

439-C-14

2006-0054

Apt. Addition

90 Chesley Ave.

Geraldine Dongo

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

2006-0054

Application I. D. Number

3/17/2006

Application Date

Apartment Addition

Project Name/Description

Dongo Geraldine S

Applicant

90 Chesley Ave, Portland, ME 04103

Applicant's Mailing Address

DRC Copy

90 - 90 Chesley Ave, Portland, Maine

Address of Proposed Site

439 C014001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Applicant Ph: (207) 831-5114 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

768 s.f.

Proposed Building square Feet or # of Units

Acreeage of Site

R3

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Pla \$400.00 Subdivision _____ Engineer Review _____ Date 3/17/2006

DRC Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance _____
signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

Mr. James Dongo
90 Chesley Avenue
Portland, Maine 04103

May 8, 2006

Dear Mr. Dongo:

RE: Application for Apartment Addition at 90 Chesley Avenue (App.# 2006-0054)

On May 8, 2006, the Portland Planning Authority granted minor site plan approval for the construction of a building addition at #90 Chesley Avenue.

Where submission drawings are available in electronic form, the applicant shall submit any available electronic cad (*.dwg) files.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one-year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.
2. A performance guarantee will not be required, however, an inspection fee in the amount of \$300.00 will have to be posted before beginning any site construction or issuance of a building permit.
3. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.

If there are any questions, please contact Jay Reynolds at 874-8632.

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- 1 -



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life * www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

Mr. James Dongo
90 Chesley Avenue
Portland, Maine 04103

April 19, 2006

Dear Mr. Dongo:

RE: Application for Apartment Addition at 90 Chesley Avenue (App.# 2006-0054)

Upon review of the site plan, the City's Planning Division has the following comments:

1. Please modify the site plan to have 1 additional parking space. Per zoning requirements, this space must fall outside of the front setback and in the r-3 zone must be a minimum of 5 feet from the side/rear property line. *Does*
2. Please show the proposed utilities, if any. Where ~~is~~ the foundation drain connect or outlet?
3. The site plan shows no change in topography. Due to the increase in impervious surface (building and pavement), some method of managing the stormwater flows is required. In particular, how will drainage not negatively impact the neighboring property (Ayer)?
4. Indicate whether any exterior lighting is proposed with this application.
5. While construction is occurring, erosion control measures must be implemented. Please add to the site plan where appropriate.
6. Due to the proximity to the neighboring property, it is recommended that additional landscaping be added along the easterly side boundary line. Please add to the plan. Also, for single family development, two 'street trees' are required to be installed along your road frontage. Please add to the plan.

Please resubmit 4 copies of the revised site plan and response to my attention.

Sincerely,

Jay Reynolds
Development Review Coordinator

cc: Sarah Hopkins, Development Review Services Manager

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0217	Date Applied For: 02/06/2006	CBL: 439 C014001
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Location of Construction: 90 CHESLEY AVE	Owner Name: DONGO GERALDINE S	Owner Address: 90 CHESLEY AVE	Phone:
Business Name:	Contractor Name: Home owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Dwellings	

Proposed Use: Single Family Change of use Single Family to 2 unit, & 24x32 addition	Proposed Project Description: Change of use Single Family to 2 unit, & 24x32 addition
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 03/24/2006

Note: **Ok to Issue:**

- 1) This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Pending **Reviewer:** Jeanine Bourke **Approval Date:** 04/12/2005

Note: had to go to zoning for review - asked to prioritize **Ok to Issue:**

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 03/22/2006

Note: **Ok to Issue:**

- 1) Building permit will require you to provide egress details from both units.

Comments:

- 3/14/2006-tmm: permit was placed in our pile - needs to go to zoning for review first - sent to zoning
- 3/14/2006-amachado: Spoke with Jim. He needs to file application for minor site plan review, we need full size building plans, and he needs to add the rear deck to the site plan.
- 3/29/2006-jmb: Spoke w/Jim D. For details as noted on review checklist, he will come in to make revisions on 3/30
- 4/3/2006-jmb: Received plans for cantilevered balcony framing. Called Jim Dongo due to framing spans not meeting code. He will provide revisions and I will check w/Tammy on a plan she recently inspected.
- 4/12/2006-jmb: Spoke w/Jim D. For detail on cantilever balcony, he will use 2x10 pt sistered to existing 2x10 joists 16" oc, ok to issue when site plan is approved.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2006-0054

Application I. D. Number

3/17/2006

Application Date

Apartment Addition

Project Name/Description

Dongo Geraldine S

Applicant

90 Chesley Ave, Portland, ME 04103

Applicant's Mailing Address

90 - 90 Chesley Ave, Portland, Maine

Address of Proposed Site

439 C014001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Applicant Ph: (207) 831-5114 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

768 s.f. **R3**

Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Pla **\$400.00** Subdivision _____ Engineer Review _____ Date **3/17/2006**

Planning Approval Status:

Reviewer _____

Approved Approved w/Conditions See Attached Denied

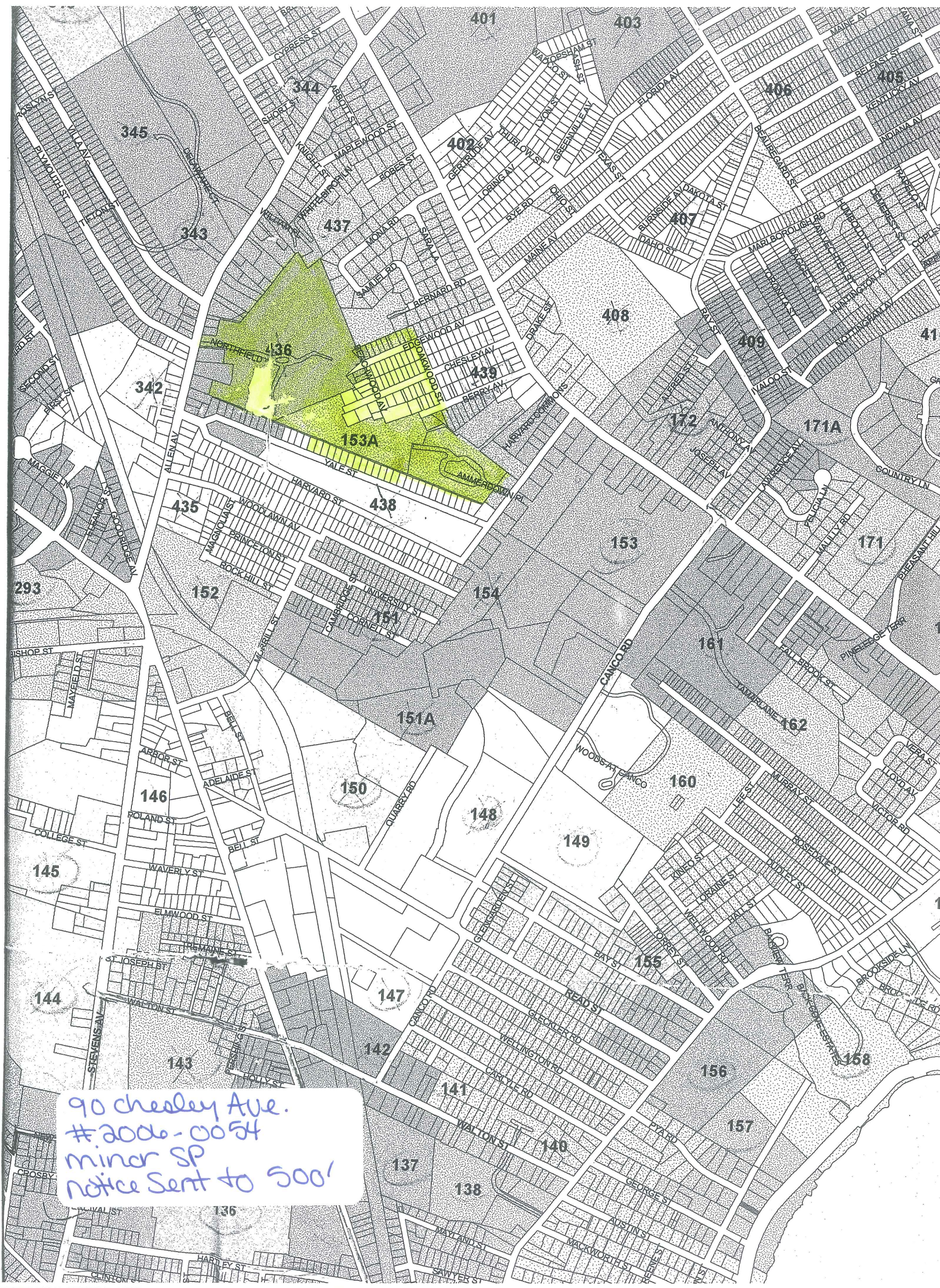
Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

