

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING INSPECTION PERMIT

Permit Number: 081327

Please Read  
Application And  
Notes, If Any,  
Attached

This is to certify that POROBIC SLOBODAN & NA POROBIC  
has permission to Install 10x9 shed  
AT 20 BERRY AVE CB# 439 F011001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or otherwise changed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

PERMIT ISSUED  
OCT 21 1968

Department Name

Fire Dept.  
Health Dept.  
Appeal Board  
Other

*Thomas H. MacFarlane* 10/21/68  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1327	Issue Date:	CBL: 439 F011001
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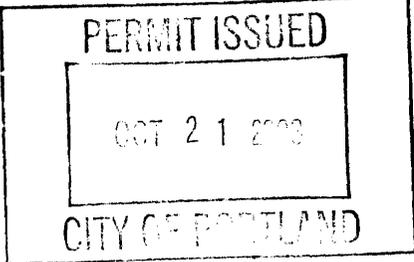
Location of Construction: 20 BERRY AVE	Owner Name: POROBIC SLOBODAN & NADA	Owner Address: 20 BERRY AVE	Phone: 207-797-0819
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R3

Past Use: Single Family Home	Proposed Use: Single Family Home - Install 10x9 shed	Permit Fee: \$30.00	Cost of Work: \$700.00	CEO District: 4
Proposed Project Description: Install 10x9 shed		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003 Signature: <i>jm 10/21/08</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: lmd	Date Applied For: 10/21/2008	<b>Zoning Approval</b>		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>jm 10/21/08</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<input checked="" type="checkbox"/> Not in District or Landmark <input checked="" type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>10/21/08</i>



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**to schedule your inspections as agreed upon**

**Permits expire in 6 months, if the project is not started or ceases for 6 months.**

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

  X   **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

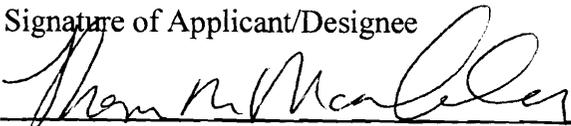
**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

  
\_\_\_\_\_

Signature of Applicant/Designee

10.21.08

Date

  
\_\_\_\_\_

Signature of Inspections Official

10/21/08

Date

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 08-1327	<b>Date Applied For:</b> 10/21/2008	<b>CBL:</b> 439 F011001
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<b>Location of Construction:</b> 20 BERRY AVE	<b>Owner Name:</b> POROBIC SLOBODAN & NADA	<b>Owner Address:</b> 20 BERRY AVE	<b>Phone:</b> 207-797-0819
<b>Business Name:</b>	<b>Contractor Name:</b>	<b>Contractor Address:</b>	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	

<b>Proposed Use:</b> Single Family Home - Install 10x9 shed	<b>Proposed Project Description:</b> Install 10x9 shed
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Tom Markley      **Approval Date:** 10/21/2008

**Note:** **Ok to Issue:**

- 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tom Markley      **Approval Date:** 10/21/2008

**Note:** **Ok to Issue:**

- 1) This structure is exempt from meeting the City of Portland Building Code based on size.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.



# Permitting By Appointment

As part of Portland's city-wide effort to improve customer service and help streamline doing business within the City, the Inspections Division has developed a new permitting system for qualified properties and for specific construction projects. Under this new program, you may be eligible to receive a building permit on the day you have a scheduled appointment with Inspection staff.

**This permitting program applies only to existing one and two family homes not located within a historic district or shore land zone.**

## Eligible Projects

**Please submit a complete application with the required plans**

- Interior renovations, gut rehabs including structural changes
- Attached and detached garages
- Additions, decks, sheds, pools, dormers (two family addition must be less than 500 s.f.)
- Rebuild of any exterior structure listed above

Inspections are still required per City Code of Ordinance.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that this project meets the above criteria and that the work performed will not go beyond these parameters.

Signature of applicant: 	Date:
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This is not a permit; you may not commence ANY work until the permit is issued.



# Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at [www.portlandmaine.gov](http://www.portlandmaine.gov), in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

**One (1) complete set of construction drawings must include:**

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IEBC 2003
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Reduced plans or electronic files in pdf format are required if originals are larger than 11" x 17"
- Proof of ownership is required if it is inconsistent with the assessors records

**Separate permits are required for internal & external plumbing, HVAC, and electrical installations.**

**If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:**

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

**Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

**Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost  
This is not a Permit; you may not commence any work until the Permit is issued.**

23



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>20 BERRY AVE, PORTLAND ME 04103</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>1139          F              011</u>	Applicant * <b>must be owner, Lessee or Buyer</b> * Name <u>SLOBODAN POROBIC</u> Address <u>20 BERRY AVE</u> City, State & Zip <u>PORTLAND, ME 04103</u>	Telephone: <u>797 0819</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>700.00</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>single</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>10x9 shed</u>		
Contractor's name: <u>yourself</u> Address: <u>same</u> City, State & Zip: <u>same</u> Telephone: <u>same</u> Who should we contact when the permit is ready: <u>SLOBODAN POROBIC</u> Telephone: <u>7970819</u> Mailing address: <u>20 BERRY AVE, PORTLAND ME 04103</u>		

