

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING INSPECTION

# PERMIT

Permit Number: 091405 **PERMIT ISSUED**

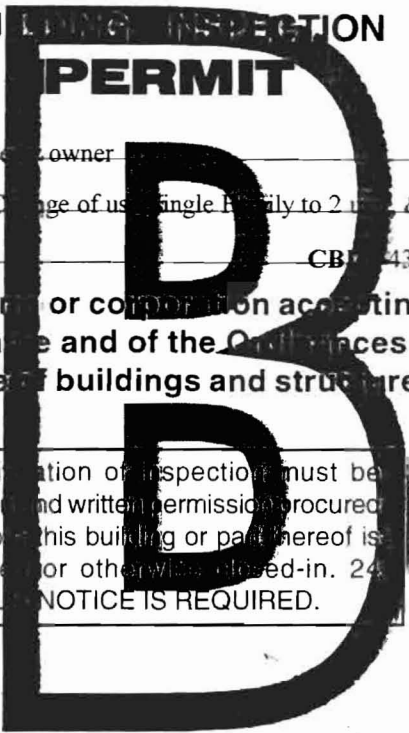
Please Read Application And Notes, If Any, Attached

This is to certify that DONGO GERALDINE S /proprietor owner DEC 17 2009

has permission to re-activating permit# 060217 "Change of use single family to 2 units & 24x32 addition"

AT 90 CHESLEY AVE CB# 439 C014001 City of Portland

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*Commence* 12/17/09  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1405	Issue Date:	CBL: 439 C014001
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Location of Construction: 90 CHESLEY AVE	Owner Name: DONGO GERALDINE S	Owner Address: 90 CHESLEY AVE	Phone:
Business Name:	Contractor Name: property owner	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	Zone: R-?

Past Use: Single Family Home - connected w/ permit#060217	Proposed Use: Single Family Home w/ accessory dwelling unit connected w/ permit#060217 - re-activating permit# 060217	Permit Fee: \$30.00	Cost of Work: \$30.00	CEO District: 4
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type SB IRC-2003 Signature: JMB 12/17/09	

Proposed Project Description: re-activating permit# 060217	Signature:	Signature: JMB 12/17/09
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: Ldobson	Date Applied For: 12/11/2009	<b>Zoning Approval</b>
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan Exemption Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> OK w/ conditions Date: 12/11/09	<p><b>Zoning Appeal</b></p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<p><b>Historic Preservation</b></p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: ABM
	<p><b>PERMIT ISSUED</b></p> <p>DEC 17 2009</p> <p>City of Portland</p>		

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

01-15-10 Closing Needs follow-up for: framing repairs due to notching of vent stacks, planing fest, plate covers for exposed pipes, spacers for support beams, and if arch fault is required under this permit. JGR

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-1405	<b>Date Applied For:</b> 12/11/2009	<b>CBL:</b> 439 C014001
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<b>Location of Construction:</b> 90 CHESLEY AVE	<b>Owner Name:</b> DONGO GERALDINE S	<b>Owner Address:</b> 90 CHESLEY AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> property owner	<b>Contractor Address:</b>	<b>Phone</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Amendment to Single Family	

<b>Proposed Use:</b> Single Family Home w/ accessory dwelling unit - re-activating permit# 060217	<b>Proposed Project Description:</b> re-activating permit# 060217
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 12/11/2009

**Note:** Section 14-474(f) states that once the permit is issued, the construction must be begun and diligently pursued to completion. The inspection notes show that Mr. Dongo got his permit, started the construction and diligently pursued it. His letter dated 12/3,2009 states that he suffered a heart attack and work had to stop until he had recovered physically and financially. He asked to reactivate the permit on 10/22/09. **Ok to Issue:**

- 1) During the existence of the accessory dwelling unit, all aspects of the Conditional Use criteria, Section 14-88(a)(2), shall be maintained.
- 2) With the issuance of this permit and the certificate of occupancy, this property shall remain a single family dwelling with an accessory dwelling unit. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 12/17/2009