OK to Issue Building Permit signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	



90 Chesley Ave.
#2006-0054
minor SP
notice sent to 500'

City of Portland Site Plan Application

If you or the property owner owe real estate taxes, personal property taxes or user charges on any property within the City of Portland, payment arrangements must be made before permit applications can be received by the Inspections Division.

Address of Proposed Development: 90 Chesley Ave		Zone: R-3
Total Square Footage of Proposed Structure: 768 sq. ft.	Square Footage of Lot: 9,198.3 sq. ft.	
Tax Assessor's Chart, Block & Lot: Chart# 439 Block# C Lot# 14 C-20	Property owner's mailing address: 90 Chesley Ave	Telephone #: 797-5527 831-4115
Consultant/Agent, mailing address, phone # & contact person: Jim Dougo 90 Chesley Ave Portland, Me. 04103 831-5114	Applicant's name, mailing address, telephone #/Fax#/Pager#: -	Project name: Dougo Residence Apartment Addition
Fee For Service Deposit (all applications) <input checked="" type="checkbox"/> (\$200.00)		
Proposed Development (check all that apply) <input type="checkbox"/> New Building <input checked="" type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot <input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + major site plan fee if applicable <input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____) <input type="checkbox"/> Traffic Movement (\$1,000.00) <input type="checkbox"/> Stormwater Quality (\$250.00) <input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot) <input type="checkbox"/> Other _____		
Major Development (more than 10,000 sq. ft.) <input type="checkbox"/> Under 50,000 sq. ft. (\$500.00) <input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00) <input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00) <input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00) <input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00) <input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 + applicable application fee)		
- Please see next page -		

Minor Site Plan Review

- Less than 10,000 sq. ft. (\$400.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

Plan Amendments

- Planning Staff Review (\$250.00)
- Planning Board Review (\$500.00)

Who billing will be sent to: (Company, Contact Person, Address, Phone #)

Jim Dongo Construction
90 Chesley Ave
Portland, Me. 04103
(207) 831-5114

Submittals shall include (9) separate folded packets of the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans checklist
- d. 1 set of 11 x 17 plans

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, & c)
ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process which is available on our web site: portlandmaine.gov

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>James Dongo</i>	Date: <i>3/15/06</i>
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This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

Jim Dongo
90 Chesley Ave
Portland, Me 04103
(207) 797-5587

Nov. 11, 2005

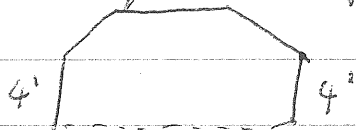
Dear Zoning Board of Appeals:

I would like to build a 24' x 24' in-law apartment addition attached to the rear of the main house 34' x 24'. The gross floor area of the main house is 2133 sq ft.

816 sq ft on first floor of 34' x 24'

816 sq ft on finished basement of 34' x 24'

501 sq ft on upstairs bedrooms of 34' x 14' 9"



W 14' 9" x L 34'

left of apartment is less than $\frac{2}{3}$
of floor area below (50%)

- a) The accessory unit is 576 sq ft on 24' x 24'
 30% of 2133 sq ft = 639 sq ft
- b) There will be no open outside stairways or fire escape
- c) The roofing, siding, trim and paint will match existing house exactly
- d) The lot size is 9.598 sq ft
- g) No unit will be reduced in size
- h) I will widen the existing driveway by 10' to provide more parking
- i) see attached site plan
- j) The principle unit shall be occupied by the owner Geraldine Dongo and the accessory by me James Dongo.
Thank you all.

Addition to cover letter of Nov. 11.

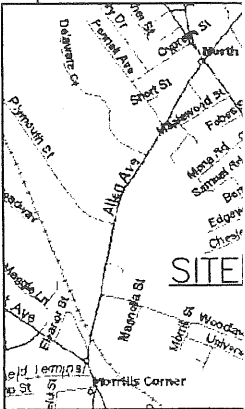
Jim Dongo
90 Chesley Ave
Portland, Me 04103
(207) 797-5587

Nov. 21, 2005

- Dear Zoning Board of Appeals,
- a) This new addition is part of the 'principal building' because the foundation is attached to the existing doghouse entrance to the finished basement which is covered and shared by both. Furthermore, the additions heat, electricity, water, and sewage, are attached below grade. The roofing, siding, paint and roof pitch match exactly.
- b) I will highlight on the site plan the existing and proposed paved parking (66' x 21'+)
- c) Regarding the three standards on the application form;
- (a) There are no unique or distinctive characteristics or effects associated with the proposed conditional use.
- (b) There will be no adverse impact upon the health, safety, or welfare of the public or surrounding area.
- (c) Such impact does not differ substantially from the impact which would normally occur from such a use in that zone, R-3. I'll still be living there, as I have been.

Sincerely yours,
James Dongo

SITE LOCATION



CHESLEY ROAD

(PAVED PUBLIC WAY)

TBM:
ELEV. 100.00'

1" RF
FLUSH

BIT
SIDEWALK

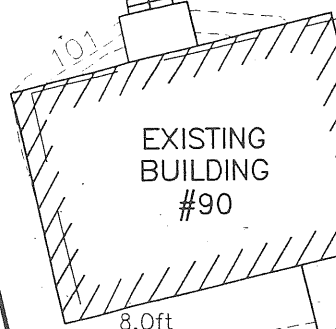
N 77°02'57" E
70.00'

NEW BIT
PAVMENT

BIT
DRIVE

25.0ft

2-1/2
PARKING
SPACES



EXISTING
BUILDING
#90

DECK

EXIST.
PVMNT
TBR

N 12°57'03" W
100.00'

N 12°57'03" W
83.71'

N/F
ELIZABETH
13365,

CHAIN
LINK
FENCE

PROPOSED
ADDITION

DECK

1" IPF
FLUSH

N/F
RICHARD E. & ROBERTA A.
COATES
LEGAL 439-C-18

EXISTING SHED
TO BE RELOCATED

5/8" RF
.8' A.G.

