 - 9) Bottom chord live load (20.0 psf) and ceiling live load (5.0 psf) applied only to spans 1-4-10
 - 10) Provide mechanical connections (by others) of these bracing plates capable of withstanding 800 lb uplift at joint 1 and 620 lb uplift at joint 11.
 - 11) This truss is designed to conform with the 2006 International Residential Code sections F062, F1.1 and F062, F1.2 and referenced standard ANSI/TPI 1. Designation of such connection details is the responsibility of others.
 - 12) In the LOAD CASE(S) section, loads applied to the face of the truss are noted as front (F) or back (B).
 - 13) Drawing prepared exclusively for manufacturing by Wood Structures Inc.

LOAD CASE(S): Standard
1) Snow: Lumber Increase=1.15, Panns Increase=1.15
Uniform Loads (psf)
Max: 1-10-32, 10-19-20, 10-10-20, 14-10-10, 11-04-20, 1-4-20, 4-0-20, 6-0-20, 6-7-120, 7-0-120, 6-11-120, 5-7-10
Dead: 4-10-10, 6-14-10
Concentrated Loads (k)
Vn: 21=248(F)

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WOODSTRUCTURES

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Wood Structures, Inc. Middleboro, MA 01908

Job Reference (optional)

7/08 a May 29 2007 MITAL Industries, Inc. PPA Aug 15 10:57:20 2008 Page 1

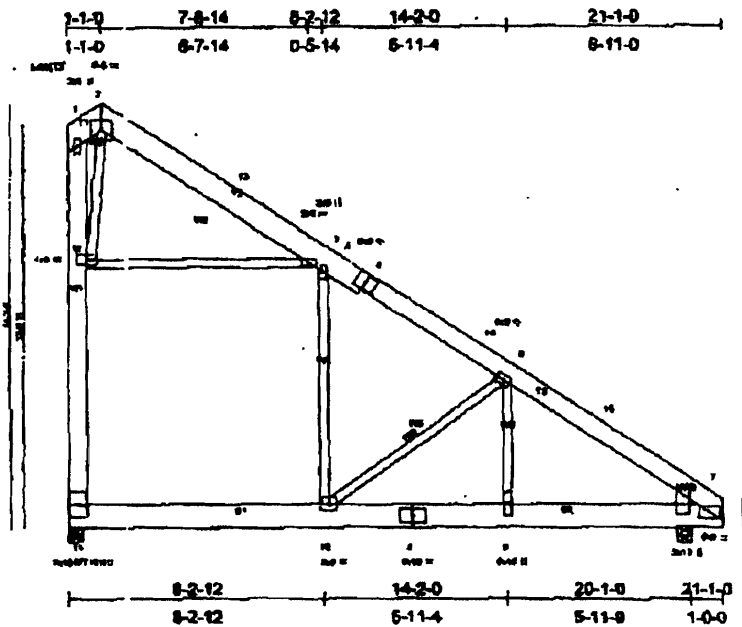


Plate Connections: (1) 2x4-14x14-14, (2) 2x4-14x14-14

LOADING (psf)	SPACING	CHORD	DEPL	PLATE	GRP
TCLL 30.0 (Roof Snow=30.0)	2-0-0 Plywood Lumber Joists 1.15 Rep Stress Inv YES Code IRC/ASD/TPI/IBC	TC 0.82 BC 0.82 WB 0.92 (Plate)	h (feet) Vw(L) -2.00 8-10 >B15 300 Vw(TL) -0.88 8-10 >B7E 200 Vw(BL) 0.82 7 min 150 Vw(L) 0.28 8-10 >B2Z 200	MT20 MT18+	197/104 244/100
TCOL 10.0					
BCOL 0.0					
BCUL 10.0					Weight: 248 lb

LUMBER

TOP CHORD 2 X 10 SYP M 23 "Except"
T2 2 X 8 SYP M 23

BOT CHORD 2 X 10 SYP M 23

WEBS 2 X 4 SYP 1850F 1.5E "Except"
W1 2 X 8 SYP M 23

WEDGE
Right: 2 X 8 SYP 1850F 1.5E

REACTIONS (RNC2) 11=21330-5-5, 7=18810-6-4
Max Horiz 11=640(LC 0)
Max Upset 11=420(LC 0), 7=180(LC 0)

FORCES (R) - Maximum Compression/Maximum Tension
TOP CHORD 1-3=368/1151, 2-12=216/533, 3-13=211/1925, 3-4=424/284, 4-5=742/287, 5-14=784/235, 6-14=1082/234, 8-16=3078/489,
7-15=2408/430, 11-12=478/451, 1-13=412/1220

BOT CHORD 10-11=2687, 9-14=143/1677, 6-8=783/1677, 7-8=181/1674

WEBS 2-12=764/687, 4-10=277/68, 6-8=213/111, 8-10=1457/68, 2-12=213/124

- NOTES** (12)
- 1) Veneer: ASCE 7-02, 120mph h=300; TCLL=30.0psf; BCOL=10.0psf; Category I; Exp C; windward: MNFRS (girts and rams and C-C Edgewise) 18-2-10 to 24-0-0, Interior(1) 24-0-0 to 35-0-4, Exterior(2) 35-0-4 to 39-0-4 girts; over/under 18E and right exposed: Lumber DOL=1.60 plate gap DOL=1.80. This truss is designed for C-C for members and forces, and for MNFRS for reactions specified.
 - 2) TCLL: ASCE 7-02; 0.1850 psf (flat roof snow); Category I; Exp C; Fully Exp.; CH-1.1
 - 3) Unbalanced snow loads have been considered for this design.
 - 4) This truss has been designed for a 10.0 psf bottom chord live load (measured) with any other live loads.
 - 5) All plates are MT20 plates unless otherwise indicated.
 - 6) This truss requires plate inspection per the Youth Camp Method where this truss is chosen for quality assurance inspection.
 - 7) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 1-0-0 wide w/ 15 between the bottom chord and any other members.
 - 8) Ceiling dead load (5.0 psf) on members(6), 3-4, 3-12; Wall dead load (5.0psf) on members(4), 4-10
 - 9) Bottom chord live load (40.0 psf) and additional bottom chord dead load (5.0 psf) applied only to spans: 16-11
 - 10) Provide mechanical connection (by design) of truss to bearing plate capable of withstanding 500 lb uplift at joint 11 and 100 lb uplift at joint 7.
 - 11) This truss is designed in accordance with the 2003 International Residential Code sections R602.11.1 and R602.11.2 and referenced standard ANSI/APA 1.
 - 12) Drawing prepared exclusively for manufacturing by Wood Structures Inc.

LOAD CASE(s) Standard

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WOODSTRUCTURES

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ATTIC

Wood Structures, Inc., Baltimore, MD 21005

See Reference (see page 1)

7,000 s May 20 2007 MITek Industries, Inc. 01 Aug 10 10:57:10 2008 Page 1

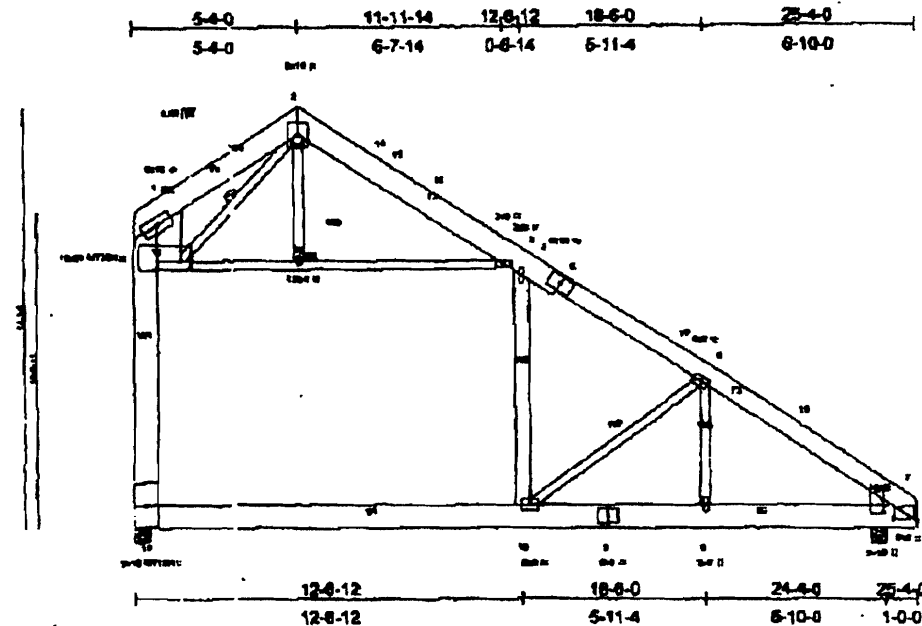


Plate Design (K.V.): 12-6-12, 18-6-0, 24-4-0, 25-4-0, 5-11-4, 6-10-0, 1-0-0

LOADING (psf)	SPACING	CH	DEF.	PLATES	GRIP
TCLL 80.0 (Roof Snow=60.0)	2-0-0 Plates Inboard 1.55 Lumber Inboard 1.55 Rise Above Top YES Code IRC2007/TP2002	TC 0.80 CC 0.80 WB 0.80 (Plate)	In (in) Out (in) Ld Vest(L) -0.57 10-11 +522 240 Vest(T) -0.81 10-11 +285 240 Vest(B) 0.53 7 n/a n/a Vest(L) 0.35 10 +600 240	MT20 MT20H MTW61 Weight 300 lb	157164 148108 244160

LUMBER
TOP CHORD 2 X 10 SYP M 23 "Ceiling"
 T3 2 X 8 SYP M 23
BOY CHORD 2 X 10 SYP M 23
WEBS 2 X 4 SPF 160F 1.5E "Ceiling"
 W3 2 X 6 SPF 160F 1.5E, W1 2 X 10 SYP M 23, W2 2 X 10 SYP M 23
WEDGE
 Right 2 X 8 SPF 160F 1.5E
REACTIONS (kips) 11=2642/0-6-4, 7=2072/0-5-4
 Max Wez 11=734(LC 0)
 Max Upz 11=473(LC 0), 7=371(LC 0)

BRACING
TOP CHORD Structural steel strap/leg directly applied or 5-11-4 or pulley, except end vertical.
BOY CHORD Right ceiling directly applied or 5-4-0 no bracing.
WEBS 1 Row at midpt, 2-12
JOINTS 1 Brace at .80s; 12

ORDER (00) - Maximum Compression/Minimum Tension
TOP CHORD 1-2=4602745, 2-14=198461, 14-15=189282, 15-16=171633, 3-10=171227, 3-4=1126461, 4-6=1575447, 5-17=1628404,
 6-17=1639683, 6-18=2018618, 7-18=3234683, 11-19=1437482, 1-12=3487228
BOY CHORD 10-11=01253, 3-10=3128488, 6-6=3189488, 7-9=0182488
WEBS 12-13=1264432, 3-12=1284432, 4-10=3484, 6-8=168471, 6-10=148475, 2-12=0156, 2-13=3334708