**Note:** **Ok to Issue:**

- 1) All conditions apply from previously approved permit # 06-0217

**Comments:**

12/11/2009-gg: RECEIVED GRANTED SITE EXEMPTION WITH CONDITION AS OF 12/10/09. FILED WITH PERMIT (ANN). /GG

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 06-0217	<b>Date Applied For:</b> 02/06/2006	<b>CBL:</b> 439 C014001
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<b>Location of Construction:</b> 90 CHESLEY AVE	<b>Owner Name:</b> DONGO GERALDINE S	<b>Owner Address:</b> 90 CHESLEY AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Home owner	<b>Contractor Address:</b> Portland	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Change of Use - Dwellings	

<b>Proposed Use:</b> Single Family Change of use Single Family to 2 unit, & 24x32 addition	<b>Proposed Project Description:</b> Change of use Single Family to 2 unit, & 24x32 addition
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 03/24/2006

**Note:** **Ok to Issue:**

- 1) This permit is being approved under the conditions of the conditional use appeal (12/1/05). Number 6 under section A, pertains to the parking. The Zoning Board of Appeals approved the conditional use for parking based on plans. The driveway area submitted to the ZBA was much bigger than the one on the site plan submitted with the building permit. The new driveway must match the driveway shown on the plan for the conditional use appeal.
- 2) This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 05/11/2005

**Note:** had to go to zoning for review - asked to prioritize **Ok to Issue:**

- 1) Permit approved based on the plans submitted, with revisions as dated, and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) Separate permits are required for any electrical, plumbing, or heating.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Cptn Greg Cass      **Approval Date:** 03/22/2006

**Note:** **Ok to Issue:**

- 1) Building permit will require you to provide egress details from both units.

**Dept:** DRC      **Status:** Approved with Conditions      **Reviewer:** Jay Reynolds      **Approval Date:** 05/08/2006

**Note:** **Ok to Issue:**

- 1) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 2) A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 3) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 4) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 5) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

**Dept:** Planning      **Status:** Approved with Conditions      **Reviewer:** Jay Reynolds      **Approval Date:** 05/08/2006

**Note:** Sent Letter on 4-19-06 **Ok to Issue:**

- 1) Cad drawings of approved site plan required prior to issuance of BP.

<b>Location of Construction:</b> 90 CHESLEY AVE	<b>Owner Name:</b> DONGO GERALDINE S	<b>Owner Address:</b> 90 CHESLEY AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Home owner	<b>Contractor Address:</b> Portland	<b>Phone</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Change of Use - Dwellings	

2) 300.00 inspection fee required prior to issuance of building permit (paid 5/12)

**Comments:**

3/14/2006-tmm: permit was placed in our pile - needs to go to zoning for review first - sent to zoning

3/14/2006-amachado: Spoke with Jim. He needs to file application for minor site plan review, we need full size building plans, and he needs to add the rear deck to the site plan.

3/29/2006-jmb: Spoke w/Jim D. For details as noted on review checklist, he will come in to make revisions on 3/30

4/3/2006-jmb: Received plans for cantilevered balcony framing. Called Jim Dongo due to framing spans not meeting code. He will provide revisions and I will check w/Tammy on a plan she recently inspected.

4/12/2006-jmb: Spoke w/Jim D. For detail on cantilever balcony, he will use 2x10 pt sistered to existing 2x10 joists 16" oc, ok to issue when site plan is approved.

5/10/2006-jmb: Received site plan approval, ok to issue

10/22/2009-jmb: Jim Dongo called to renew the permit, it has been inactive for almost 2 years. I advised it will need to be applied for and updated again. Site plan is involved also. I advised he speak with Tammy.

11/16/2009-jmb: Jim D. Called inquiring on the status. I emailed Barbara B. And spoke with Ann M. Barbara confirmed in her email that she will allow a site plan exemption to continue with the work. Ann will call Jim and explain that he will need to apply to the ZBA for the conditional use appeal as the ordinance requires.

12/10/2009-amachado: Received letter from Jim Dongo explaining that he diligently pursued the construction after the permit was issued until he suffered a heart attack, and he wants to reactivate the permit to finish the hjob now that he has revoered fphysically & financially.

11/16/2009-amachado: Spoke to Jim Dongo. He argued that he had dildigently pursued construction until he suffered the heart attack. I asked him to send me a letter stateing the circumstances.

**BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**to schedule your inspections as agreed upon**

**Permits expire in 6 months, if the project is not started or ceases for 6 months.**

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

  X   **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

  X   **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**

**NOTE: There is a \$75.00 fee per inspection at this point.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

\_\_\_\_\_  
Signature of Applicant/Designee

*Jean Brunk*

\_\_\_\_\_  
Signature of Inspections Official

\_\_\_\_\_  
Date

*12/17/09*

\_\_\_\_\_  
Date



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>90 Cherley Ave</u>		
Total Square Footage of Proposed Structure/Area <u>762 sq ft</u>	Square Footage of Lot <u>9,198.3</u>	Number of Stories <u>1 1/2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>439</u> Block# <u>C</u> Lot# <u>014</u>	Applicant * <b>must be owner, Lessee or Buyer</b> * Name <u>Geraldine <del>on</del> Dongo</u> Address " <u>"</u> City, State & Zip " <u>"</u>	Telephone: <u>207/797-5527</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>50,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>30</u>
Current legal use (i.e. single family) <u>single family</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: <u>accessory unit</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: _____		
Contractor's name: <u>Jim Dongo</u>		<b>RECEIVED</b> DEC 11 2009
Address: _____ City, State & Zip _____		Dept. of Building Inspections City of Portland, Maine <u>207/797-5527</u>
Who should we contact when the permit is ready: <u>Jim Dongo</u>		Telephone: _____
Mailing address: <u>90 Cherley Ave Portland, Me 04103</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: James Dongo Date: 12/11/09

**This is not a permit; you may not commence ANY work until the permit is issue**



7/15/06 Finding setback insp w/ Jim D. Surveyor pinned  
off set on driveway and stake in rear. Also verified  
Rear Right prop marker. measured 14' 5" to string  
for proposed wall to setback stake. Rear wall  
is on ledge - Jim drilled & pinned into it for testing  
pour. OK to proceed.

He is using ICF for Frost walls - I asked  
him to call for insp before backfill. JMB

7/18/06 Forms in & conc poured in - verified left side  
Setback - Frost wall No drains OK to backfill  
JMB

8/14/06 - Plumbing drains - OK to pour concrete

11/14/09 See Email explaining status - also permit  
Comments in U.I. JMB

8/14 inspected footing + walls - Insulated  
CSH

8/17/06 - inspected insulation plumbing under slab  
w/ Pressure test + Radient heat.

OK to pour slab

Ch. H.

Jim Dongo  
90 Charley Ave  
Portland, Me 04103

Dec. 3, 2009

(207) 797-5587

cell# 931-5114

DEC 10 2009

Re: Site Plan Exemption

To whom it may concern.

I would like to renew a building permit issued in May of 2007 which was granted after a minor site plan review was approved. The ~~addition~~ addition has been inspected for its foundation, slab, underground conduit, sewer, water etc, and the framing, plumbing and electrical rough ins. completed.

But, on Nov 18<sup>th</sup> of 2007 I suffered a heart attack which set me back physically and financially until now. So I would like to request a renewal of my permit and get my framing, plumbing, and electrical inspections, so I may complete the addition so I can get my occupancy permit in a timely manner.

Thank you,  
James Dongo

p.s. My mother Geraldine Dongo is the owner;  
Tax Map # 439 Block C Lot # 014 in the R3  
Residential Zone.

90 Chesley

439-C-14  
06-0217

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST		
Soil type/Presumptive Load Value (Table R401.4.1)				
Component	Submitted Plan	Findings	Revisions	Date
<b>STRUCTURAL</b> Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	10" x 20" 4' min. 36" x 36" x 12" pad 10" wall <del>EIF wall system</del> CMU Blocks	OK		
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	stone, drain, filter ? damp	OK	3/30	
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	? 2" slab foam spec.	OK	3/30	
Anchor Bolts/Straps, spacing (Section R403.1.6)	?		OK	3/30
Lally Column Type (Section R407)	column.	OK		
Girder & Header Spans (Table R 502.5(2))	?			
Built-Up Wood Center Girder Dimension/Type	?			3/30, rns dist see spec OK
Sill/Band Joist Type & Dimensions	4x6 PT sill			OK
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	N/A			OK
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 16" O.C. ? Exposed Beams at Floor level			3/30 Truss just see spec
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	2x6 16" O.C. collars 2x6 16" O.C.	OK		