N 12°57'03" W
29.10'

25.0ft

N 80°49'08" E
70.15'

5/8" RF
.8' A.G.

N/F
YALE COURT, LP
19248/199



CITY OF PORTLAND, MAINE

ZONING BOARD OF APPEALS

Peter Coyne
Philip Saucier
Peter Thornton
Kate Knox
Catherine Alexander
David Dore Secretary
William Hall, Chair

December 6, 2005

Jim Dongo Construction
90 Chesley Ave.
Portland, ME 04103

RE: 90 Chesley Ave.
CBL: 439 C 014
ZONE: R3

Dear Mr. Dongo:

As you know, at its December 1, 2005, meeting, **the Board of Appeals voted 5-0 and granted to approve your Conditional Use Appeal.**

Enclosed please find the billing for the Zoning Board of Appeals legal ad and abutters' notification and a copy of the Board's decision; also a building permit application for your change of use.

Should you have any questions please feel free to contact me at 207-874-8701.

Sincerely,

Gayle Guertin
Office Assistant

CITY OF PORTLAND, MAINE

ZONING BOARD OF APPEALS

APPEAL AGENDA

The Board of Appeals will hold a public hearing on Thursday, December 1, at 6:30 p.m. on the second floor in Room 209 at the Portland City Hall 389 Congress Street, Portland, Maine to hear the following appeals:

To: City Clerk
From: Marge Schmuckal, Zoning Administrator
Date: December 06, 2005
RE: Action taken by the Zoning Board of Appeals on December 1, 2005

The meeting was called to order at 6:35p.m.

Roll call as follows:

Members Present: William Hall, Philip Saucier, Kate Knox, David Dore, and Peter Thorton.
Members Absent: Catherine Alexander (maternity leave) and Peter Coyne.

APPEAL AGENDA

1. **New Business:**

A. Conditional Use Appeal:

249 Vaughn Street, Property Resolutions Inc. owner, Tax Map #054 Block F Lot #033 in the R6 Residential Zone is seeking a Conditional Use Appeal under section 14-137 (a)(3) of the City of Portland Zoning Ordinance. Appellant requests permission for a change of use in the Historic District, from a multi family dwelling (6 unit) to a 7 guest room, owner occupied, bed and breakfast inn; with 7 off street parking spaces. Representing the Appeal is the applicant David A Parker, the perspective purchaser. **Board voted 5-0 and granted the Conditional Use Appeal.**

B. Conditional Use Appeal:

90 Chesley Avenue, Geraldine Dongo, owner, Tax Map #439 Block C Lot #014 in the R3 Residential Zone is seeking a Conditional Use Appeal under section 14-88 (a) 2 of the City of Portland Zoning Ordinance. Appellant is proposing to change the use of their single family dwelling, for an additional 576 square foot in law unit attached to the rear main house. Representing the Appeal is Jim Dongo son of the owner. **Board voted 5-0 and granted the Conditional Use Appeal.**

2. **Other Business:**

3. **Adjournment: 7:55pm**

Enclosure:

Agenda of December 1, 2005
Copy of Board's Decision

CC: Joseph Gray, City Manager
Alex Jaegerman, Planning Department
Lee Urban, Planning & Development Director
Aaron Shapiro, Housing & Neighborhood Services

From: Ann Machado
To: Barbara Barhydt
Date: Tuesday, October 27, 2009 9:57:44 AM
Subject: 90 Chesley

Barbara -

The owner at 90 Chesley went to the ZBA in December of 2005 to add an accessory dwelling unit to the single family home. After getting approval from the ZBA, they pulled a building permit to put an addition on the house (24' x32') to create the accessory dwelling unit. Since the addition was over 500 sf footprint, they also had to do minor siteplan review to add the accessory unit. This was siteplan 2006-0054. Jay Reynolds signed off on 5/8/06. The permit (#06-0217) was issued on 5/11/06 and work was started. The son of the owner was building the addition and got as far as putting the shell up when he suffered a heart attack and work stopped. Now he would like to reactivate the permit and finish the work.

The question is, does he have to apply for a minor siteplan again?

Ann

CC: Tammy Munson



City of Portland Site Plan Application

If you or the property owner owe real estate taxes, personal property taxes or user charges on any property within the City of Portland, payment arrangements must be made before permit applications can be received by the Inspections Division.

Address of Proposed Development: <u>90 Chesley Ave</u>		Zone: <u>R-3</u>
Total Square Footage of Proposed Structure: <u>768 sq. ft.</u>	Square Footage of Lot: <u>9,193.3 sq. ft.</u>	
Tax Assessor's Chart, Block & Lot: Chart# <u>439</u> Block# <u>C</u> Lot# <u>14</u> <u>C-20</u>	Property owner's mailing address: <u>90 Chesley Ave</u>	Telephone #: <u>797-5587</u> <u>831-4115</u>
Consultant/Agent, mailing address, phone # & contact person: <u>Jim Douge</u> <u>90 Chesley Ave</u> <u>Portland, Me. 04103</u> <u>831-5114</u>	Applicant's name, mailing address, telephone #/Fax#/Pager#: 	Project name: <u>Douge Residence</u> <u>Apartment</u> <u>Addition</u>
Fee For Service Deposit (all applications) <input checked="" type="checkbox"/> (\$200.00)		
Proposed Development (check all that apply) <input type="checkbox"/> New Building <input checked="" type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot <input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + major site plan fee if applicable <input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____) <input type="checkbox"/> Traffic Movement (\$1,000.00) <input type="checkbox"/> Stormwater Quality (\$250.00) <input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot) <input type="checkbox"/> Other _____		
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Who billing will be sent to: (Company, Contact Person, Address, Phone #)

Jim Dongo Construction
90 Chesley Ave
Portland, Me. 04103
(207) 831-5114

Submittals shall include (9) separate folded packets of the following:

- a. copy of application
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Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, & c)
ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process which is available on our web site: portlandmaine.gov

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>James Dongo</i>	Date: <i>3/15/06</i>
--	----------------------

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

Jim Dongo
90 Chesley Ave
Portland, Me. 04103
(207) 797-5597

Nov. 11, 2005

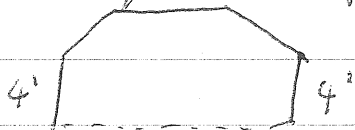
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816 sq. ft. on first floor of 34' x 24'

816 sq. ft. on finished basement of 34' x 24'

501 sq. ft. on upstairs bedrooms of 34' x 14' 9"



W 14' 9" x L 34'

loft of apartment is less than $\frac{2}{3}$ of floor area below (50%)

- a) The accessory unit is 576 sq. ft. on 24' x 24'
 30% of 2133 sq. ft. = 639 sq. ft.
- b) There will be no open outside stairways or fire escape.
- c) The roofing, siding, trim and paint will match existing house exactly.
- d) The lot size is 9,598 sq. ft.
- g) No unit will be reduced in size.
- h) I will widen the existing driveway by 10' to provide more parking.
- i) see attached site plan.
- j) The principle unit shall be occupied by the owner Geraldine Dongo and the accessory by me James Dongo.
Thank you all.