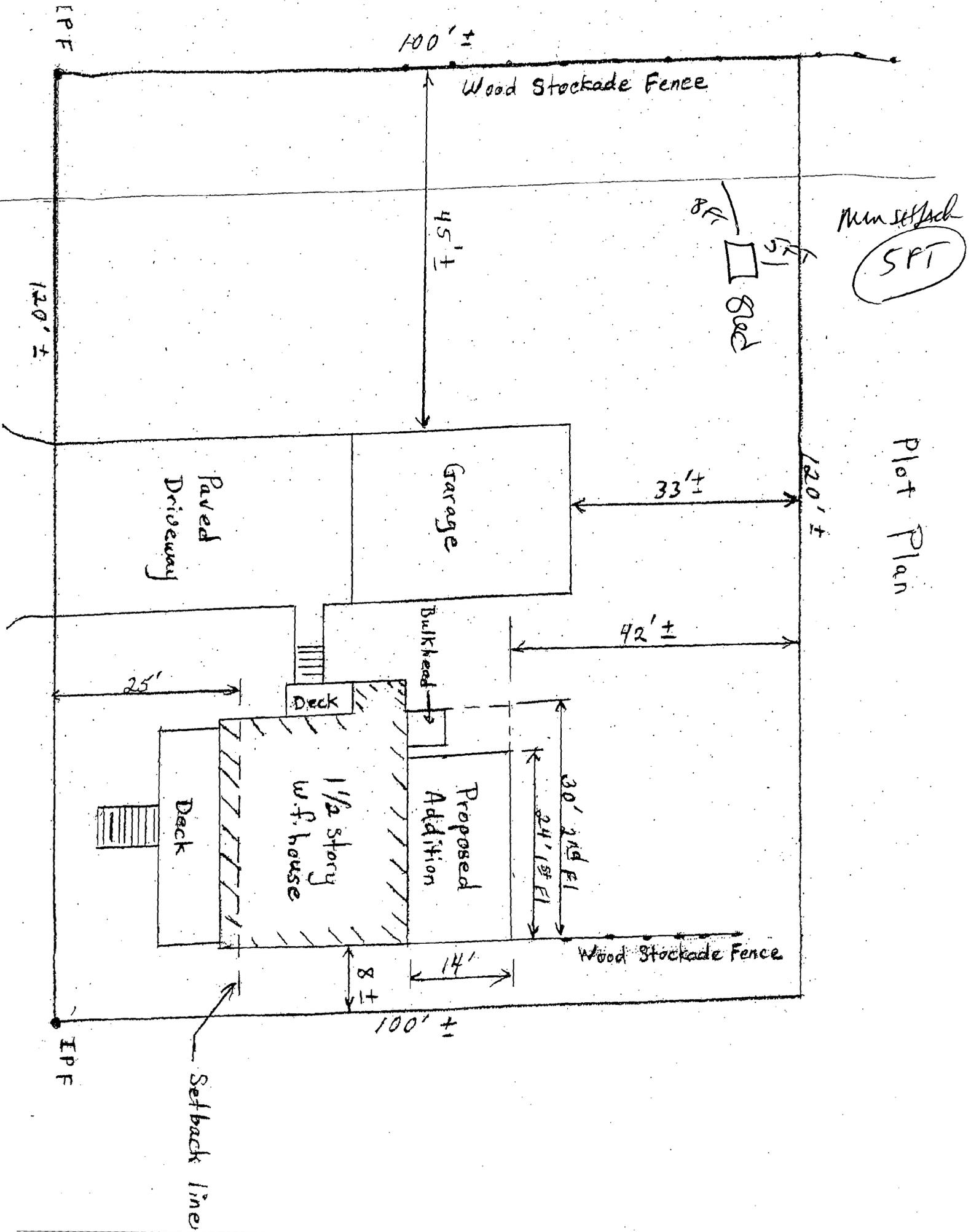
**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