NOTES (12)
 1) Weir: ASCE 7-02; 120mph WCSR; TCOL=8.0psf; SCOL=8.0psf; Category II; Exp C; enclosed; MWFRS (interior zone and C-C Eave/2) 18-6-4 to 24-4-0, interior(1) 24-4-0 to 25-4-4, Exterior(2) 25-4-4 to 26-4-4 zone; confirm left and right exposed; Lumber DCL=1.80 plate gap OCL=1.80. This truss is designed for C-C for members and plates, and for MWFRS for reactions specified.
 2) TCLL: ASCE 7-02; P=80.0 psf (flat roof snow); Category II; Exp C; Full Exp.; C=1.1
 3) Unbraced knee height has been considered for this design.
 4) This truss has been designed for a 10.0 psf before chord live load nonconcurrent with any other live loads.
 5) All plates are MT20 plates unless otherwise indicated.
 6) This truss requires plate suspension per the Tooth Count Method when this truss is chosen for quality assurance inspection.
 7) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a redangle 3-6-0 tall by 1-0-0 wide will fit between the bottom chord and any other members.
 8) Ceiling dead load (5.0 psf) on members 3-4, 15-12, 3-12; Wall dead load (5.0psf) on members A-10
 9) Bottom chord live load (20.0 psf) and unbraced bottom chord dead load (5.0 psf) applied only to mem. 10-31
 10) Provide mechanical connection (by means of gusset or bearing plate capable of withstanding 473 lb upR of joint 11 and 321 lb upR of joint 7.
 11) This truss is designed in accordance with the 2006 International Residential Code sections R602.11.1 and R602.12.2 and referenced standard ANSI/TPI 1.
 12) Drawing prepared exclusively for manufacturing by Wood Structures Inc.

LOAD CASES) Standard

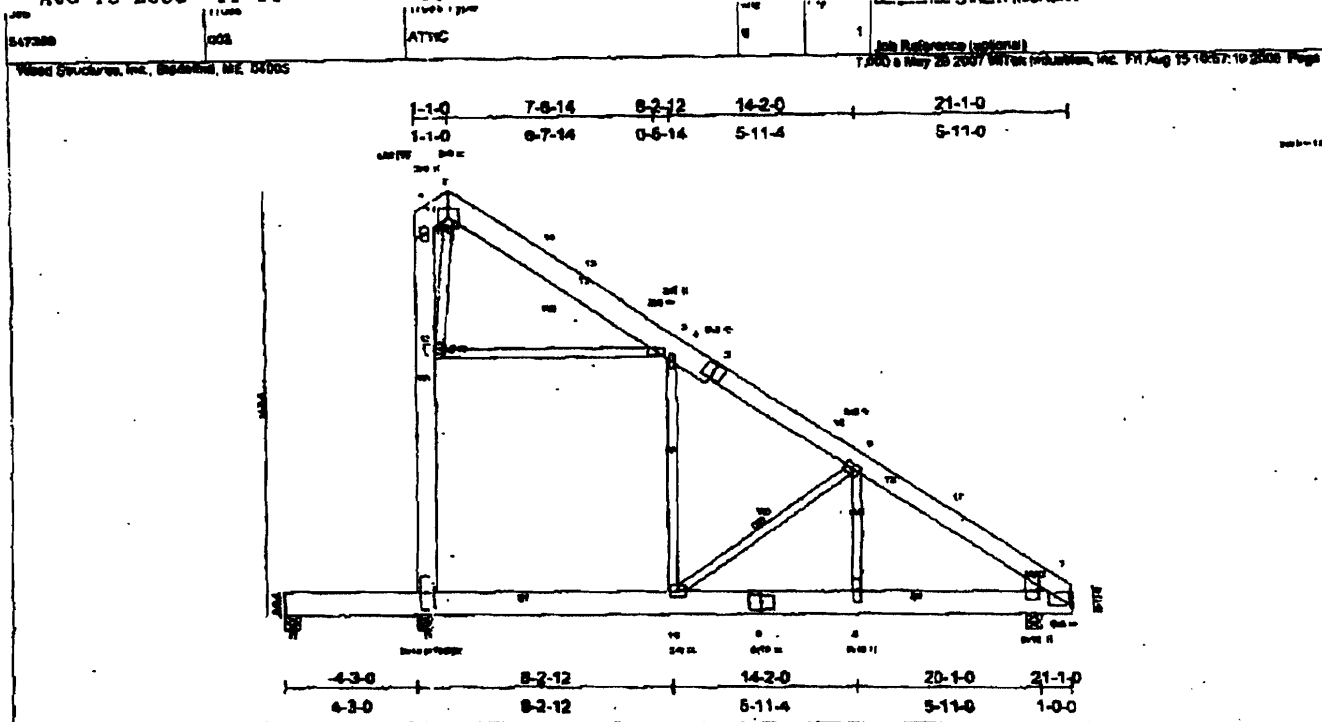
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WOODSTRUCTURES

BUILDERS SUPPLY

2016044707

PAGE 03



View (Cross) (K.V.E.) (7-8-14, 8-2-12, 14-2-0, 20-1-0, 21-1-0)

LOADING (psf)	SPACING	GR	DEFL.	PLATE	GRIP
TCLL 50.0	2-0-0	TC 0.88	In 0-0	WT20	187/144
(Roof Snow=50.0)	Plates Increase 1.15	SC 0.78	Vert(LL) -0.57	MT15H	244/180
YCOL 18.0	Lumber Increase 1.18	WB 0.80	Vert(TL) -0.51		
BCLL 8.0	Top Stress Incr YES	(Plate)	Vert(TL) 0.01		
BCOL 18.0	Code RUC2006TPA002		Vert(LL) 0.25	Weight 285 lb	

LUMBER
TOP CHORD 2 X 10 SYP M 23 "Except"
 13 2 X 8 SYP W 23
BOT CHORD 2 X 10 SYP M 23
WEBS 2 X 4 SYP 1650F 1.5E "Except"
 W1 2 X 8 SYP M 23

BRACING
TOP CHORD Structural wood sheathing directly applied at 8-0-0 oc panels, except end vertical.
BOT CHORD Right ceiling directly applied at 3-11-0 oc bracing.
WEBS 1 Plate at midpt 6-10

WEDGE
 Right 2 X 6 SYP 1650F 1.5E

REACTIONS (kips) 12=2010-5-0, 11=2040-5-0, 7=10250-6-0
 Max Horiz 11=349(LC 0)
 Max Vert 12=324(LC 2), 11=307(LC 0), 7=163(LC 0)
 Max Chev 12=83(LC 0), 11=434(C 1), 7=1652(LC 0)

FORCES (lb) - Maximum Compression/Minimum Tension
TOP CHORD 1-3=28282, 2-14=173237, 14-19=181270, 3-13=187108, 3-4=448204, 4-8=317213, 5-16=617200, 6-10=823179, 8-17=1024412,
 7-12=3344208, 11-13=872873, 1-13=3411094
BOT CHORD 11-12=80, 20-11=8721, 8-19=1641748, 8-8=1441748, 7-8=1437148
WEBS 3-13=583442, 4-10=8288, 6-8=212648, 6-10=187488, 2-13=1818714

NOTES (12)
 1) Misc: ASCE 7-02; 120 mph; h=60; TCDL=0 psf; BCCL=0 psf; Category B; Esp C; unbraced; MWFRS; gable and main and C-C Extended(?) 19-2-10 to 24-0-0, Insulation(?) 24-0-0 to 35-0-4, Exterior(?) 35-0-4 to 25-0-4; main, continuous left and right, exposed; Lumber SCL=1.80; plate grip DOL=1.80. This truss is designed for C-C for members and joints, and for MWFRS for reactions specified.
 2) TCLL: ASCE 7-02; P1=50.0 psf (flat roof snow); Category I; Esp C; Fully Exp.; Q1=1.3
 3) Unbraced when loads have been considered for this design.
 4) This truss has been designed for a 15.0 psf bottom chord live load in accordance with any other live loads.
 5) All plates are MT20 plates unless otherwise indicated.
 6) This truss requires plate inspection per the Tooth Count Method when this truss is chosen for quality assurance inspection.
 7) This truss has been designed for a live load of 20 psf on the bottom chord in all areas where a rooflight 8-6-0 tall by 1-0-0 wide will fit between the bottom chord and any other members.
 8) Ceiling dead load (5.0 psf) on member(s) 2-4, 2-12; Vent dead load (5.0 psf) on member(s) 4-10
 9) Bottom chord live load (40.0 psf) and additional bottom chord dead load (5.0 psf) applied only to room 10-11
 10) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 324 lb uplift at joint 12, 837 lb uplift at joint 11 and 122 lb uplift at joint 7.
 11) This truss is designed in accordance with the 2006 International Residential Code sections R302.11.1 and R302.10.3 and referenced standard ANSI/TPI 1.
 12) Drawing prepared exclusively for manufacturing by Wood Structures Inc.

LOAD CASES: Standard

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WOODSTRUCTURES

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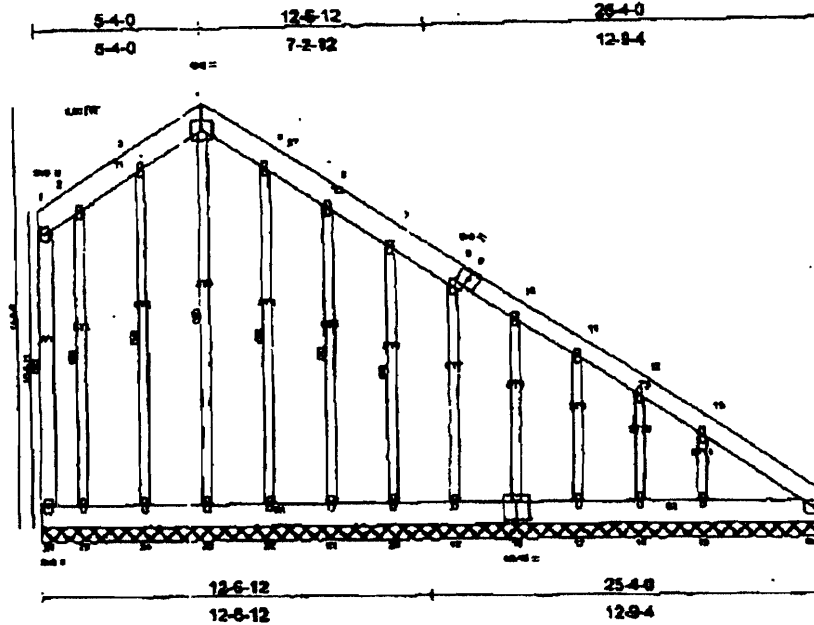
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Job Reference (optional)