Addition to cover letter of Nov. 11.

Jim Dongo
90 Chesley Ave
Portland, Me 04103
(207) 797-5587

Nov. 21, 2005

- Dear Zoning Board of Appeals,
- a) This new addition is part of the 'principal building' because the foundation is attached to the existing doghouse entrance to the finished basement which is covered and shared by both. Furthermore, the additions heat, electricity, water, and sewage, are attached below grade. The roofing, siding, paint and roof pitch match exactly.
- b) I will highlight on the site plan the existing and proposed paved parking (66' x 21'+)
- c) Regarding the three standards on the application form;
- (a) There are no unique or distinctive characteristics or effects associated with the proposed conditional use.
- (b) There will be no adverse impact upon the health, safety, or welfare of the public or surrounding area.
- (c) Such impact does not differ substantially from the impact which would normally occur from such a use in that zone, R-3. I'll still be living there, as I have been.

Sincerely yours,
James Dongo

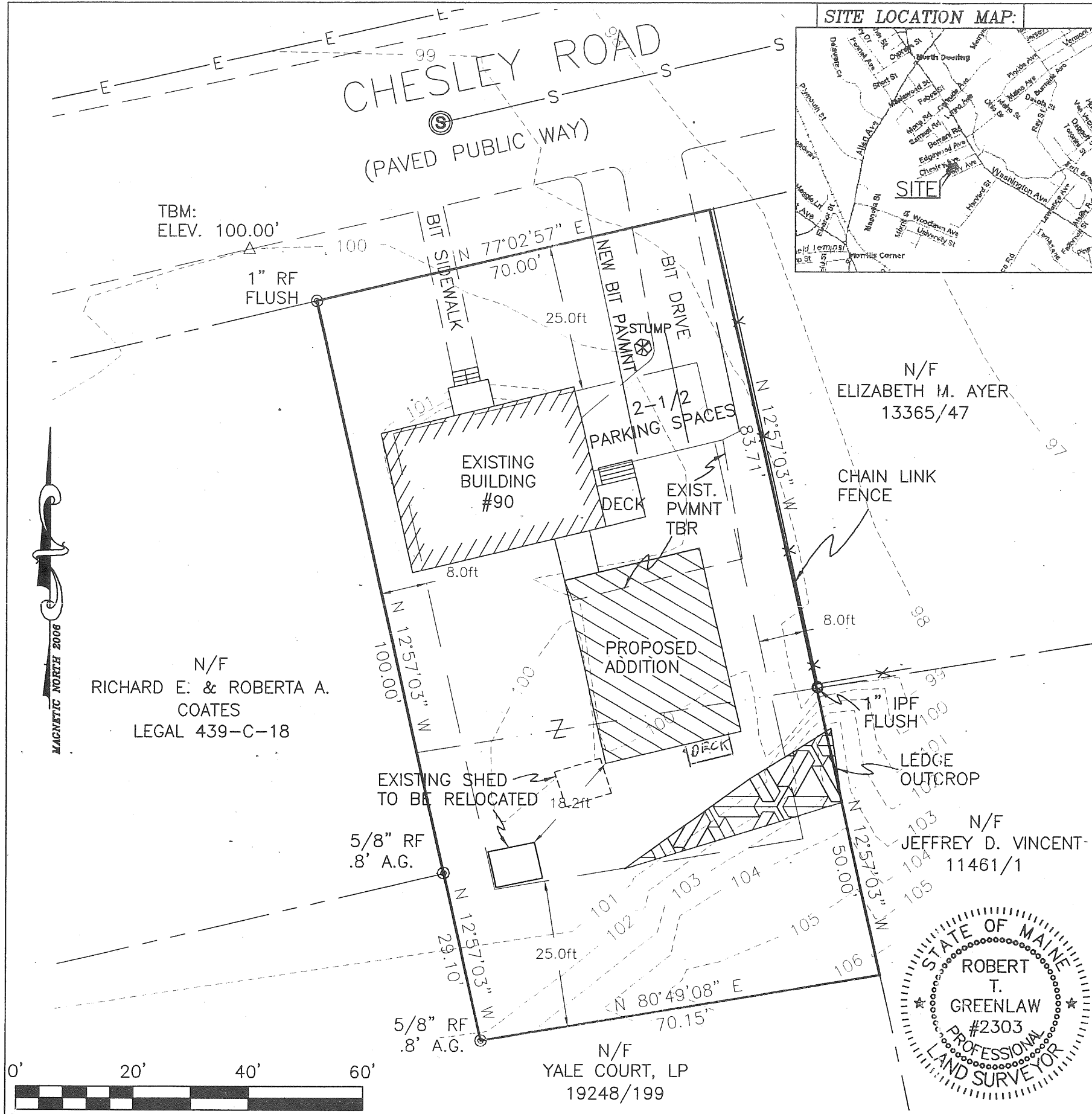
2006-0054

439-C-14

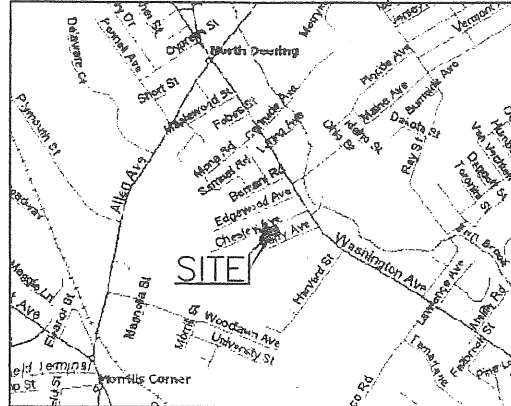
Apt. Addition

90 Chesley Ave.

Geraldine Dango



SITE LOCATION MAP:



GENERAL NOTES:

1. RECORD OWNER OF PARCEL: GERALDINE S. DONGO BOOK XX PAGE XX AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY, UTILIZING THE FOLLOWING EQUIPMENT:
LIETZ SOKKISHA SET 3 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR, HAND-HELD MAGNETIC COMPASS.
3. AREA OF SUBJECT PARCEL: 9,198.3 SQ. FT. 0.21 ACRES
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
a.) CITY OF PORTLAND TAX ASSESSORS MAPS NO. 153A, BLOCK A, AND NO. 439, BLOCK C, PORTLAND, MAINE, REVISED 3/1/84.
5. BENCHMARK: ELEVATIONS ARE BASED UPON AN ASSUMED VALUE OF 100.00 FT AT A MAG NAIL SET ON THE SOUTHEASTLY EDGE OF CHESLEY ROAD, MARKED "TBM: ELEV. 100.00"
6. SEE CONDITIONAL USE APPEAL GRANTED FROM THE CITY OF PORTLAND, MAINE, ZONING BOARD OF APPEALS, PUBLIC HEARING 12/1/2005.
7. NOTE: THIS IS NOT A STANDARD BOUNDARY SURVEY.