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	12:12 & 5:12 2x10 16" O.C. <sup>? Ridge</sup> Beam	Truss joist spec <sup>OK</sup>
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	3/4 T&G, 1/2 CDX, 5/8 CDX	OK
Fastener Schedule (Table R602.3(1) & (2))	<del>#</del> BOCA or Latest Edition	OK
<b>Private Garage</b> (Section R309) Living Space ? (Above or beside)  Fire separation (Section R309.2)  Opening Protection (Section R309.1)	N/A	OK
Emergency Escape and Rescue Openings (Section R310)	<del>#</del> Door to Deck 2nd Fl.	OK
Roof Covering (Chapter 9)	30 yr Shingles	OK
Safety Glazing (Section R308)	Tempered in stairwell	OK
Attic Access (Section R807)	N/A 2' HT clearance	OK
Chimney Clearances/Fire Blocking (Chap. 10)	N/A	OK
Header Schedule (Section 502.5(1) & (2))	3-2x10 Bearing walls	OK
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	6" R-19, <del>1" styro</del> & 2" styro in Floor 15" R-38+, 9" w/1" rigid slope ?	<del>u</del> Factor <sup>High performance</sup>

~~7~~ Sewer separation OK Combined per Todd M. 3/29/06  
~~2~~ meters OK 1

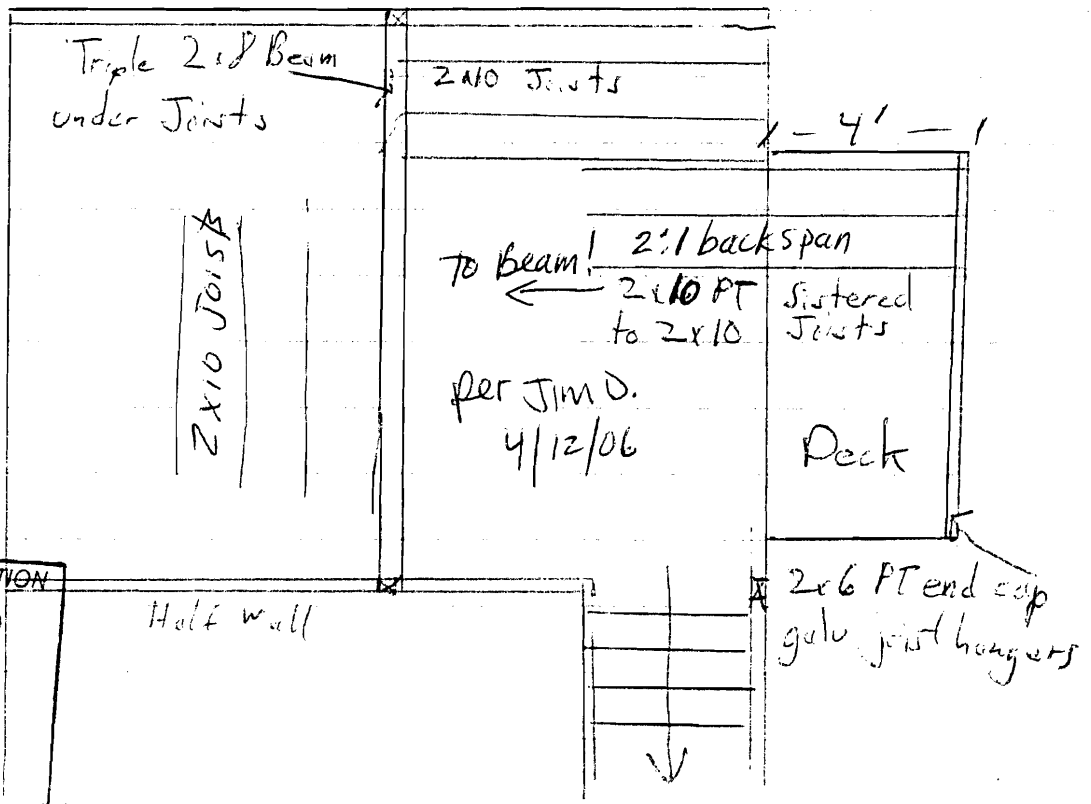
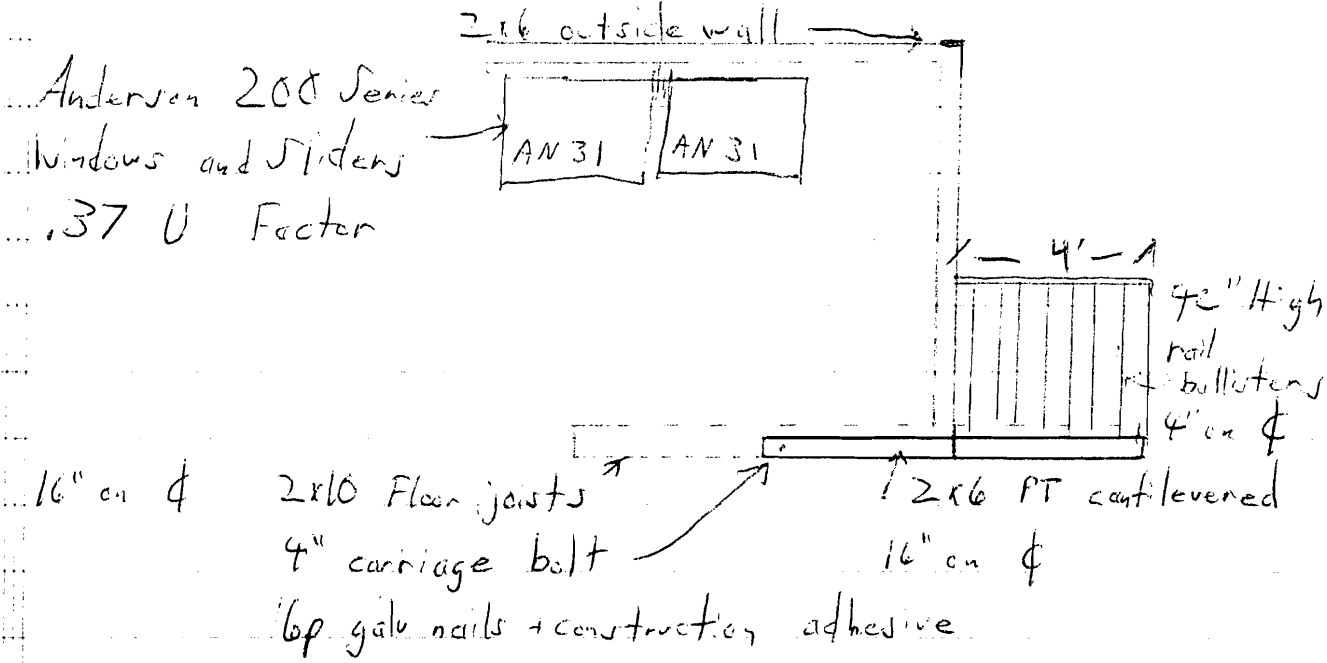
OK