7:00 a May 20 2007 07:00 a Jul 18 2008 Page 1

WOOD Structures, Inc. 10000 Hwy 104008



Web Chord A.V.C. 143.5-0-2-H

LOADING (psf)	SPACING	CEILING	DEPL.	PLATES	CRIP
TCLL 30.0	3-0-0	TC 0.85	0 (0)	M720	1977144
(Roof Snow=60.0)	Plain Increase 1.15	BC 0.80	Ver(L) n/a		
TCOL 10.0	Larder Increase 1.15	WB 0.10	Ver(TL) n/a		
BCOL 0.0	Rep. Stress max 165	(Pinned)	Hor(TL) 0.01		
SCOL 15.0	Code SRC-2004/17202				Weight 328 lb

LUMBER	BRACING
TOP CHORD 2 X 18 SYP N 23 Except	TOP CHORD Structural wood sheathing directly applied or 6-0-0 ec panels, except end vertical.
73.2 X 8 SYP N 23	ROOF CHORD Rigid ceiling directly applied or 10-0-0 ec bracing
BOT CHORD 2 X 18 SYP N 23	WEBS 1 Row at ridge 1-20, 4-20, 5-24, 2-20, 5-22, 6-21, 7-20
WEBS 2 X 6 SYP 185F 1.5E	
OTHERS 2 X 4 SYP 185F 1.5E	

REACTIONS (kips) 20-39/25-4-0, 14-34/25-4-0, 21-36/25-4-0, 20-37/25-4-0, 21-36/25-4-0, 21-36/25-4-0, 20-37/25-4-0, 19-36/25-4-0, 18-36/25-4-0, 17-37/25-4-0, 19-22/25-4-0, 15-64/25-4-0
 Max Horiz 25-736(LC 8)
 Max Upr 100(LC 8), 14-126(LC 7), 23-20(LC 8), 24-80(LC 8), 26-80(LC 8), 23-88(LC 8), 21-113(LC 8), 20-116(LC 8), 19-111(LC 8), 18-108(LC 8), 17-151(LC 8), 19-134(LC 8), 18-398(LC 8)
 Max Chord 20-165(LC 2), 14-126(LC 8), 23-20(LC 8), 24-80(LC 8), 23-88(LC 8), 21-113(LC 8), 20-116(LC 8), 19-111(LC 8), 18-108(LC 8), 17-151(LC 8), 15-543(LC 1)

FORCES (lb) - Maximum Compression/Minimum Tension
 TOP CHORD 1-3-888, 2-3-891/3, 3-4-1721/6, 4-5-1422/2, 5-6-1432/3, 6-7-1642/1, 7-8-241/3/8, 7-9-223/2/8, 8-9-388/2/8, 9-10-494/2/8, 10-11-497/2/8, 11-12-572/3/8, 12-13-642/3/8, 13-14-697/2/8, 1-20-188/8
 BOT CHORD 20-20-270/7/2, 21-21-280/7/2, 22-22-287/7/2, 23-23-287/7/2, 24-24-287/7/2, 25-25-287/7/2, 26-26-287/7/2, 27-27-287/7/2, 28-28-287/7/2, 29-29-287/7/2, 30-30-287/7/2, 31-31-287/7/2, 32-32-287/7/2, 33-33-287/7/2, 34-34-287/7/2, 35-35-287/7/2, 36-36-287/7/2, 37-37-287/7/2, 38-38-287/7/2, 39-39-287/7/2, 40-40-287/7/2, 41-41-287/7/2, 42-42-287/7/2, 43-43-287/7/2, 44-44-287/7/2, 45-45-287/7/2, 46-46-287/7/2, 47-47-287/7/2, 48-48-287/7/2, 49-49-287/7/2, 50-50-287/7/2, 51-51-287/7/2, 52-52-287/7/2, 53-53-287/7/2, 54-54-287/7/2, 55-55-287/7/2, 56-56-287/7/2, 57-57-287/7/2, 58-58-287/7/2, 59-59-287/7/2, 60-60-287/7/2, 61-61-287/7/2, 62-62-287/7/2, 63-63-287/7/2, 64-64-287/7/2, 65-65-287/7/2, 66-66-287/7/2, 67-67-287/7/2, 68-68-287/7/2, 69-69-287/7/2, 70-70-287/7/2, 71-71-287/7/2, 72-72-287/7/2, 73-73-287/7/2, 74-74-287/7/2, 75-75-287/7/2, 76-76-287/7/2, 77-77-287/7/2, 78-78-287/7/2, 79-79-287/7/2, 80-80-287/7/2, 81-81-287/7/2, 82-82-287/7/2, 83-83-287/7/2, 84-84-287/7/2, 85-85-287/7/2, 86-86-287/7/2, 87-87-287/7/2, 88-88-287/7/2, 89-89-287/7/2, 90-90-287/7/2, 91-91-287/7/2, 92-92-287/7/2, 93-93-287/7/2, 94-94-287/7/2, 95-95-287/7/2, 96-96-287/7/2, 97-97-287/7/2, 98-98-287/7/2, 99-99-287/7/2, 100-100-287/7/2

- NOTES (13)
- 1) Min. ASCE 7-02; 60mph; 1-55C; TCOL=1.5psf; SCOL=0.5psf; Category II; Exp C; unbraced; MWFRS (girts and rafter and C-C Edging) 14-10-12 to 24-6-12. Interior (1) 24-6-12 to 36-0-0, Exterior (2) 36-0-0 to 48-0-0 zone; condition full and tight exposed; Lumber DOL=1.00 plate grip DOL=1.00. This truss is designed for C-C for moment and shear, and for MWFRS for reactions specified.
 - 2) Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the truss), see Mitel "Standard Gable End Detail".
 - 3) TCLL: ASCE 7-02; P=60.0 psf (flat roof snow); Category II; Exp C; Fully Exp.; C=1.1
 - 4) Unbalanced snow loads have been considered for this design.
 - 5) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
 - 6) All plates are full ST20 unless otherwise indicated.
 - 7) This truss requires plate inspection per the Touch Count Method when this truss is chosen for quality assurance inspection.
 - 8) Girts require continuous bottom chord bearing.
 - 9) Girts shall be spaced at 24-0-0 oc.
 - 10) This truss has been designed for a live load of 20 psf on the bottom chord in all areas where a rectangle 3-0-0 tall by 1-0-0 wide will fit between the bottom chord and any other members.
 - 11) Provide mechanical connection (by girts) of truss to bearing plate capable of withstanding 100 lb uplift at joint 26, 120 lb uplift at joint 14, 25 lb uplift at joint 23, 60 lb uplift at joint 24, 60 lb uplift at joint 25, 60 lb uplift at joint 22, 110 lb uplift at joint 21, 140 lb uplift at joint 21, 140 lb uplift at joint 22, 110 lb uplift at joint 18, 100 lb uplift at joint 18, 100 lb uplift at joint 17, 120 lb uplift at joint 18, 100 lb uplift at joint 18.
 - 12) This truss is designed in accordance with the 2005 International Residential Code sections R502.10.1 and R502.10.2 and referenced standard ANSI/APA 1.
 - 13) Drawing prepared exclusively for manufacturing by Wood Structures Inc.

LOAD CASE(S): Standard

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0798	Date Applied For: 06/30/2008	CBL: 439 B010001
-----------------------	---------------------------------	---------------------

Location of Construction: 55 Chesley Ave (59-61)	Owner Name: Flaherty John P Kw Vet	Owner Address: 55 Chesley Ave	Phone:
Business Name:	Contractor Name: Matt Flaherty	Contractor Address: 49 Havertys Way, Portland	Phone: (207) 415-2957
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home - 1 Story house w/ 2 car garage	Proposed Project Description: Single Family Home - 1 Story house w/ 2 car garage
--	--

Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 07/14/2008
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<p>1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.</p> <p>2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</p>			
Dept: Building	Status: Approved with Conditions	Reviewer: Residential Plan Review	Approval Date:
Note:			Ok to Issue: <input type="checkbox"/>
<p>1) The attic scuttle opening must be 22" x 30".</p> <p>2) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level</p> <p>3) The basement is NOT approved as habitable space. A code compliant 2nd means of egress must be installed in order to change the use of this space.</p> <p>4) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.</p> <p>5) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.</p> <p>6) A copy of the enclosed chimney or fireplace disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.</p> <p>7) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.</p> <p>8) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.</p>			

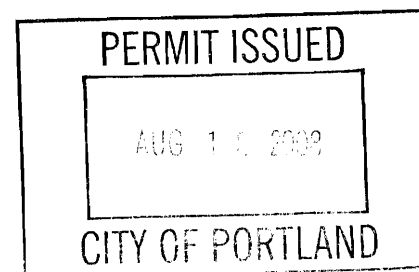
Dept: DRC	Status: Approved with Conditions	Reviewer: Philip DiPierro	Approval Date: 08/15/2008
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<p>1) The applicant/contractor is to insure that adequate separation and elevations will exist between the sanitary service and the storm drain so that when the storm water separation project on Chesley Street is constructed, the house sanitary service and storm drain can be tie into the public system correctly.</p> <p>2) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.</p> <p>3) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.</p>			

Location of Construction: 55 Chesley Ave (59-61)	Owner Name: Flaherty John P Kw Vet	Owner Address: 55 Chesley Ave	Phone:
Business Name:	Contractor Name: Matt Flaherty	Contractor Address: 49 Haverty's Way Portland	Phone (207) 415-2957
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

- 4) As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 5) A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 6) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext. 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 7) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 8) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 9) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

Comments:

6/30/2008-ldobson: Hold for additional info





General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

55 Chesley -

Location/Address of Construction: <u>Chesley Ave</u>		
Total Square Footage of Proposed Structure <u>1650 +/- S.F.</u>		Square Footage of Lot <u>7113 S.F.</u>
Tax Assessor's Chart, Block & Lot Chart# <u>439</u> Block# <u>B</u> Lot# <u>10</u>	Owner: <u>SPIDAL ASSOC. LLC</u>	Telephone: <u>207-415-2957</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>JOHN P FLAHERTY</u> <u>55 CHESLEY AVE</u> <u>PORTLAND ME 04103</u> <u>207-415-2957</u>	Cost Of Work: \$ <u>168,000</u> Fee: \$ _____ C of O Fee: \$ _____
Current legal use (i.e. single family) <u>VACANT LOT</u>		
If vacant, what was the previous use? <u>SAME</u>		
Proposed Specific use: <u>SINGLE FAMILY HOME</u>		
Is property part of a subdivision? <u>NO</u> If yes, please name _____		
Project description: <u>NEW SINGLE FAMILY HOME w/ 2 car garage -</u> <u>LAND SURVEYORS</u> <u>QUESTIONS ON PLOT PLAN CONTACT</u> <u>JIM NADEAU</u> <u>878-7870</u>		
Contractor's name, address & telephone: Who should we contact when the permit is ready: <u>MATT FLAHERTY</u> <u>- 1 STORY -</u> Mailing address: _____ Phone: <u>207-415-2957</u> <u>- 3 BEDROOM -</u> <u>MATT FLAHERTY</u> <u>49 FLAHERTY'S WAY</u> <u>PORTLAND, ME 04103</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>John P. Flaherty</u> <u>SPIDAL ASSOC. LLC</u>	Date: <u>6/30/08</u>
---	----------------------

This is not a permit; you may not commence ANY work until the permit is issued.