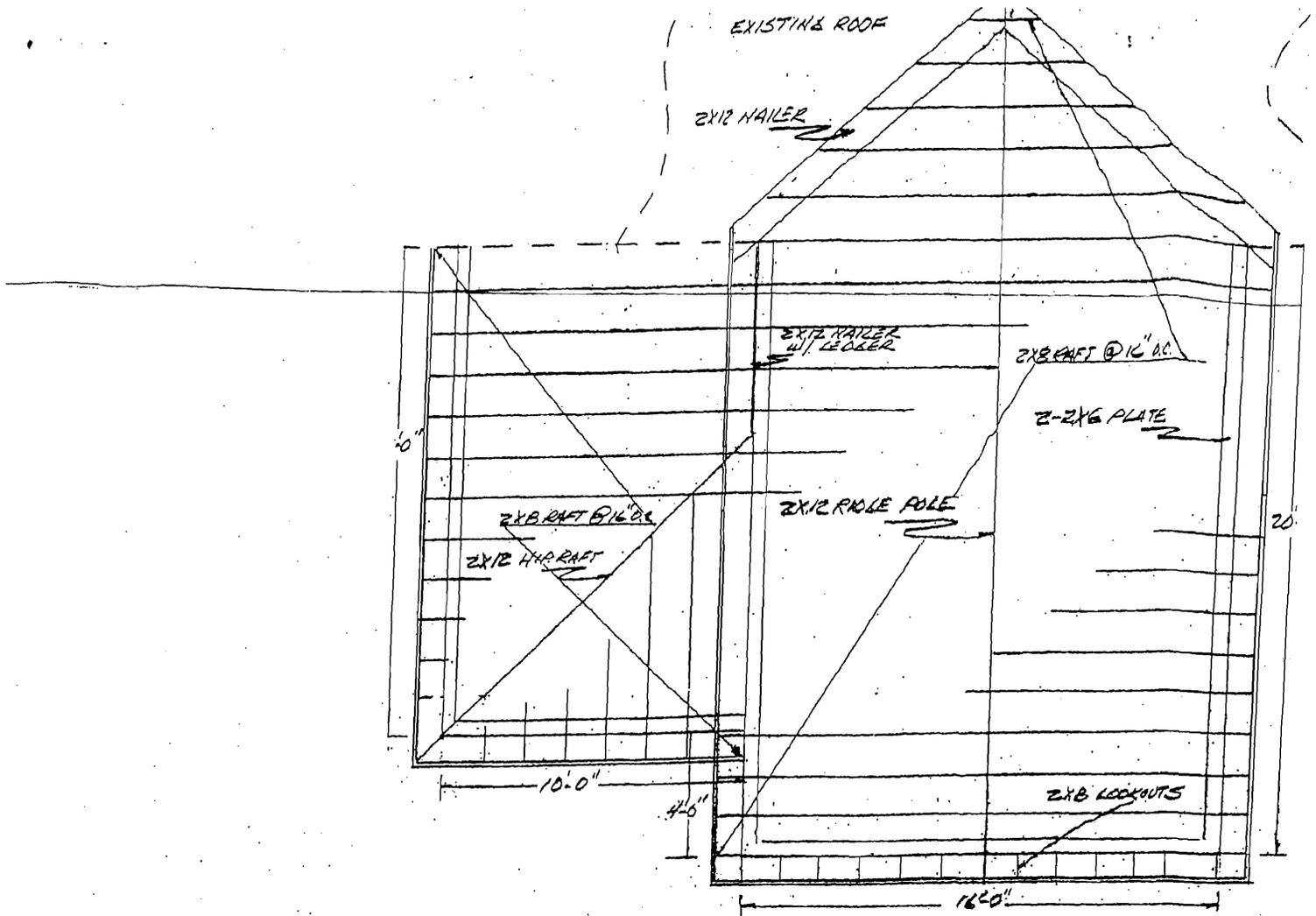
Signature: _____	Date: _____
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**This is not a permit; you may not commence ANY work until the permit is issue**



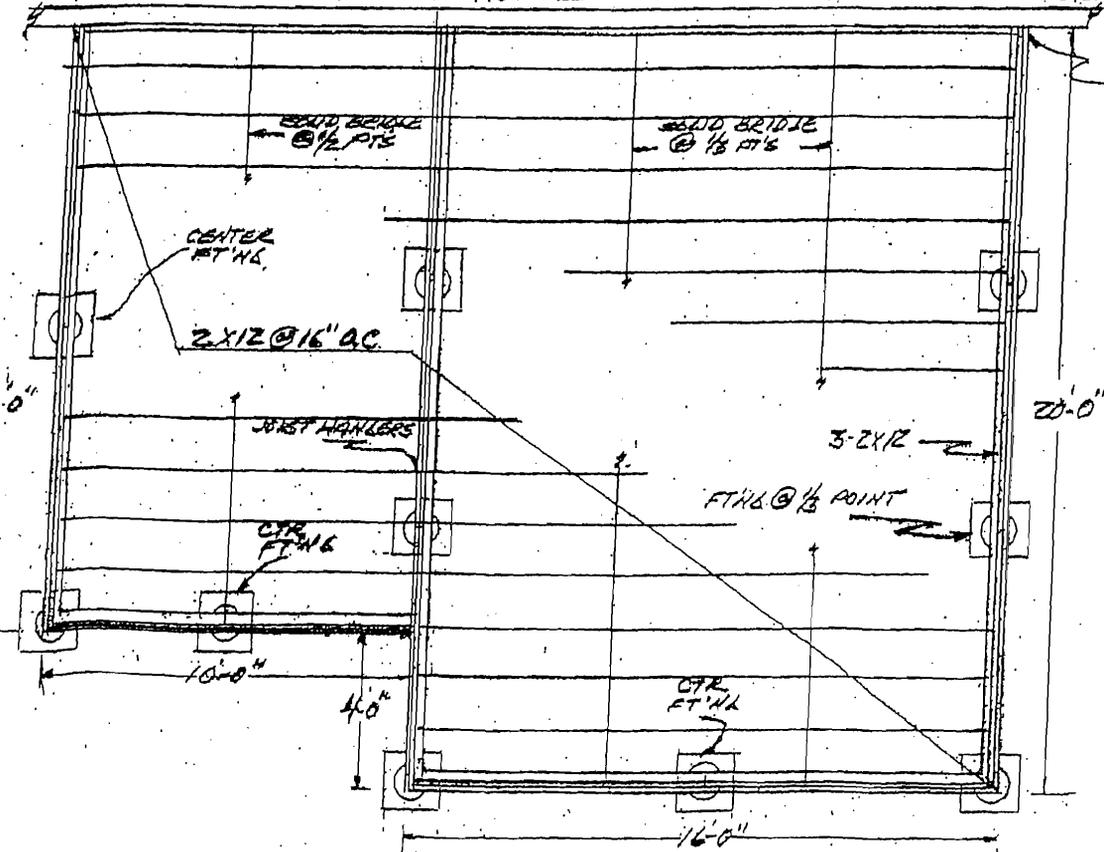
Min setback  
 (SPT)