ZONING: R-3 RESIDENTIAL
 SETBACKS: FRONT - 25 FT; REAR - 25 FT;
 SIDE - 1-1/2 STORY: 8 FT; 2 STORIES: 14 FT
 ON SIDE STREET: 20 FT
 MINIMUM LOT SIZE: 6,500 SQ FT
 MINIMUM LOT FRONTAGE: 50 FT
 MAXIMUM BUILDING HEIGHT: 35 FT

LEGEND

- RF ⊙ Rebar Found
- IPF ⊙ Iron Pipe Found
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- Z - Indicates Ownership in Common
- ⊙ Utility Pole
- E - Overhead Utility
- - - Abutter Line
- - - Property Line
- - - Street Line
- ⊙ Sewer Manhole
- △ TBM: Temporary Benchmark
- 12345/99 Deed Book/Page of Local Registry
- TBR To Be Removed
- - - Edge of Traveled Way
- - - Setback Line
- - - Old Lot Line

SURVEYORS STATEMENT:

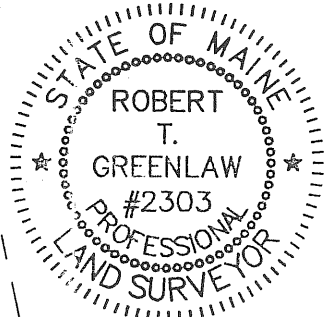
I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION
- c) NO NEW CORNERS SET

Robert T. Greenlaw

DATE: JANUARY 30, 2006

ROBERT T. GREENLAW P.L.S., #2303
 V. PRESIDENT BACK BAY BOUNDARY, INC.



PROPOSED APARTMENT ADDITION PLAN
 90 CHESLEY AVENUE PORTLAND, MAINE
 FOR: **GERALDINE DONGO**

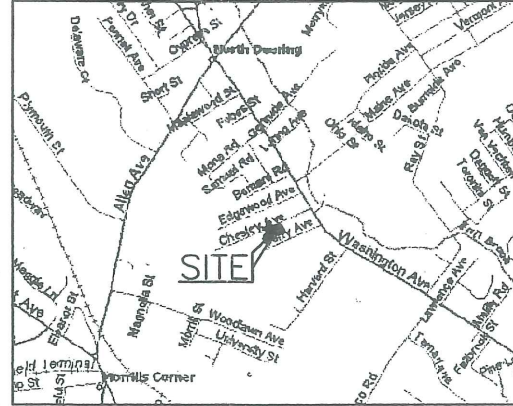
DRAWN BY: DMD
 CHECKED BY: GAS / PJM
 SCALE: 1"=20'
 DATE OF SURVEY: 01/19/2006
 JOB NUMBER: 2006004
 SHEET: 1 OF 1

PREPARED BY:
BACK BAY BOUNDARY, INC.
 PROFESSIONAL LAND SURVEYING
 643 FOREST AVENUE
 PORTLAND, MAINE 04101
 207-774-2855 FAX 207-347-4346
 DRAWER: 2006 NO: 004



MAGNETIC NORTH 2006

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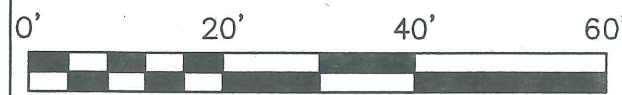
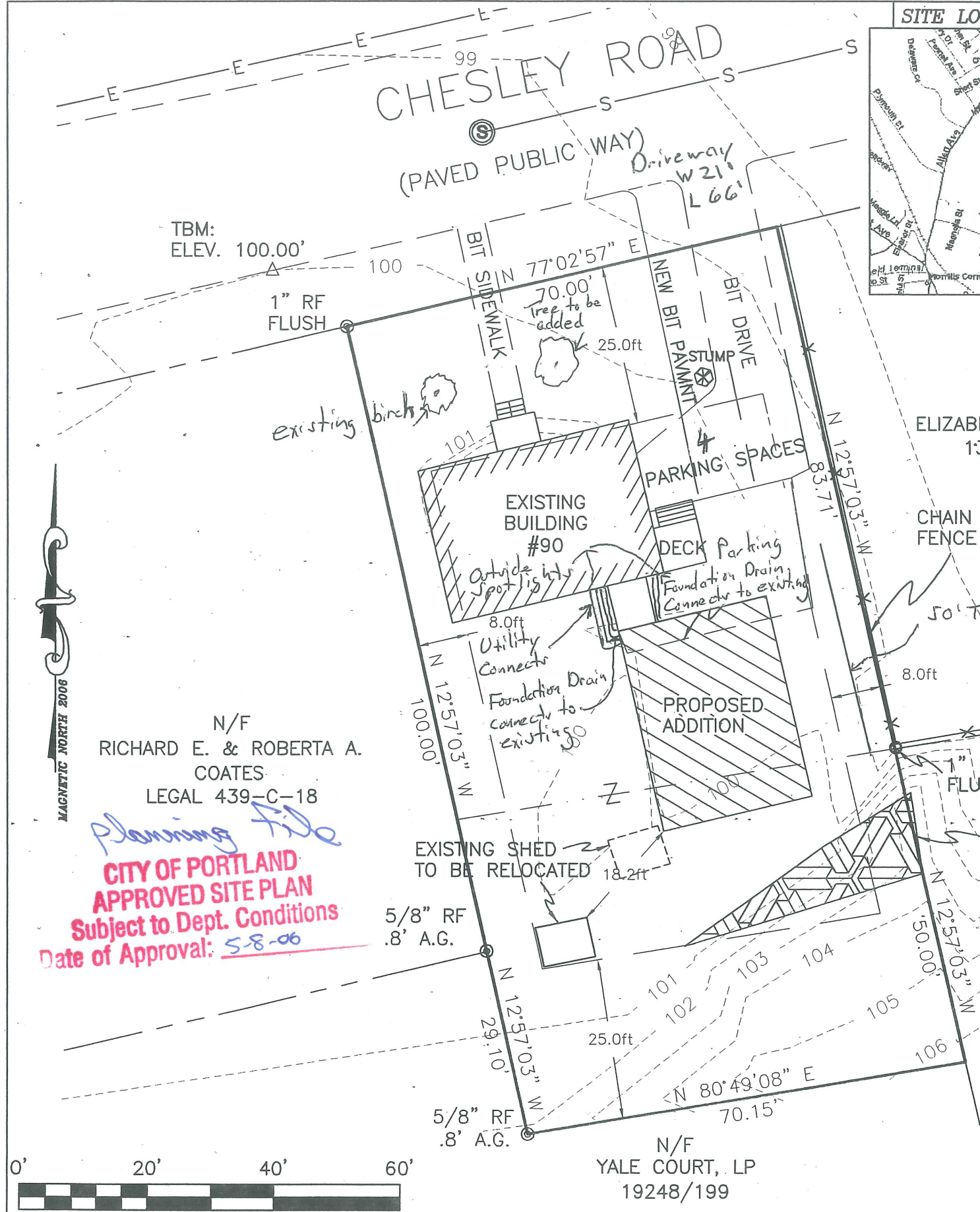
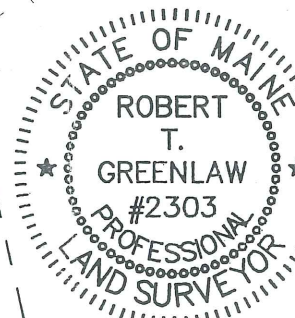
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[Signature of Robert T. Greenlaw]

DATE: JANUARY 30, 2006

ROBERT T. GREENLAW P.L.S., #2303
 V. PRESIDENT BACK BAY BOUNDARY, INC.