JUN 30 2008

Applicant: John Flaherty

Date: 7/14/08

Address: to the left of 55 Chesley

C-B-L: PO 439-13-012 #12
permit # 08-0798

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new house

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - build new sing & family one story house w/ attached 2 car garage
46' x 46'

Sevage Disposal - public

Lot Street Frontage - 50' min - 74.02' given

Front Yard - 25' min - 27' given

Rear Yard - 25' min - 27' given

Side Yard - 1 1/2 stories 8' min 10.5' on right given
2 " - 14' min 10.5' on left given

Projections -

Width of Lot - 65' min - 67' scaled

Height - 35' max - 17.5' scaled

Lot Area - 6,500 sq ft min - 7113 sq ft

Lot Coverage Impervious Surface - 35% = 2489.55 sq ft OK 46 x 46 = 2116

Area per Family - 6,500 sq ft

Off-street Parking - 2 spaces required - 2 car garage 21' x 24'

Loading Bays - N/A

Site Plan - 2008 - 0100 minor/minor

Shoreland Zoning/Stream Protection - N/A

Flood Plains - parcel 7 - zone X

Applicant: John Flaherty

Date: 7/14/08

Address: 55 Chesley

C-B-L: 439-13-10
perm. # - 08-0798

CHECK-LIST AGAINST ZONING ORDINANCE

Date - existing house built 1900

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - ~~build~~

Sevage Disposal - City

Lot Street Frontage - 50' min - 75.98

Front Yard - 25' min - N/A

Rear Yard - 25' min - N/A

Side Yard - 1 1/2 stories 8' 16, 9' on left for house ok
2 stories 14' 9' on left for garage ok

Projections -

Width of Lot - 65' - 76' scaled

Height -

Lot Area - 6,500 sq min - 7887 ok

Lot Coverage/ Impervious Surface - 35% = 2760.45

Area per Family - 6,500 sq

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/ Stream Protection -

Flood Plains -

$$21.5 \times 325 = 655.75$$

$$7 \times 19.5 = 136.5$$

$$4 \times 6 = 24$$

$$3 \times 4 = 12$$

$$3.5 \times 3.5 = 12.25$$

$$24.5 \times 21 = 588$$

$$1428.5$$

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

Zoning Copy

Marge Schmuckal

2008-0100

Application I. D. Number

6/30/2008

Application Date

Single Family Home -

Project Name/Description

Flaherty John P Kw Vet

Applicant

55 Chesley Ave , Portland , ME 04103

Applicant's Mailing Address

Matt Flaherty

Consultant/Agent

Agent Ph: (207)415-2957

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

55 - 55 Chesley Ave, Portland, Maine

Address of Proposed Site

439 B010001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail

Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify) _____

0

Proposed Building square Feet or # of Units Acreage of Site Proposed Total Disturbed Area of the Site Zoning

Check Review Required:

- | | | |
|---|---|--|
| <input type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Zoning Conditional - PB | <input type="checkbox"/> Subdivision # of lots _____ |
| <input type="checkbox"/> Amendment to Plan - Board Review | <input type="checkbox"/> Zoning Conditional - ZBA | <input type="checkbox"/> Shoreland |
| <input type="checkbox"/> Amendment to Plan - Staff Review | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Flood Hazard |
| <input type="checkbox"/> After the Fact - Major | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Traffic Movement |
| <input type="checkbox"/> After the Fact - Minor | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| | | <input type="checkbox"/> DEP Local Certification |
| | | <input type="checkbox"/> Site Location |
| | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 6/30/2008

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance

signature

date

Performance Guarantee

Required*

Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted

date

amount

expiration date

Inspection Fee Paid

date

amount

Building Permit Issue

date

Performance Guarantee Reduced

date

remaining balance

signature

Temporary Certificate of Occupancy

date

Conditions (See Attached)

expiration date

Final Inspection

date

signature

Certificate Of Occupancy

date

Performance Guarantee Released

date

signature

Defect Guarantee Submitted

submitted date

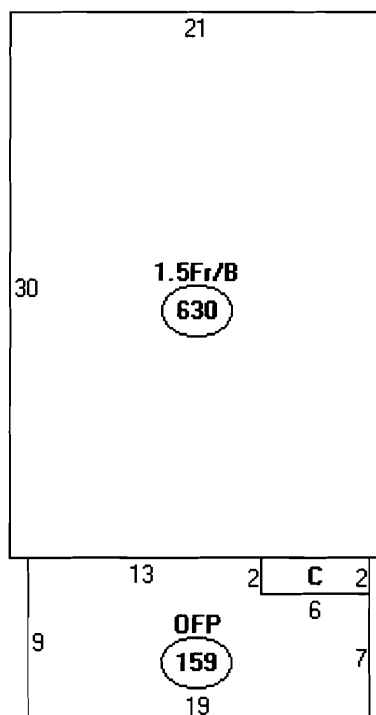
amount

expiration date

Defect Guarantee Released

date

signature



Descriptor/Area

A: 1.5Fr/B
630 sqft

B: OFP
159 sqft

C: FBAY
12 sqft



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	439 B010001
Location	55 CHESLEY AVE
Land Use	SINGLE FAMILY
Owner Address	FLAHERTY JOHN P KW VET 55 CHESLEY AVE PORTLAND ME 04103
Book/Page	
Legal	439-B-10 TO 12 CHESLEY AVE 55-61 OAKWOOD AVE 12500 SF

Current Assessed Valuation

Land	Building	Total
\$73,600	\$110,300	\$183,900

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1900	Old Style	1.5	1114	0.287	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
3	1	1	6	None	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
GARAGE-WD/CB	1	1900	24X24	C	A

Sales Information

Date	Type	Price	Book/Page
-------------	-------------	--------------	------------------

Picture and Sketch

<u>Picture</u>	<u>Sketch</u>	<u>Tax Map</u>
--------------------------------	-------------------------------	--------------------------------

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!



Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

*Lee Urban- Director of Planning and Development
Marge Schmuckal, Zoning Administrator*

March 11, 2008

James D. Nadeau, LLC
918 Brighton Avenue
Portland, ME 04102

RE: Proposed division of land at 55 Chesley Avenue, 439-B-10 to 12 – R-3 Zone

Dear Jim,

I am in receipt of your request to determine whether the described parcel of land owned by John P. Flaherty is divisible into two parcels as depicted on the survey you prepared and submitted on 8/23/07 and shown revised on August 21, 2007 with a further revision received on January 9, 2008 which includes addition notes numbered 18 and 19. I have also recently received further information from Attorney James R. Lemieux in which he certifies that the original subdivider or anyone else within the chain of title, did not reserve the fee interest for the adjoining vacated Oakwood Avenue. Attorney Lemieux also provided a draft deed.

Based upon all the above described information and paperwork I have determined that the proposed division of land into two parcels which includes parcel A and parcel B meets all the requirements of the R-3 underlying zone.

Please note that this letter shall not be considered permission to begin any construction work. Any new development for either of these lots would require a separate building permit application through this office prior to commencement of construction. A copy of this letter should be included with such an application.

If you have any further questions regarding this matter, please do not hesitate to contact me at 874-8695.

Very truly yours,

Marge Schmuckal
Zoning Administrator

Cc: file

SHORT FORM WARRANTY DEED

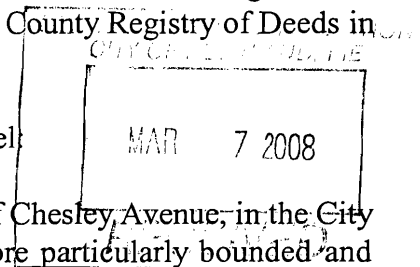
John P. Flaherty of 55 Chesley Avenue, Portland, ME 04103, FOR CONSIDERATION PAID, grants to _____ of _____, as joints tenants and not as tenants in common, with WARRANTY COVENANTS, the following described real property located in the City of Portland, County of Cumberland and State of Maine:

Parcel 1

A certain lot or parcel of land with any improvements thereon, situated on the northerly sideline of Chesley Avenue, in the City of Portland, County of Cumberland and State of Maine, being Lots 63, 64 and 65 on Plan of Washington Park, recorded in the Cumberland County Registry of Deeds in Plan Book 10, Page 123, to which Plan reference is hereby made.

Excepting and reserving from Parcel 1, the following described parcel:

A certain lot or parcel of land situated on the northeasterly sideline of Chesley Avenue, in the City of Portland, County of Cumberland and State of Maine, being more particularly bounded and described as follows:



Beginning at a #5 steel rebar with survey cap #2124 to be set on the apparent northeasterly sideline of Chesley Avenue marking the southwesterly corner of the herein described parcel and the southeasterly corner of land conveyed in a deed from Margaret A. Hirtle to Barbara M. Rath and Joseph A. Boucher, dated November 28, 2005, recorded at the Cumberland County Registry of Deeds in Book 23451, Page 140. Said rebar also marks the southwesterly corner of Lot 65 and the southeasterly corner of Lot 66 as depicted on a plan entitled "Washington Park, Portland, Maine", dated 1905 by J.A. Jones, C.E., recorded at the Cumberland County Registry of Deeds in Plan Book 10, Page 123; thence

From said point of beginning, NORTH 10° 42' 33" EAST along the easterly sideline of said land of Rath and Boucher and Lot 66, a distance of one hundred and 00/100 (100.00) feet to a #5 steel rebar with survey cap #2124 to be set marking the southwesterly corner of land conveyed in a deed from Michelle Marks to Christopher J. Kerber and Genevive Meredith, dated March 24, 2006, recorded at the Cumberland County Registry of Deeds in Book 23798, Page 298. Said rebar also marks the northwesterly corner of the herein described parcel, the northeasterly corner of said Lot 66, the southeasterly corner of Lot 35 and the southwesterly corner of Lot 36 as depicted on said plan; thence

SOUTH 79° 17' 27" EAST along said land of Kerber and Meredith and Lot 36, and along Lot 37 as depicted on said plan, a distance of sixty-seven and 13/100 (67.13) feet to a #5 steel rebar with survey cap #2124 to be set marking the northeasterly corner of the herein described parcel and the northwesterly corner of Parcel A as depicted on a plan entitled "Plan Depicting The Results Of A Boundary Survey And Proposed Land Division Made For John P. Flaherty, Northeasterly Sideline Of Chesley Avenue, Portland, Maine", dated August 16, 2007, last revised December 31, 2007, by James D. Nadeau, LLC Professional Land Surveyors, Portland, Maine; thence

SOUTH 10° 42' 33" WEST along said Parcel A, a distance of thirty-eight and 44/100 (38.44) feet to a #5 steel rebar with survey cap #2124 to be set; thence

SOUTH 34° 17' 27" EAST continuing along said Parcel A, a distance of nine and 74/100 (9.74) feet to a #5 steel rebar with survey cap #2124 to be set; thence

SOUTH 10° 42' 33" WEST continuing along said Parcel A, a distance of fifty-four and 67/100 (54.67) feet to a #5 steel rebar with survey cap #2124 to be set at said northeasterly sideline of Chesley Avenue marking the southeasterly corner of the herein described parcel and the southwesterly corner of said Parcel A; thence

NORTH 79° 17' 27" WEST along said northeasterly sideline of Chesley Avenue, a distance of seventy-four and 02/100 (74.02) feet to the point of beginning.