Plot Plan

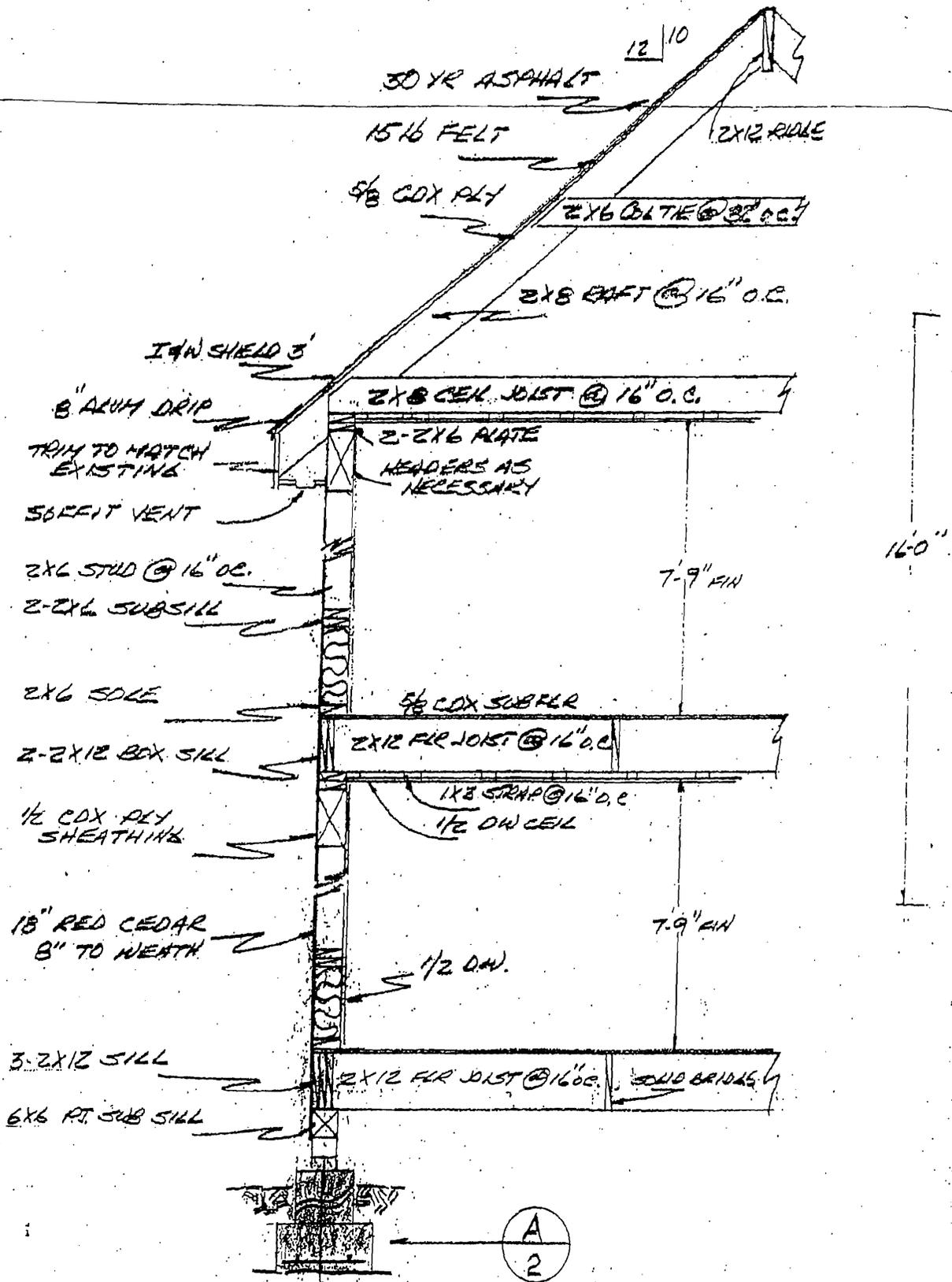


ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"

EXISTING HOUSE



FOUND 1st FLR FRAM PLAN



TYPICAL WALL SECTION  
SCALE 3/8" = 1'-0"

TYPICAL 2x10 FLOOR SYSTEM:  
 3/4" ADVANTEC T&G SUBFLOOR  
 2x10 FLOOR JOISTS @ 16" o.c. w/  
 1x3 CROSS BRIDGING

2x6 BTUD

2x6 BOX SILL

2x6 P.T. SILL

1/2" ANCHOR BOLTS 12" IN FROM  
 EVERY CORNER THEN SPACED 6' MIN

SLOPE GRADE AWAY FROM BLDG. GRADE

1/2" REBAR

BITUMINOUS DAMPROOFING ON  
 8" CONCRETE WALL  
 FORM TIES TO BE PLUGGED W/ CEMENT

PORTLAND CEMENT 3000 PSI CONCRETE FLOOR 4" THICK  
 4 MIL POLY MIN 4" OVERLAP AT JOINTS  
 3/4" CRUSHED ROCK UNDER CONCRETE FLOOR