PROPOSED APARTMENT ADDITION PLAN
 90 CHESLEY AVENUE PORTLAND, MAINE

FOR: **GERALDINE DONGO**

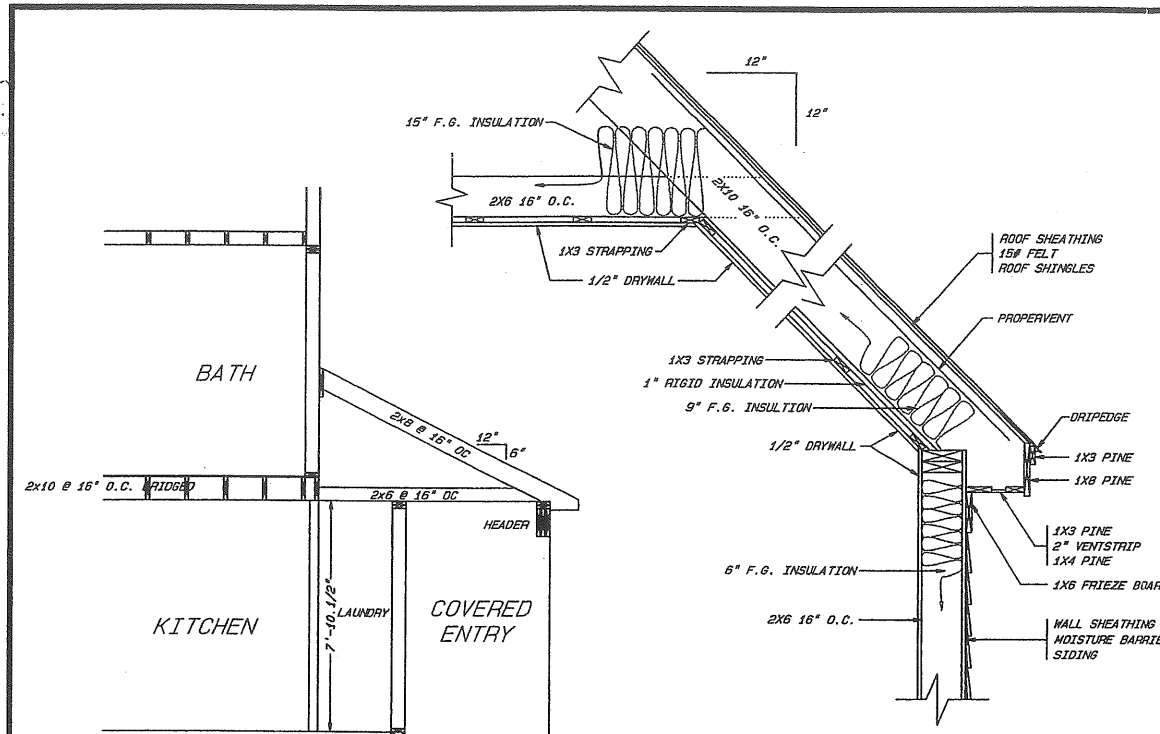
DRAWN BY: DMD
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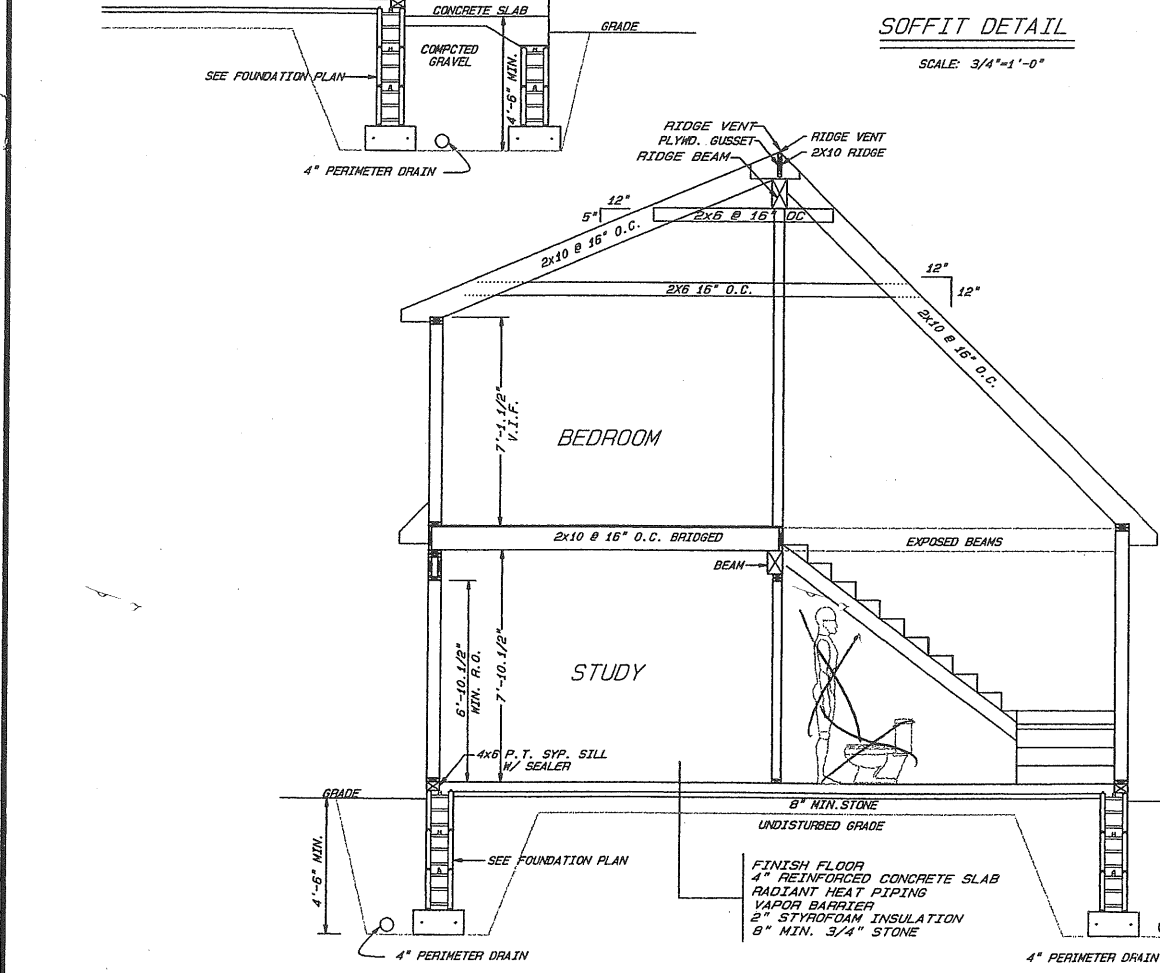
DRAWER: 2006 NO: 004

Planning File
CITY OF PORTLAND
APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 5-8-06

MAGNETIC NORTH 2006



SOFFIT DETAIL
SCALE: 3/4"=1'-0"