The above described excepted parcel is depicted as Parcel B on said plan entitled "Plan Depicting The Results Of A Boundary Survey And Proposed Land Division Made For John P. Flaherty, Northeasterly Sideline Of Chesley Avenue, Portland, Maine", dated August 16, 2007, last revised December 31, 2007, by James D. Nadeau, LLC Professional Land Surveyors, Portland, Maine. Bearings used in this description are magnetic based upon said plan.

The above described excepted parcel also being Lot 65 and a portion of Lot 64 as depicted on said plan of Washington Park.

Meaning and intending to convey and hereby conveying a portion of the same premises conveyed to John P. Flaherty and Joann L. Flaherty by deed of Martin C. Driscoll dated April 22, 1960 and recorded in the Cumberland County Registry of Deeds in Book 2533, Page 490. John P. Flaherty is the surviving joint of Joann L. Flaherty who died on November 8, 2002

Parcel 2

A certain lot or parcel of land, with any improvements thereon, situated on the northeasterly sideline of Chesley Avenue, in the City of Portland, County of Cumberland and State of Maine, being more particularly bounded and described as follows:

Beginning at a #5 steel rebar with survey cap #2124 to be set on the apparent northeasterly sideline of Chesley Avenue marking the southwesterly corner of the herein described parcel and the southeasterly corner of land conveyed in a deed from Martin C. Driscoll to John P. Flaherty and Joann L. Flaherty, dated April 22, 1960, recorded at the Cumberland County Registry of Deeds in Book 2533, Page 490. Said rebar also marks the southeasterly corner of Lot 63 as depicted on a plan entitled "Washington Park, Portland, Maine", dated 1905 by J.A. Jones, C.E. recorded at the Cumberland County Registry of Deeds in Plan Book 10, Page 123; thence

From said point of beginning, NORTH 10° 42' 33" EAST along the easterly sideline of said Lot 63 and land of Flaherty, a distance of one hundred and 00/100 (100.00) feet to a #5 steel rebar with

survey cap #2124 to be set marking the northwesterly corner of the herein described parcel, the southeasterly corner of Lot 38 as depicted on said plan, and the northeasterly corner of said Lot 63 and land of Flaherty; thence

SOUTH 79° 17' 27" EAST through Oakwood Avenue as depicted on said plan, a distance of twenty-five and 00/100 (25.00) feet to a #5 steel rebar with survey cap #2124 to be set marking the northeasterly corner of the herein described parcel at the centerline of said Oakwood Avenue; thence SOUTH 10° 42' 33" WEST along said centerline of Oakwood Avenue, a distance of one hundred and 00/100 (100.00) feet to a #5 steel rebar with survey cap #2124 to be set marking the southeasterly corner of the herein described parcel at said northeasterly sideline of Chesley Avenue: thence

NORTH 79° 17' 27" WEST along said northeasterly sideline of Chesley Avenue, a distance of twenty-five and 00/100 (25.00) feet to the point of beginning.

The herein described parcel is depicted as "Area Acquired By John P. Flaherty" on a plan entitled "Plan Depicting The Results Of A Boundary Survey And Proposed Land Division Made For John P. Flaherty, Northeasterly Sideline Of Chesley Avenue, Portland, Maine", dated August 16, 2007, last revised December 31, 2007, by James D. Nadeau, LLC Professional Land Surveyors, Portland, Maine. Bearings used in this description are magnetic based upon said plan.

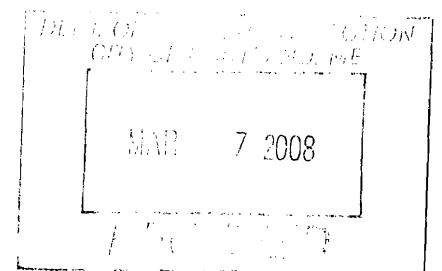
The above described Parcel 2 being a portion of Oakwood Avenue as depicted on said plan of Washington Park, and is being conveyed by Quitclaim Covenants only.

Meaning and intending to convey and hereby conveying the same premises conveyed to John P. Flaherty by the heirs of Joann P. Flaherty and any interest they may have acquired as her heirs by virtue of a deemed vacation of a portion of Chesley Street by Notice of Order #84 entitled Order Excepting Streets From Deemed Vacation, dated September 16, 1997 and recorded in the Cumberland County Registry of Deeds in Book 13326, Page 19, and also acquired by said John P. Flaherty by virtue of said order.

WITNESS my hand and seal this _____ day of _____, 2008

WITNESS

John P. Flaherty



STATE OF MAINE
Cumberland, ss.

_____, 2008

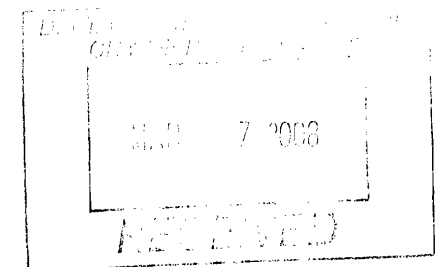
Personally appeared the above named John P. Flaherty and acknowledged the foregoing instrument to be his free act and deed.

Before me,

Notary Public/Attorney at Law

Print Name

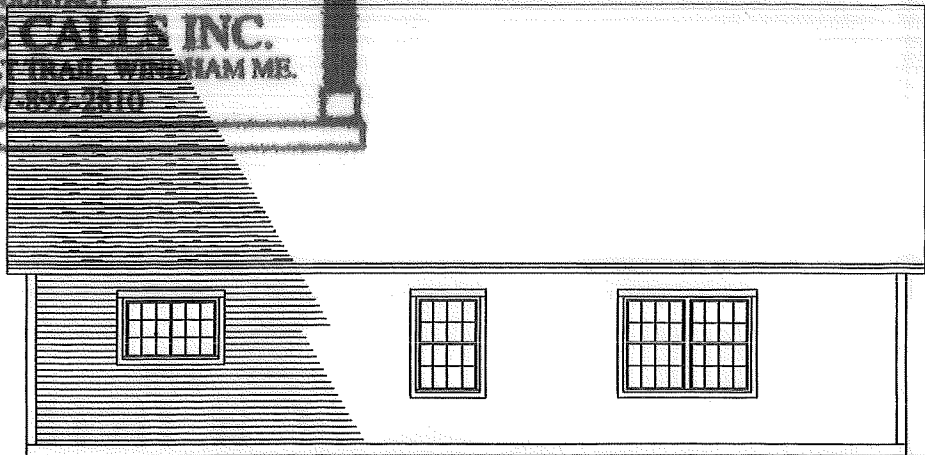
S:\CFreeman\Clients\FFlaherty Deed\Deed 2.wpd



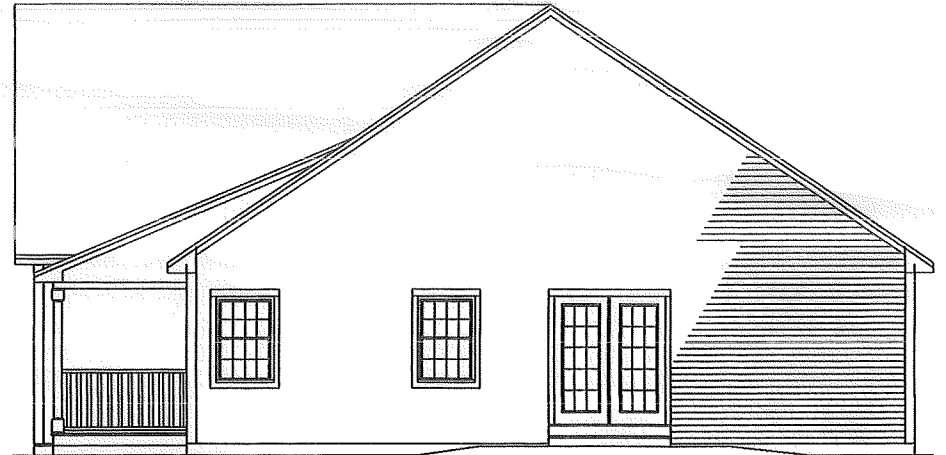
FLAHERTY

H.C.I.
IF THIS STAMP IS NOT RED THIS IS AN ILLEGAL SET OF PLANS
 USE OR REPRODUCTION OF THESE PLANS WITHOUT PERMISSION IS PROHIBITED BY FEDERAL LAW. VIOLATIONS ARE PUNISHABLE BY FINES OF UP TO \$10,000.
 TO OBTAIN LEGAL COPIES OF THIS PLAN CONTACT
HOUSE CALLS INC.
 151 ROOSEVELT TRAIL, WINDHAM, ME.
 207-892-2810

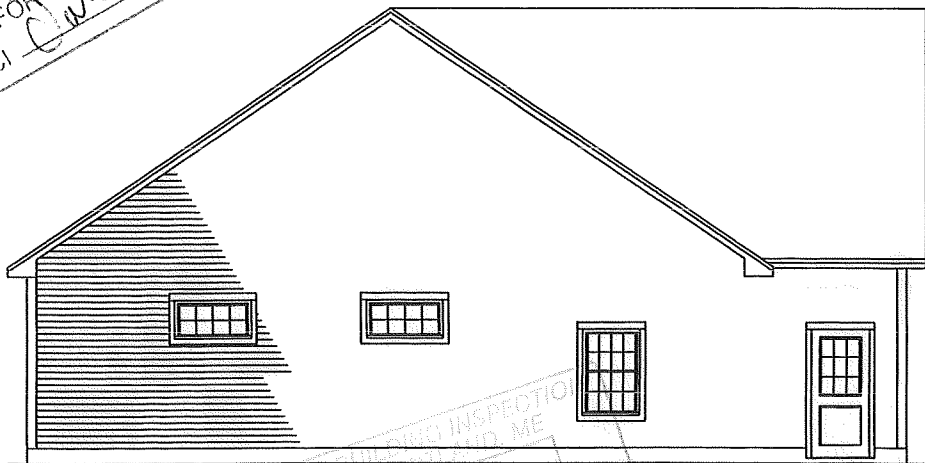
REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