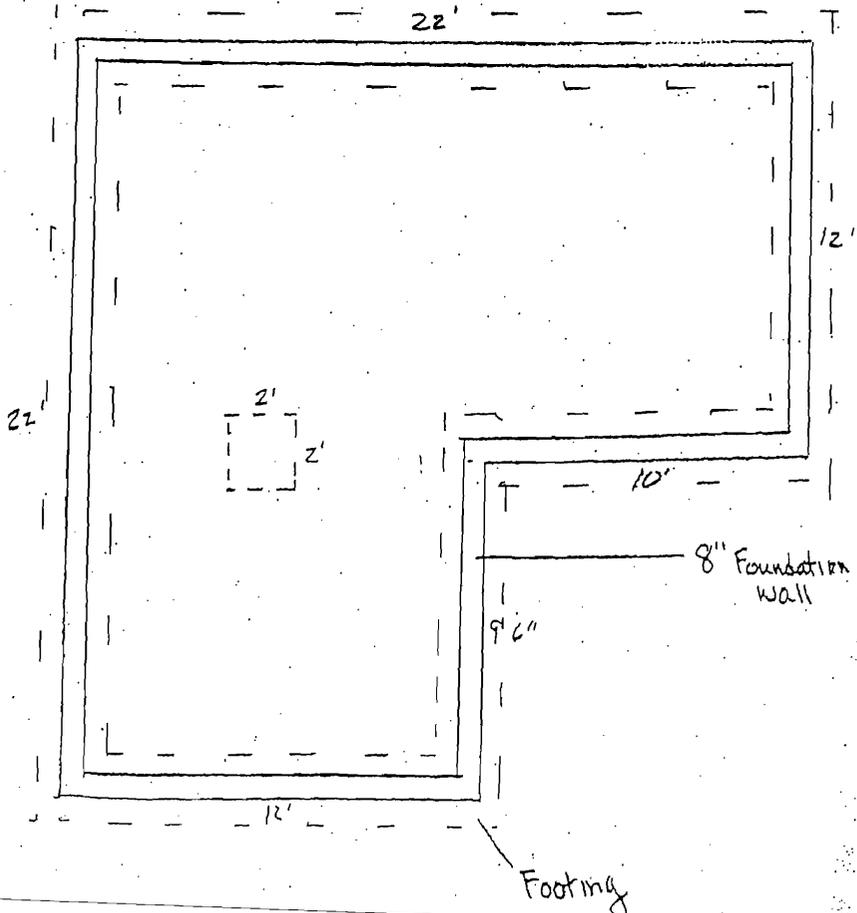
7'-10"

20"x10" MINIMUM CONG. FTG.  
 FOOTING TO BEAR ON  
 UNDISTURBED SOIL

4" DIAMETER PREFORATED PIPE  
 6" CRUSHED STONE COVER AND FILTER FABR  
 DRAINS TO BE INSIDE AND OUT

## TYPICAL FOUNDATION WALL SECTION - MAIN HOUSE

### Foundation Plan

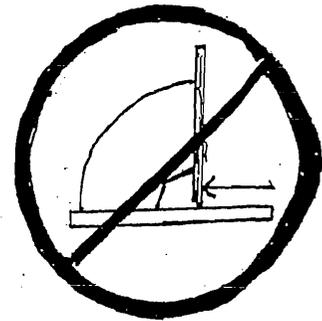
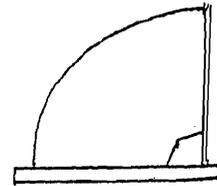
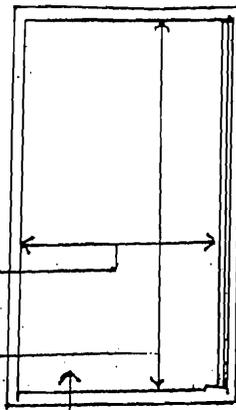
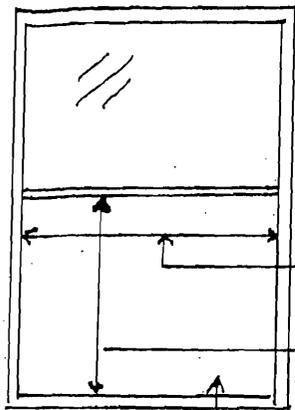


## Egress Windows

At least 1 egress window (or exterior door) is required to be provided in sleeping rooms, below the fourth story to be considered an egress window, all of the following <sup>4</sup> conditions must be met.