FRAMING MATERIAL SPECIFICATIONS	
FLOOR SHEATHING:	3/4" T&G EXT. PLYWOOD
WALL SHEATHING:	1/2" CDX EXT. PLYWOOD
ROOF SHEATHING:	5/8" CDX EXT. PLYWOOD
UNDERLAYMENT:	5/8" AC PLYWOOD
MOISTURE BARRIER: TYVEK HOUSEWRAP	
VAPOR RETARDENT: TU-TUFF	
EXTERIOR SIDING: VINYL	
EXTERIOR TRIM: #4 PINE WRAPPED IN ALUM.	
SILLS: 2x6 PRESSURE TREATED	
FLOOR JOIST: K.D. SPRUCE	
WALL STUDS: K.D. SPRUCE	
CEILING JOIST: K.D. SPRUCE	
RAFTERS: K.D. SPRUCE	
EAVE VENT: 2" WHT. ALUMINUM	
DRIPEDGE: 8" GALV.	
ROOFING SHINGLES: 30 YR.	
RIDGE VENT: ROLL VENT	
1" AIR SPACE MAT.: PROPERVENT	
FOUNDATION INSULATION: NONE	
SILL SEALER: PER AVAILABILITY	
FLOOR BLOCKS & RUNNERS: 10" FIBERGLASS	
1ST FLOOR INSULATION: 2" STYROFOAM	
EXTERIOR WALL INSULATION: 6" FIBERGLASS	
2ND FLOOR INSULATION: 3.1/5" FIBERGLASS	
CEILING INSULATION: 15" FIBERGLASS	
SLOPED ROOF INSULATION: 9" F.G. W/ 1" RIGID INSUL.	

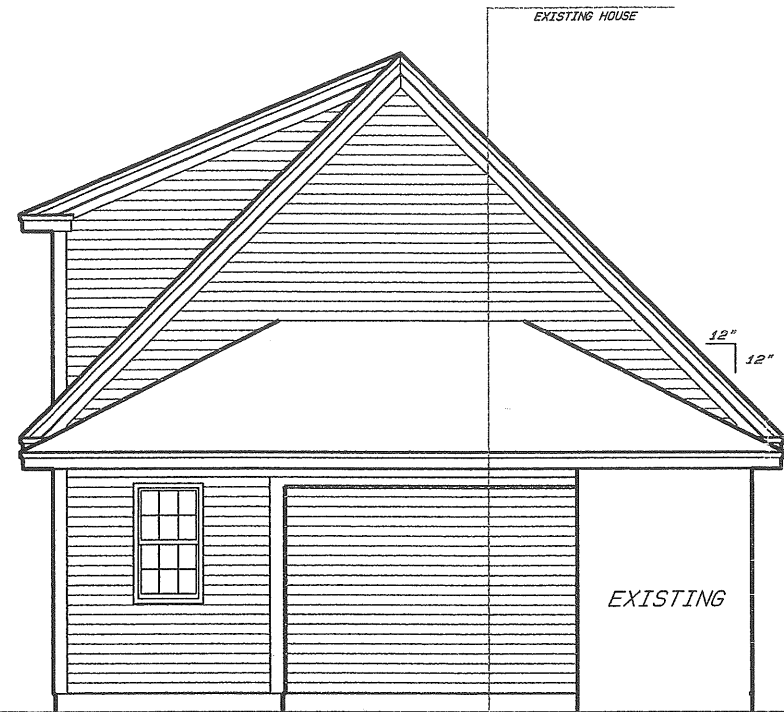
- WOOD FRAMING NOTES:**
- STRUCTURAL LUMBER: NO. 2 SPRUCE, PINE, FIR OR BETTER.
 - DESIGN CODE: NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
 - FASTENERS: COMPLY WITH RECOMMENDED FASTENING SCHEDULE OF THE BOCA BASIC BUILDING CODE LATEST EDITION, UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
 - NAILING REQUIREMENTS FOR PLYWOOD FLOOR DECKS, ROOF DECK AND SHEATHING: PROVIDE 80 NAILS AS FOLLOWS, UNLESS SHOWN OTHERWISE.
6" O.C.: ALONG ALL PANEL EDGES
8" O.C.: ALONG INTERMEDIATE MEMBERS
ALL PLYWOOD SUB-FLOORS TO BE GLUED AND NAILED WITH 8d SCREW NAILS.
 - SPIKE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT-UP WITH 16D NAILS @ 16" O.C., TOP AND BOTTOM
 - PROVIDE GALVANIZED METAL JOIST HANGERS AT FLUSH FRAMED CONNECTIONS. IF SIZES ARE NOT SHOWN ON PLANS, PROVIDE HANGERS EQUAL TO SIMPSON U210 OR L210.
 - PROVIDE 3- 2X10 HEADERS OVER ALL OPENINGS IN BEARING WALLS, UNLESS SHOWN OTHERWISE.
 - PROVIDE DOUBLE TOP PLATE IN ALL EXTERIOR WALLS AND ALL BEARING WALLS. STAGGER TOP PLATE SPLICES IN EXTERIOR WALLS 4'-0" AND PROVIDE AT LEAST 8- 10D NAILS PER SPLICE.
 - PROVIDE PRESSURE TREATED LUMBER FOR ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE.
 - PROVIDE MINIMUM OF TWO 2X STUDS AT THE ENDS OF ALL BUILT-UP 2X BEAMS, UNLESS SHOWN OTHERWISE.
 - ROOF AND WALL SHEATHING: APA RATED SHEATHING, EXTERIOR OR STRUCTURAL I OR II RATED SHEATHING, EXTERIOR.
ROOF: 5/8" THICK
WALLS: 1/2" THICK
INSTALL SHEETS WITH FACE GRAIN DIRECTION PERPENDICULAR TO SUPPORTING MEMBERS.
 - POSTS AT CORNERS OF EXTERIOR WALLS: PROVIDE 6X6 POST OR 3- 2X6 MINIMUM.
 - PROVIDE FULL DEPTH BLOCKING AT ENDS AND INTERIOR SUPPORTS OF ALL JOISTS AND RAFTERS WHERE JOISTS AND RAFTERS FRAME OVER SUPPORTS.
 - PROVIDE STAINLESS STEEL NAILS TO ATTACH SIDING AND EXT. TRIM.
 - MICRO-LAM BEAMS (LVLs): GLUE LAMINATED VENEER LUMBER OF DOUGLAS FIR AS MANUFACTURED BY TRUS-JOIST OF BOISE, IDAHO OR APPROVED EQUAL. F_v = 285 PSI, F_d = 2800 PSI, E = 2,000,000 PSI. ALL LVL HEADERS TO HAVE A MINIMUM OF DOUBLE 2X JACKS UNLESS NOTED OTHERWISE ON THE PLANS.
 - BOLTS, NUTS & WASHERS: ASTM - A307, HOT DIPPED GALVANIZED CONFORMING TO ASTM - A153.
 - NAILS: COMMON WIRE, EXCEPT BARBED NAILS AT PLYWOOD SHEATHING. PROVIDE GALVANIZED NAILS AT EXPOSED FRAMING.
 - METAL CONNECTORS: APPROVED ITEMS OF PROPER TYPE & GAUGE AS REQUIRED ON DRAWINGS. HOT DIPPED GALVANIZED.
 - ALL WOOD MEMBERS TO BE NAILED IN ACCORDANCE WITH BOCA CODE APPENDIX.
 - PROVIDE SOLID BRIDGING, SIZED TO MATCH FLOOR JOIST, AT MID-SPAN IN ALL FLOOR SYSTEMS.
 - LIVE LOADS FOR FLOOR JOIST SHALL BE PER THE BOCA BASIC BUILDING CODE LATEST EDITION.