THIS SET OF PLANS IS FOR THE CITY OF TOWN OF WINDHAM
 BUILDING PERMIT H.C.I. *J. Call*

FRONT ELEVATION



DEPT. OF BUILDING INSPECTION
 CITY OF WINDHAM, ME
 JUN 30 2008
 RECEIVED

C.E.O. THIS IS COPYWRITTEN, DO NOT COPY WITHOUT PERMISSION

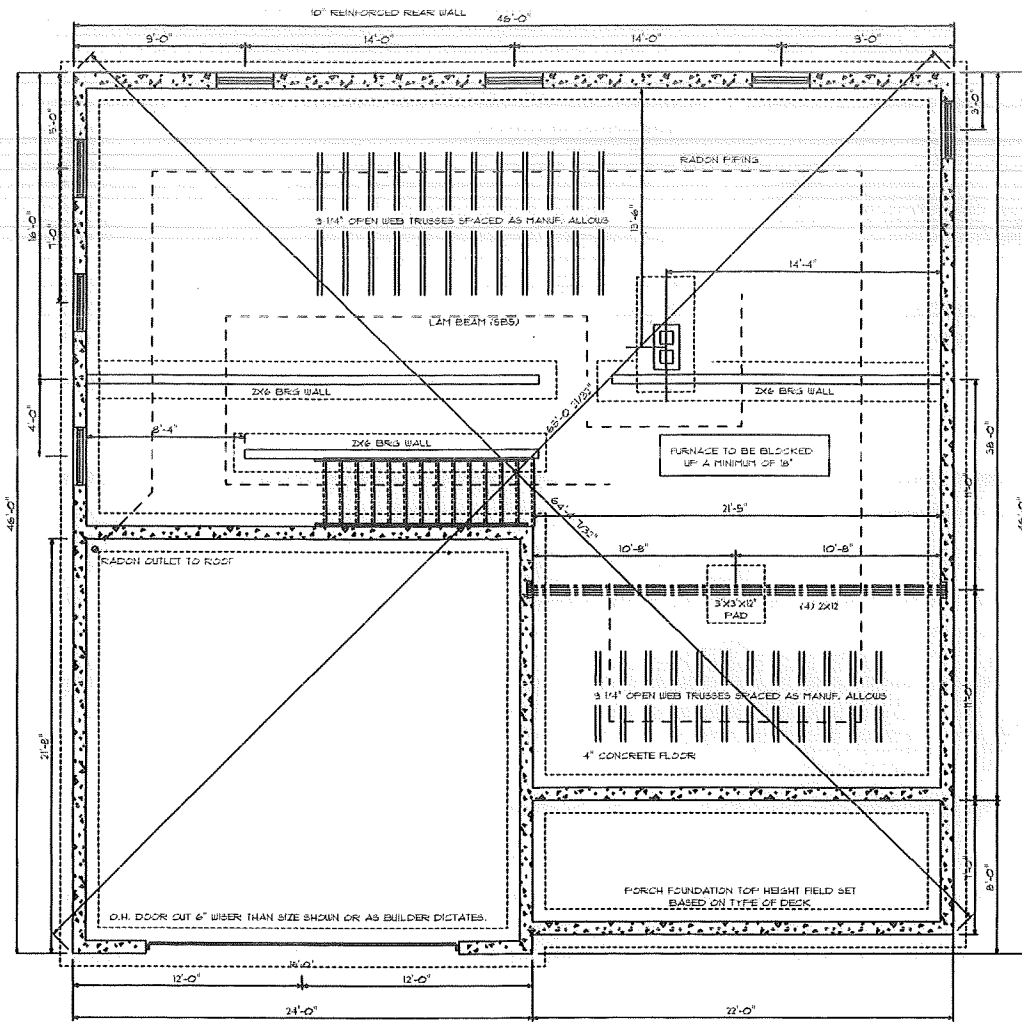
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NAME **FLAHERTY RESIDENCE**
 DRAWING **ELEVATIONS**

SCALE **1/4" = 1'**
 DRAWN BY **J. CALL**
 DATE **6/08** PAGE **1 OF 3**

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WINDOW NOTES:
 ANY DOOR OR WINDOW SIZE, STYLE OR LOCATION SHOWN ON THIS PLAN ARE RECOMMENDATIONS ONLY. THE OWNER AND BUILDER WILL DECIDE DOOR AND WINDOW BRANDS, STYLES, AND EXACT LOCATIONS BEFORE CONSTRUCTION STARTS. THE ACTUAL LOCATION OF THE KITCHEN WINDOW MAY BE CHANGED BY THE FINAL CABINET LAYOUT.
 H.C.I. RECOMMENDS A SLIDING WINDOW IN THE KITCHEN.
 ALL BEDROOMS MUST HAVE AT LEAST ONE EGRESS WINDOW.
 THE BATHROOM WINDOW MUST BE SAFETY GLASS.
MISS STRUCTURAL:
 ALL OPENINGS OVER 4\"/>

WINDOW SIZES SHOWN ON PLAN:
 (A) 6'-0\"/>

WINDOW SCHEDULE

SIZE AND STYLE	ROUGH OPENING	QUANTITY
(A)		1
(B)		2
(C)		1
(D)		1
(E)		1
(F)		1
(G)		1
(H)		1

EXTERIOR DOOR SCHEDULE

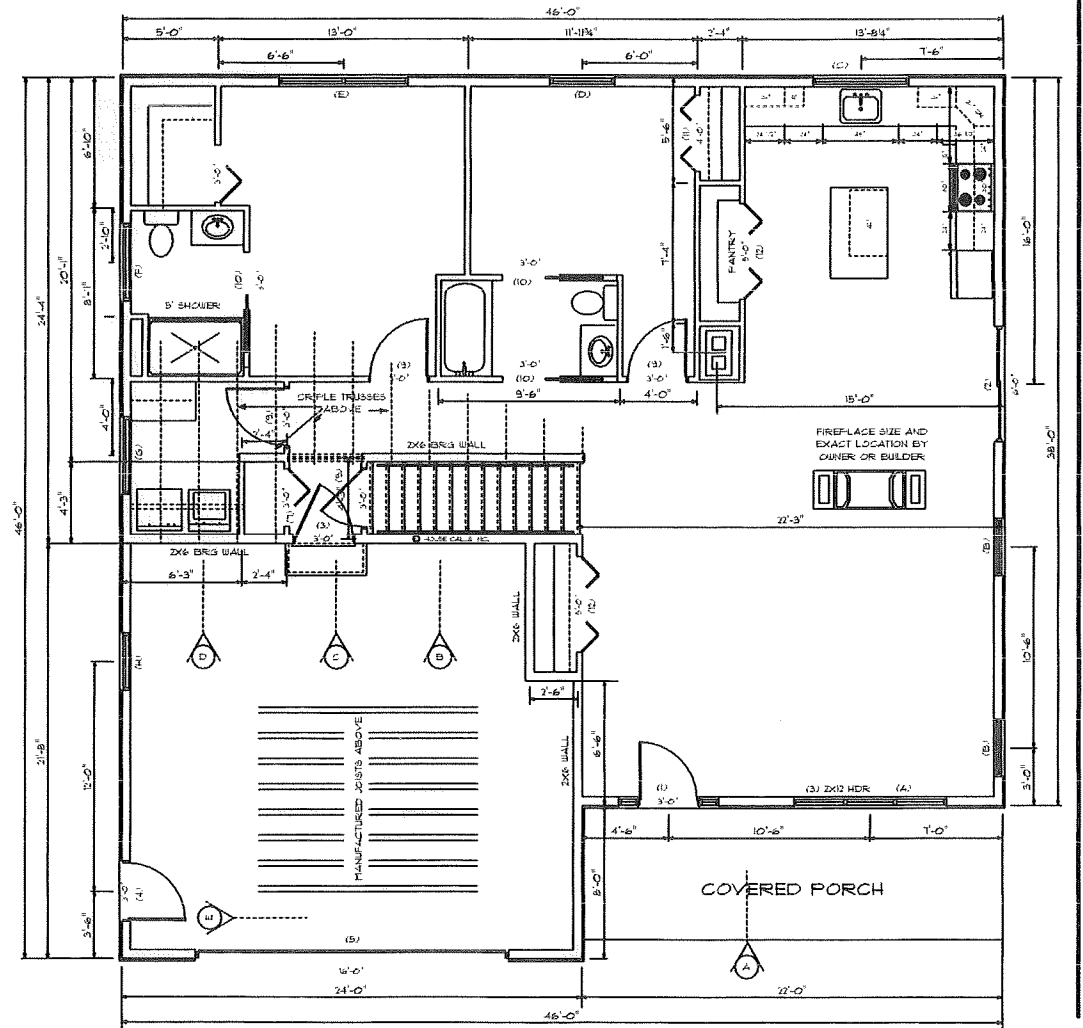
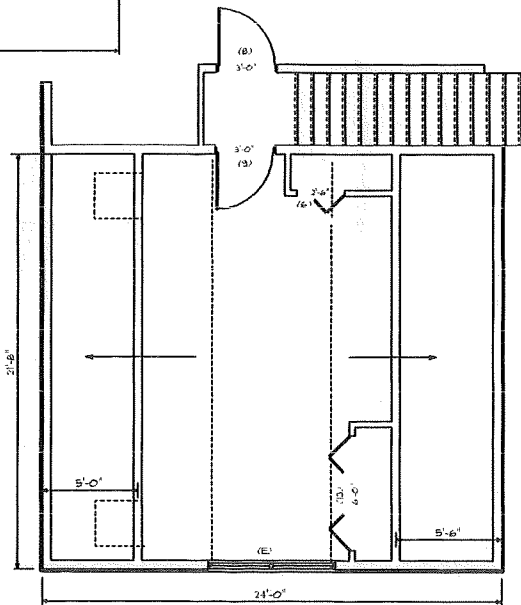
SIZE AND STYLE	ROUGH OPENING	QUANTITY
(1) 3' FRONT ENTRY W/ SIDE LITE		1
(2) 4' PATIO DOOR		1
(3) 3' BACK HALL TO GARAGE FIRE DOOR		1
(4) 3' GARAGE SIDE ENTRY		1
(5) 16' X 7' GARAGE O.H.		1