Double hung windows

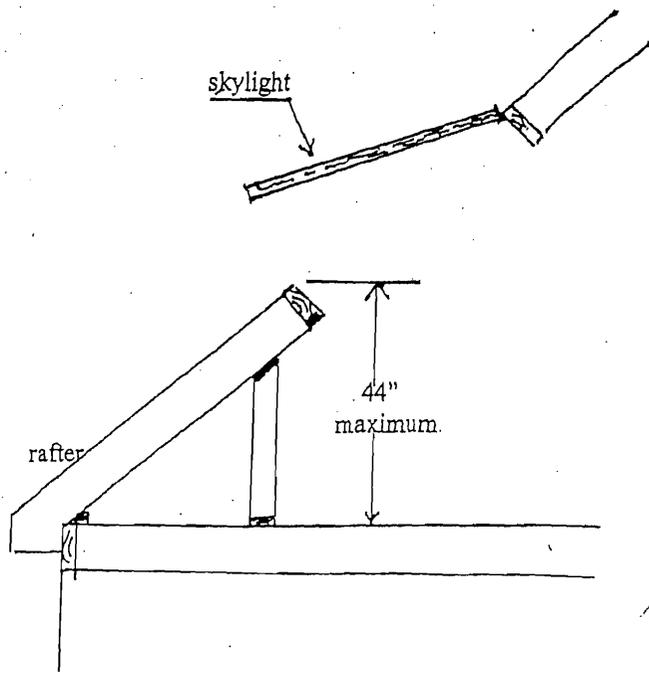
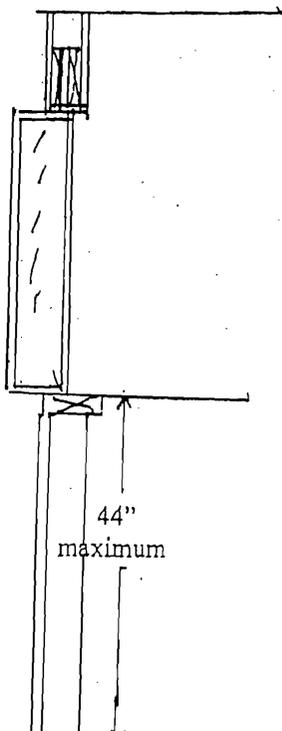
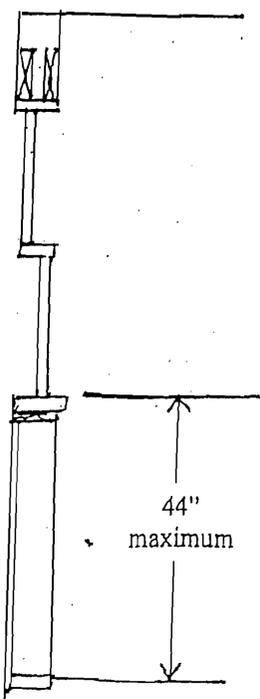
Casement Windows



3 Total net clear opening must be a minimum of:  
5.7 square feet or 821 square inches

**Caution...** A window which may meet the minimum opening width & height requirements (of condition 1 & 2) does not qualify as an egress window unless it also meets the total square foot opening requirement. (condition #3)

<sup>4</sup> Lowest point of the opening must not be more than 44 inches above the floor



Side section

5/8" Plywood  
Spacer

2x10 Header

4'0"