- NOTE 1**
ALL ELEVATION DROPS ARE TO BE DETERMINED AND FIELD VERIFIED ACCORDING TO GRADE AND SITE CONDITIONS. ADJUST DROPS AS REQUIRED.
- NOTE 2**
ALL STRUCTURAL BEAMS AND ROOF SYSTEM ARE TO BE REVIEWED BY A MAINE LICENSED STRUCTURAL ENGINEER, ALL CHANGES TO BE MADE AS REQUIRED.
- NOTE 3**
* CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE CONNECTIONS BETWEEN ALL STRUCTURAL ELEMENTS. PROVIDE SUITABLE JOIST HANGERS, CLIP ANGLES, LAG BOLTS, ETC., AS REQUIRED TO ADEQUATELY CONNECT MEMBERS.

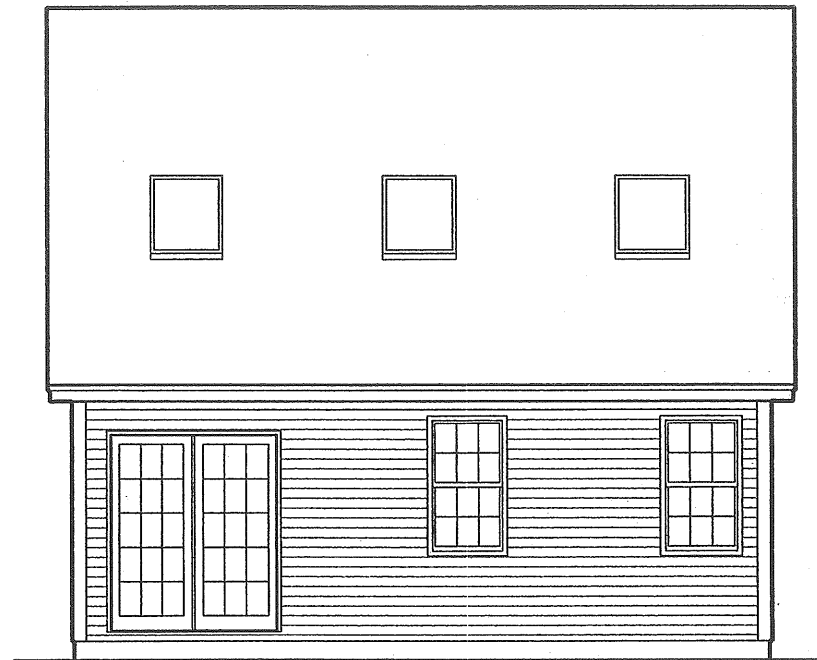
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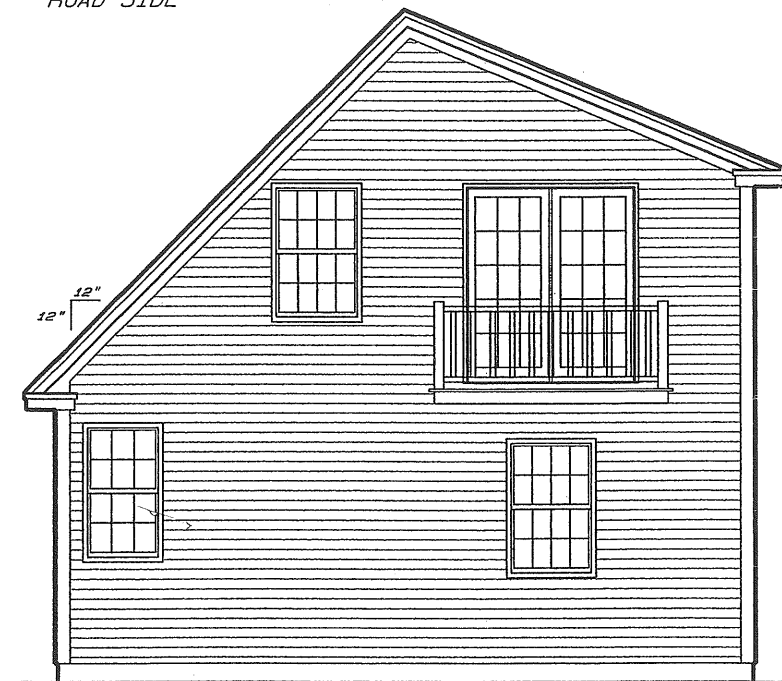
 CUSTOM HOME DESIGNER	DONGO RESIDENCE * 90 CHELSEY AVE. PORTLAND, MAINE	
	APARTMENT ADDITION	
P.O. Box 359 Yarmouth, Maine 04096 207-846-3749	BY: M. Meier SCALE: 1/4" = 1'-0" DATE: OCT. 13, 2005	PROJECT # 05008 SHEET # 4 of 4



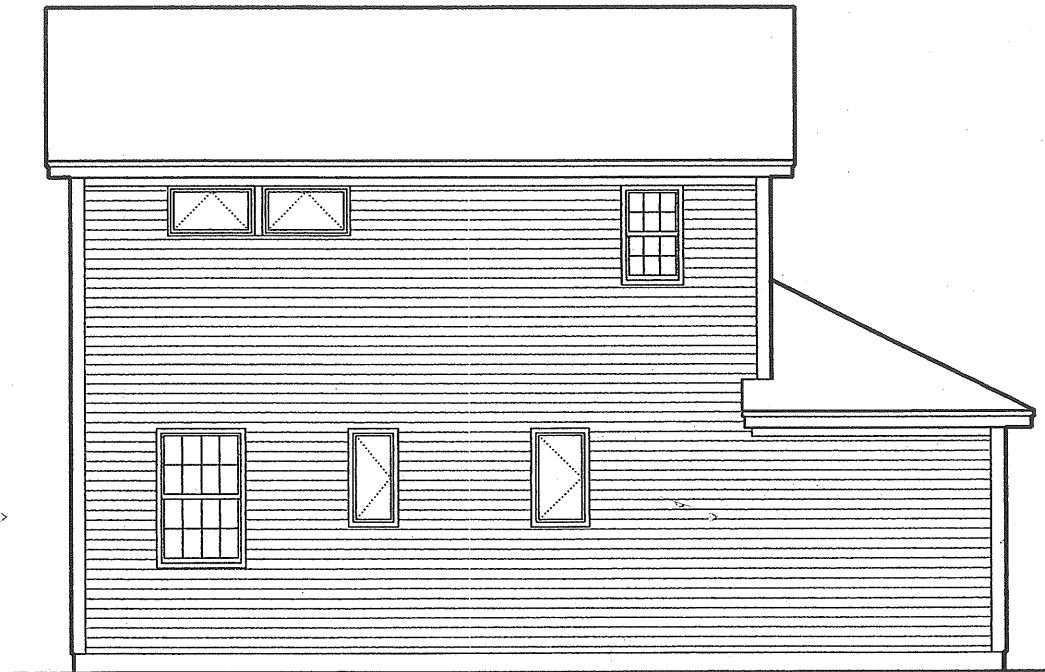
FRONT ELEVATION
ROAD SIDE



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION

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P.O. Box 359
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DONGO RESIDENCE

90 CHELSEY AVE.
PORTLAND, MAINE

APARTMENT ADDITION

BY: M. Meier	PROJECT # 05008
SCALE: 1/4" = 1'-0"	SHEET # 1 of 4
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