INTERIOR DOOR SCHEDULE

SIZE AND STYLE	ROUGH OPENING	QUANTITY
(6) 7'-6\"/>		

VERIFY ALL WINDOW AND DOOR STYLES, SIZES, FINISHES, AND QUANTITIES BEFORE ORDERING. SOME DOORS ARE IN 3 1/2\"/>

ANY CELLAR WINDOW LOCATIONS ARE TO BE VERIFIED BY THE BUILDER OR THE OWNER.
 FULL HEIGHT 8\"/>



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 207-892-2810

FLAHERTY RESIDENCE
 FLOOR PLANS & FOUNDATION

SCALE: 1/4\"/>
 DRAWN BY: J. CALL
 DATE: 6/08
 PAGE: 2 OF 3

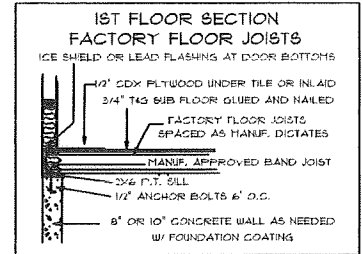
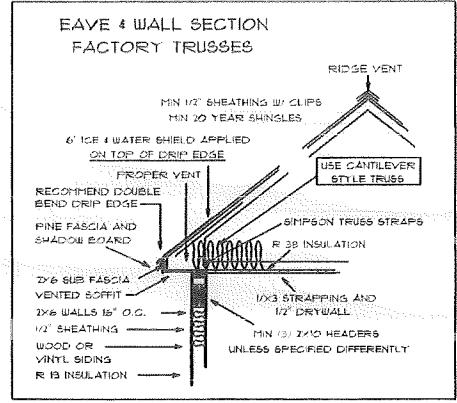
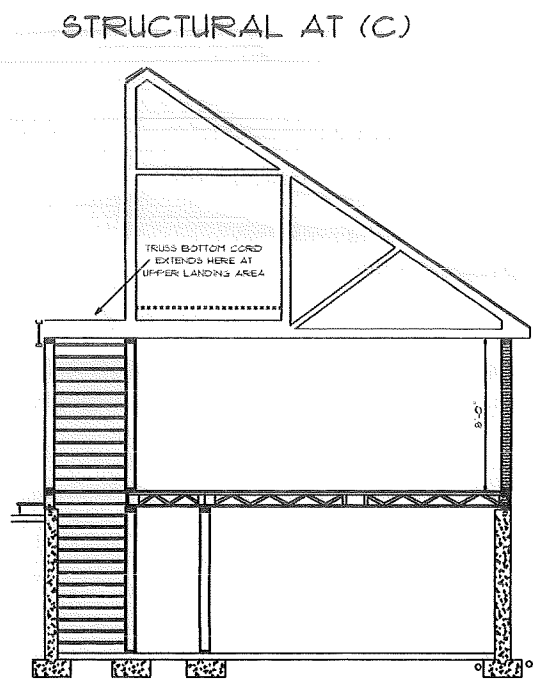
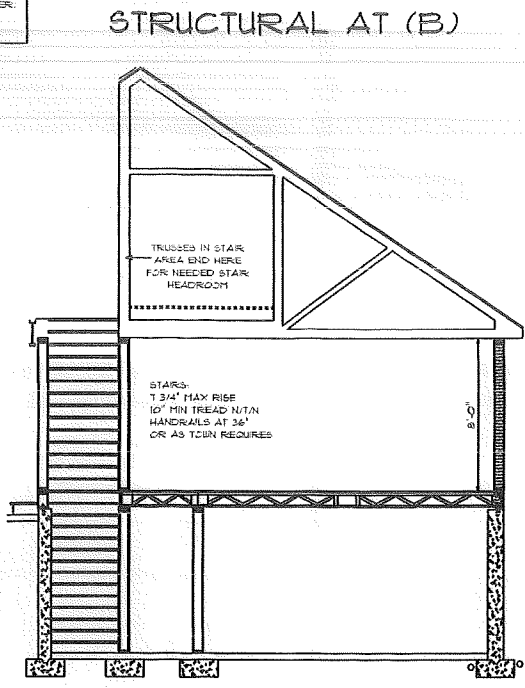
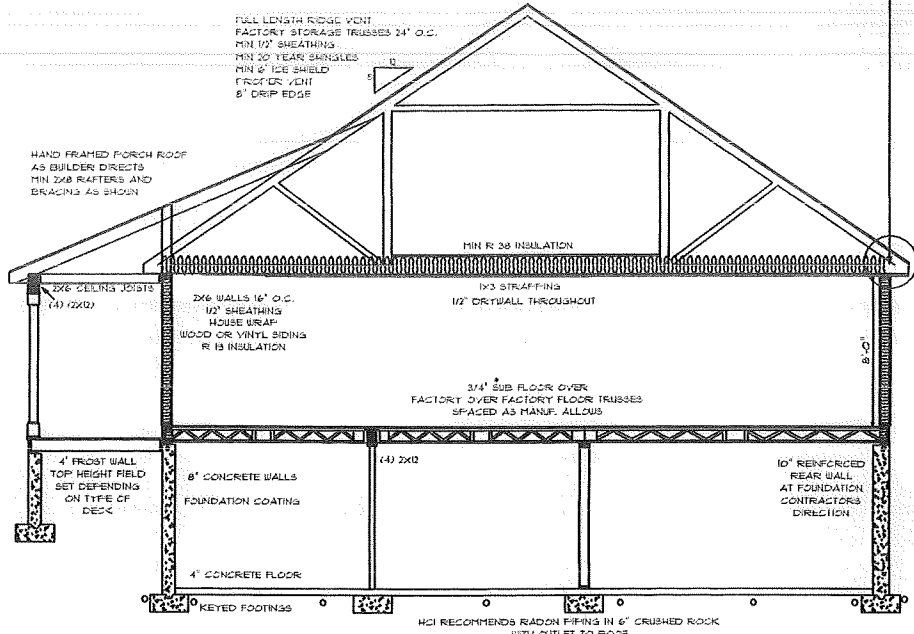
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STRUCTURAL AT (A)

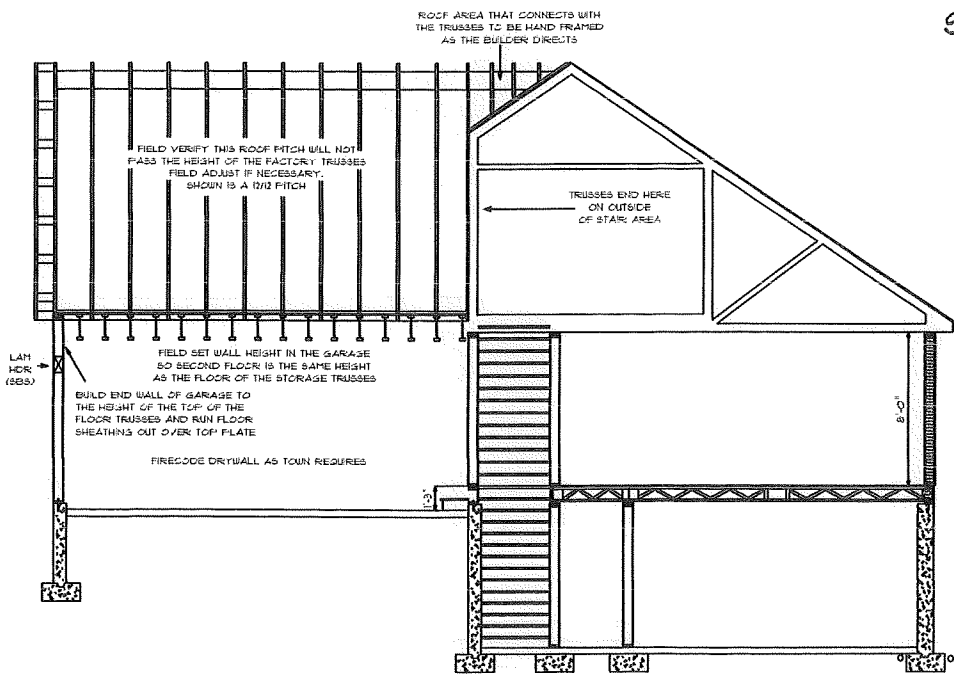
TRUSSES SHOWN ARE REPRESENTATIONS ONLY - ACTUAL TRUSSES ARE TO BE DESIGNED BY THE MANUFACTURER. USE CANTILEVER STYLE TRUSSES FOR BETTER INSULATION ABOVE THE WALLS - SEE DETAIL BELOW. ALL TRUSS MEASUREMENTS TO BE TAKEN OFF FLOOR PLAN.

BUILDER TO GO OVER PLANS AND STRUCTURALS BEFORE CONSTRUCTION AND VERIFY THAT THEY ARE WHAT HE WANTS, AND THAT THEY MEET TOWN CODES. IF THERE ARE ANY QUESTIONS PLEASE CALL JOHN AT HOUSE CALLS.

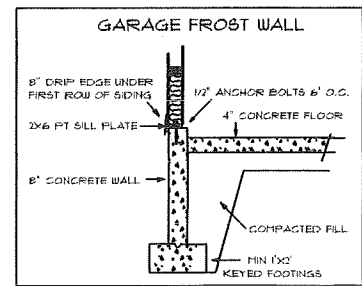
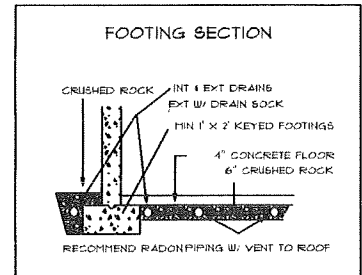
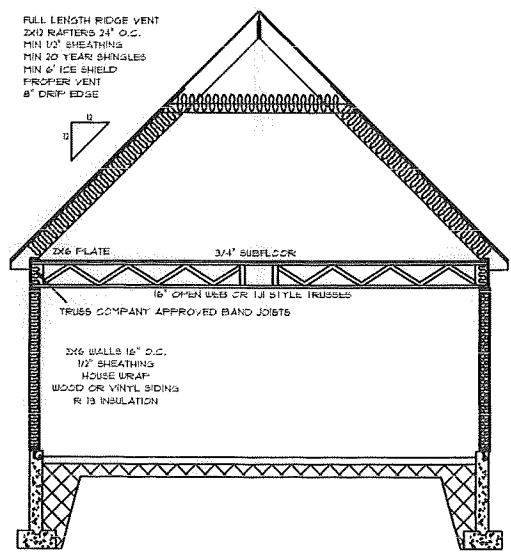
FRAMER TO BE SURE THAT ALL FLOOR TRUSSES ARE INSTALLED SO THAT TUBS AND TOILET PLUMBING DROPS CLEAR THEM. - THEY CANNOT BE CUT