Double 2x4  
Jack stud

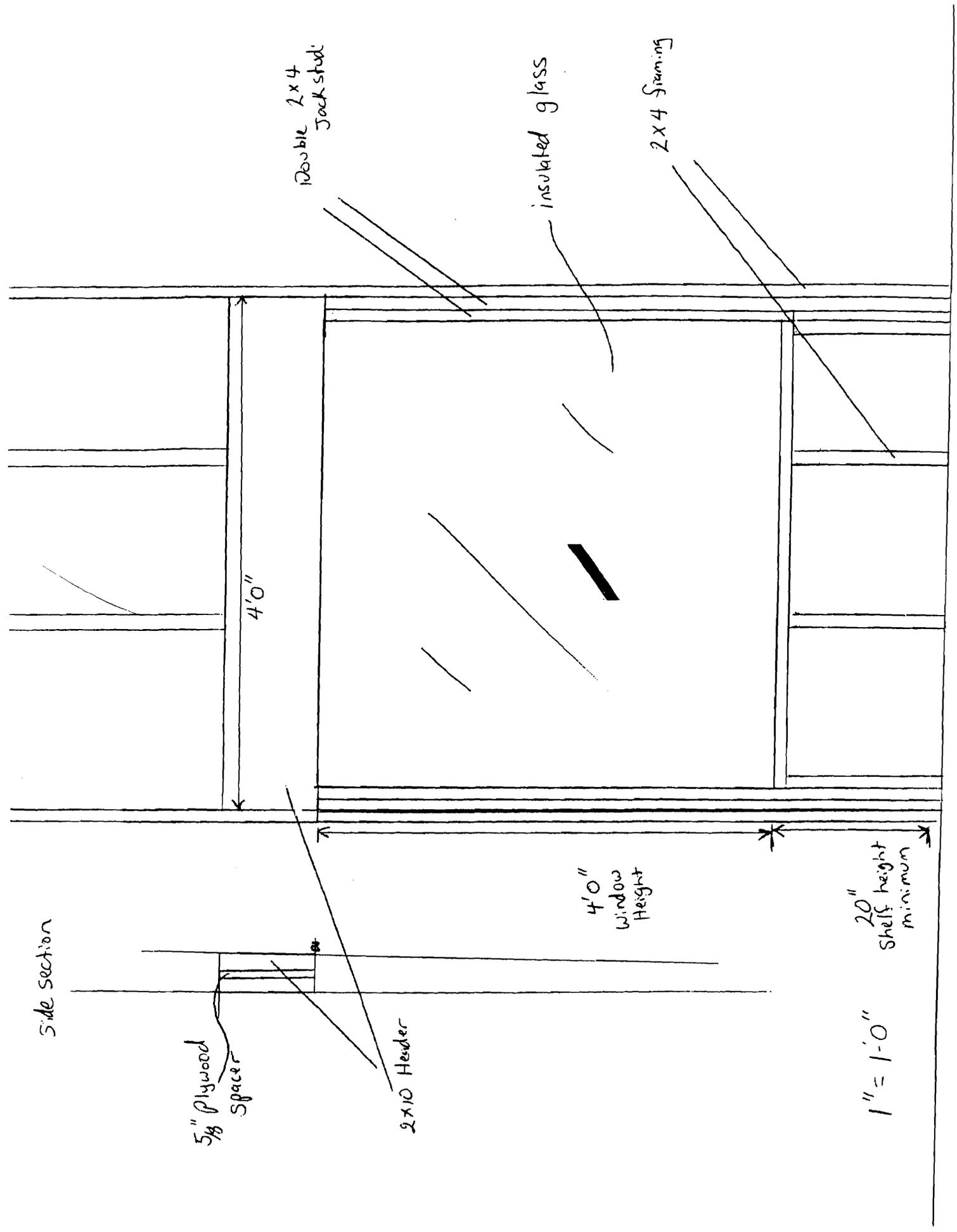
insulated glass

2x4 Framing

4'0"  
Window  
Height

20"  
shelf height  
minimum

1" = 1'-0"

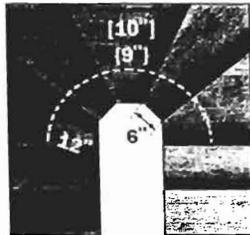


**Stairs & Decks**

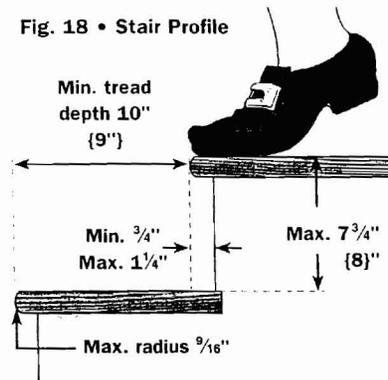
**General**

- Illumination req'd for all stairways .....[303.6] (210.70A2<sup>E</sup>)
- Control for light req'd at top and bottom of stairs (if 6 or more risers) ..... [303.6.1] (210.70A2<sup>E</sup>)
- Headroom min 6ft 8in ..... **F19** [311.5.2] (1003.3.3.4)
- Min stairway width above handrail 36in ..... [311.5.1] (1003.3.3.2)
- Handrail may project into req'd width 4½in (3½in) **F18** [311.5.1] (1003.3.3.2)
- Max riser height 7¾in (8in) ..... **F18** [311.5.3.1] (1003.3.3.3x)
- Min tread depth 10in (9in) ..... **F18** [311.5.3.2] (1003.3.3.3x)
- Max difference between tallest & shortest riser or largest & shortest tread run ¾in ..... [311.5.3.1.2] (1003.3.3.3)
- Winder tread min 6in & develop req'd length at ≤12in from inside of winder ..... **F17** [311.5.3.2] (1003.3.3.8.2)
- Nosing min ¾in max 1¼in req'd on stairs w/solid risers EXC ..... **F18** [311.5.3.3] (n/a)
- Nosing not req'd if tread depth ≥11in ..... [311.5.3.3X] (n/a)

**Fig. 17 • Winding Stairs**



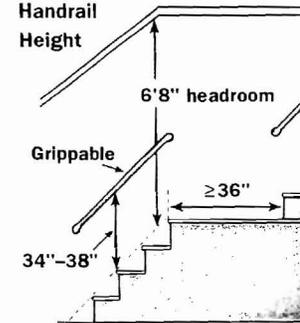
**Fig. 18 • Stair Profile**



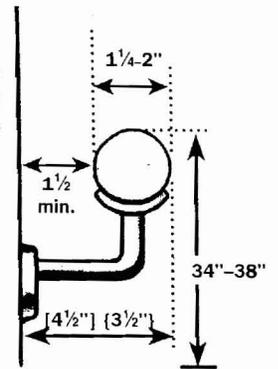
**Handrails**

- Grippable handrail req'd if 4 or more risers ..... [311.5.6]<sup>15</sup> (1003.3.3.6)
- Handrail height min 34in max 38in ..... **F19** [311.5.6.1] (1003.3.3.6)
- Grips min 1½in max 2in circular cross section **F20** [311.5.6.3]<sup>16</sup> (1003.3.3.6)
- Min 1½in between wall & handrail ..... **F20** [311.5.6.2] (1003.3.3.6)
- Ends req'd to return to wall or newel post ..... [311.5.6.2] (1003.3.3.6)
- Handrail on open side of stairs must not allow 4in sphere to pass through ..... [312.2] (509.3)
- Openings between treads of open risers <4in ..... [311.5.3.3] (n/a)
- Triangular space between riser, tread & rail must not allow 6in sphere to pass through ..... **F19** [312.2X1] (509.3X2)