STRUCTURAL AT (D)



STRUCTURAL AT (E)



THE OWNER OR THE BUILDER HAS HOUSE CALLS PERMISSION TO ADD TO OR DELETE FROM ANY DETAIL NOTES AND/OR SPECIFICATIONS ON THESE PLANS AS MAY BE NECESSARY FOR TOWN PERMITS. (THIS IS NOT PERMISSION TO CHANGE THE NAMES OR IN ANY WAY VIOLATE H.C.I.'S COPY RIGHT)

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USE OR REPRODUCTION OF THESE DRAWINGS VIOLATES FEDERAL COPYRIGHT LAWS

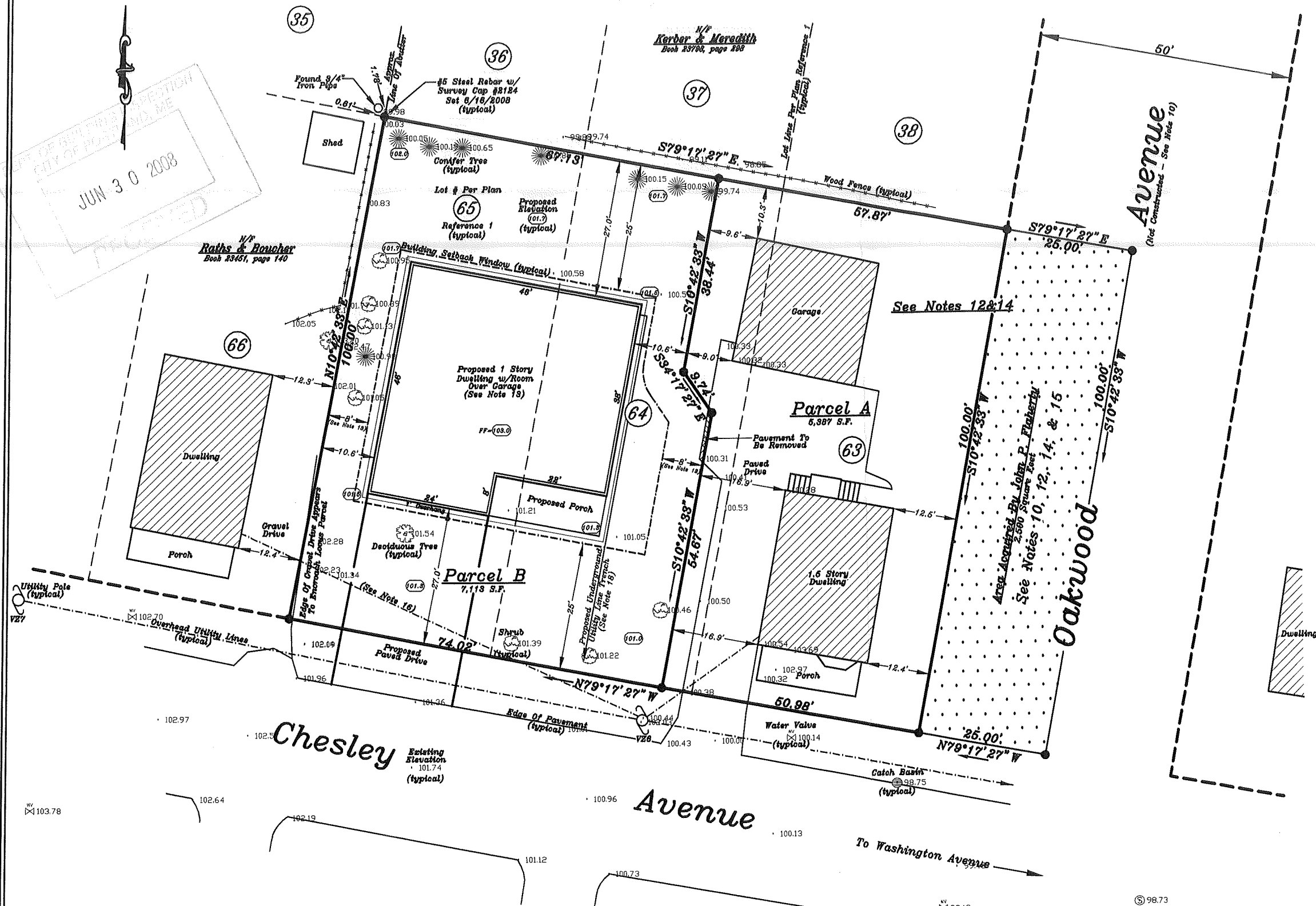
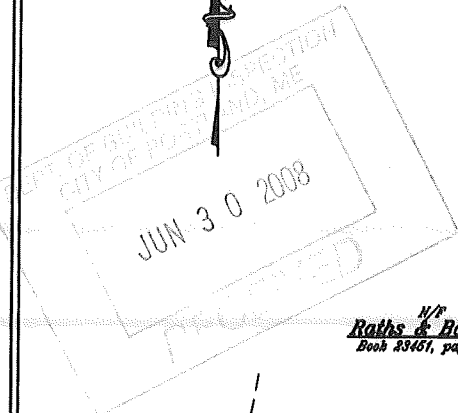

HOUSE CALLS INC.
 HOME PLANNING & DESIGN
 151 ROOSEVELT TRAIL, WINDHAM, NH
 207-892-2810

NAME: **FLAHERTY RESIDENCE**
 DATE: **6/08**
 DRAWN BY: **J. CALL**
 DATE: **6/08**
 SHEET: **3 OF 3**
 TITLE: **STRUCTURALS**

SCALE: **1/4" = 1'**
 DRAWN BY: **J. CALL**
 DATE: **6/08**
 SHEET: **3 OF 3**

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Magnetic North, 2007
(observed)

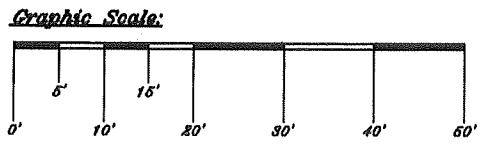


- Plan References:**
- "Washington Park, Portland, Maine", dated 1905 by J.A. Jones C.E., recorded September 17, 1905, of the Cumberland County Registry of Deeds in Plan Book 16, page 209.
 - "Plan Showing The Results Of A Boundary Survey And Proposed Land Division Made For John P. Flaherty Northeastern Sideline Of Chesley Avenue, Portland, Maine", dated August 14, 2007 by James D. Nadeau, LLC, Portland, Maine.

Locus Deed Reference:

Martha C. Driscoll
to
John P. Flaherty and Joann L. Flaherty
dated April 26, 1990 and recorded April 28, 1990 at the Cumberland County Registry of Deeds in Book 2536, page 454 (See Note 10)

- General Notes:**
- This plan is not intended to depict utility lines or extent of fee title ownership. In order of title should be rendered by a title attorney.
 - This office reserves the right to be held harmless by all 3rd party claims.
 - No portion of the locus parcel scales on a fixed ground base per FEMA Flood Insurance Rate Study Community - Panel Number 55001 50070, dated December 8, 1984. The parcel scales on Zone 2.
 - This office reserves the right to be held harmless for unknown or unobtainable private records which could affect the results of this survey.
 - Reference is made to "Contract For Land Surveying Services" between James D. Nadeau, LLC and the locus parcel clients, which shall be considered an integral part of this survey.
 - See Plan Reference for additional boundary information.
 - Locus Parcel is shown on the City of Portland Assessor's Map 488, Sheet 5, of Lots 10, 11, and 12, and to known as 68 Chesley Avenue.
 - Area of Locus Parcel is 13,600 square feet (0.31 acre), more or less, not including Area Acquired By John P. Flaherty.
 - Chesley Avenue was accepted December 6, 1918 per City of Portland Records, Vol. 62, page 201.
 - See Order for Order Ejecting Streets From Deeded Easement dated September 3, 1997 recorded September 17, 1997 in CSDP Book 12009, page 12, which states that for Oakwood Avenue depicted on CSDP Plan Book 10, page 125, the city shall "continue to" from Chesley Avenue, south westerly. For construction with City of Portland Public Parks the 27' to on the westerly side of Chesley Avenue.
 - Joann L. Flaherty died November 2, 2002, leaving John P. Flaherty as surviving joint tenant.
 - The letter dated March 17, 2008 from Marge Schumacher, City of Portland Planning Administrator, which states municipal determination that the depicted proposed division of land into two parcels which includes parcel A and parcel B meets all the requirements of the R-3 underlying zone.
 - Locus Parcel to meet Residential 3 (R-3). See City of Portland Zoning Ordinance for all regulations and restrictions which pertain to this parcel. An 8' side yard is required for 1, or 1 1/2 story structures and the side yard requirement increases to 10' for a structure over 2 1/2 stories.
 - Any future easements of Parcel A shall require a reference to the deed to the Parcel A, which states that copies of this plan on the plan entitled "Washington Park, Portland, Maine", dated 1905 by J.A. Jones C.E., recorded September 17, 1905, in the Cumberland County Registry of Deeds in Book 16, page 209, may have paramount to all M.R.S. Title 25A, over Area Acquired By John P. Flaherty pursuant to the City of Portland's Order dated September 3, 1997 and recorded at said Registry of Deeds in Book 12524, page 14.
 - No fences, buildings or other man-made improvements shall be placed, built or erected in Area Acquired By John P. Flaherty.
 - Overhead communication lines serving land N/W Raths & Hauer appears to encroach on Locus Parcel.
 - Elevations are based on an assumed vertical datum.
 - Proposed underground utilities to include sewer, water, drain, power, and perhaps natural gas.
 - This plan does not address wetland issues, and/or approval of any.
 - Proposed dwelling to be served by city water and sewer.



This plan is not valid without the signature and enclosed seal of the below listed Professional Land Surveyor who prepared this plan so it may contain unauthorized alterations without the title office.

James D. Nadeau, LLC
James D. Nadeau, P.L.S. #8124 (agent) Date: 6-27-08

Sketch Plan For Municipal Building Permit
Made For
John P. Flaherty
Northeasterly Sideline Of Chesley Avenue
PORTLAND, MAINE

PREPARED BY:
James D. Nadeau, LLC
Professional Land Surveyors

818 BRIGHTON AVENUE
PORTLAND, ME 04108 PH. (207) 878-7870
FAX (207) 878-7880

RECORD OWNER: John P. Flaherty 68 Chesley Avenue Portland, Maine 04103	DRAWN BY: TYP/JDN	PLAN DATE: 6/26/2008
FIELD BOOK: FP 389 & Topcon Ranger	CHECKED BY: JDN/TPB	SURVEY DATE: July 2008
JOB No.: 2081040	USDR: Topcon GPT-3003W	SCALE: 1" = 10'
		SHEET No.: 1 of 1

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