**Fig. 19 Handrail Height**



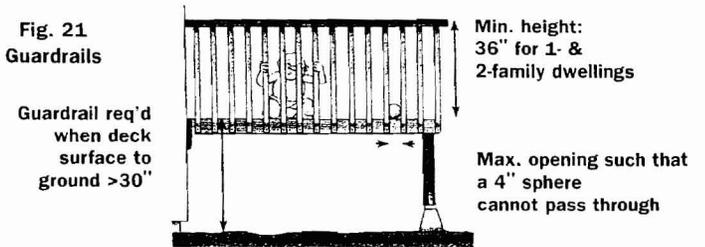
**Fig. 20 Handrail Size**



**Guardrails**

- Req'd for any walkoff >30in above floor or grade ..... **F21** [312.1] (509.1)
- Min height 36in (34in if guard is stair handrail) ..... **F21** [312.1] (509.2X1)
- Opening must not allow 4in sphere to pass through **F21** [312.2] (509.3)
- Guards req'd on open sides of stairs if total rise above floor or grade >30in ..... [312.1] (509.1)

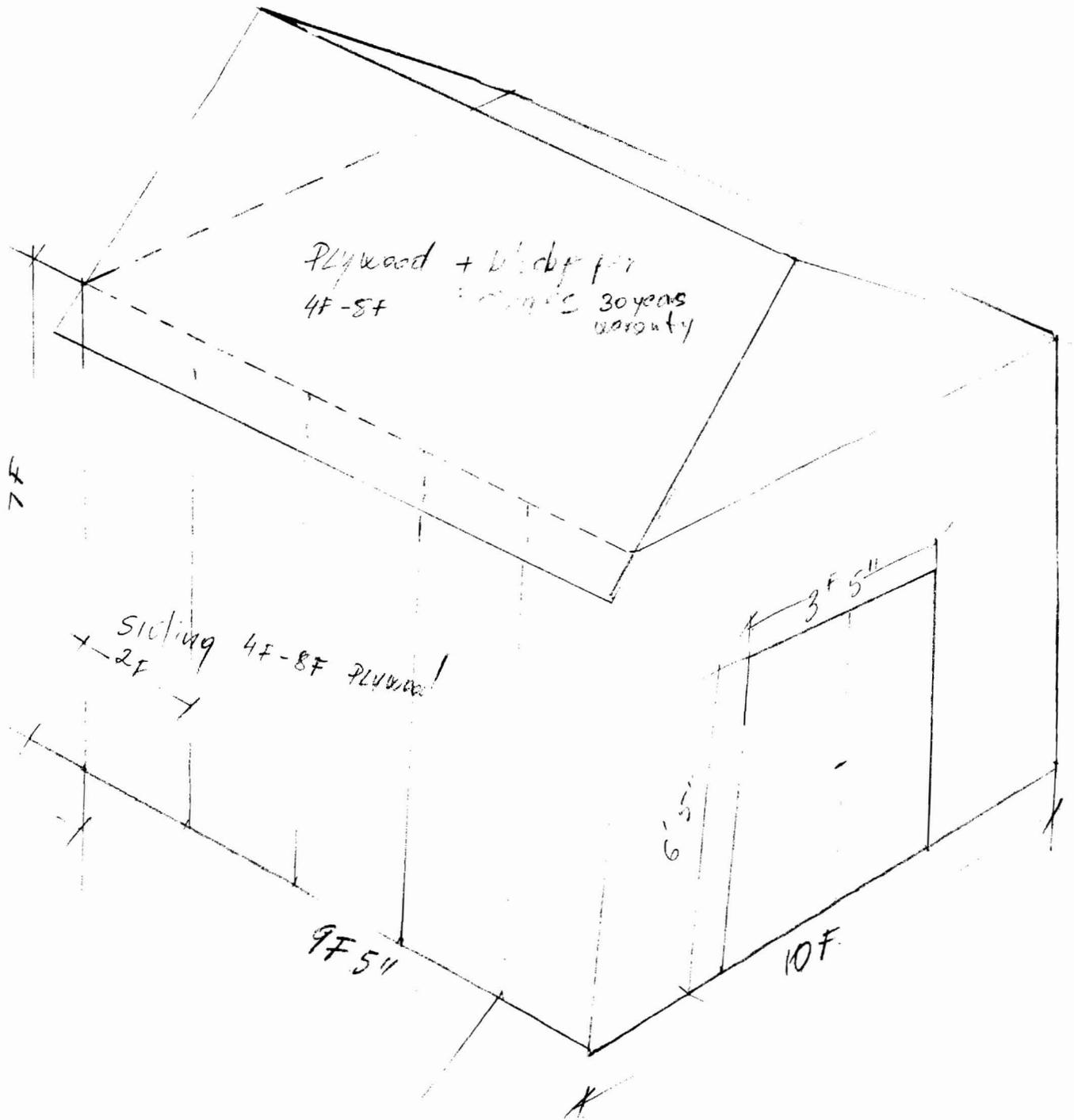
**Fig. 21 Guardrails**



**Table 13 • Special Inspection Reports**

S.I. reports due before final inspection	Required	Received
Concrete >2,500 psi		
Pilings, drilled piers & caissons		
Structural masonry		
Bolts in concrete		
Structural welding/steel moment frames		
Glu-Lam certificate		
Shear nailing <4" o.c.		
High-strength bolting		
Prestressed concrete: rebar & tendons		
EIFS		
Special case:		

# Shed PLAN



2" x 4" x 7F