? Dryer vent in slab - grade elevation 20" OK

Type of Heating System	Radiant Floor FHW	OK
<b>Means of Egress</b> (Sec R311 & R312) Basement	NA	
Number of Stairways	1	
Interior		
Exterior		
Treads and Risers (Section R311.5.3)	7 3/4" max Rise ? winder 10" min tread detail	
Width (Section R311.5.1)	36" min	
Headroom (Section R311.5.2)	6'8" min	
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	? Half wall Ht.	36 min OK 3/30
Smoke Detectors (Section R313) Location and type/Interconnected	?	per code OK 3/30
Draftstopping (Section R502.12) and Fireblocking (Section R602.8)	? "	OK
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	? "	OK per code
Deck Construction (Section R502.2.1)	? "	details submitted 4/3/06 w/ REVISIONS 4/12/06 OK

D

Jim Dongo In-Law Apartment Addition  
 ATTN: Jeanne 48 Chesley Ave  
 Balcony Deck Framing detail



DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME  
 APR 3 2006  
 RECEIVED

Permit #

Permit Date



Generated by REScheck Package Generator  
**Compliance Certificate**

Project Title: 90 Chesley

Report Date: 04/12/06

Energy Code: 2003 IECC  
Location: Portland, Maine  
Construction Type: Single Family  
Glazing Area Percentage: 15%  
Heating Degree Days: 7378

Construction Site:

Owner/Agent:  
Jim Dongo

Designer/Contractor:

**Compliance: Passes**

Assembly	Cavity R-Value	Cont. R-Value	Glazing or Door U-Factor
Ceiling:	38.0		
Wall:	19.0	0.0	
Window:			0.370
Door:			0.350
Slab-on-Grade: Insulation Depth: 4.0'		13.0	
Other Boiler: 85 AFUE			

*Compliance Statement:* The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2003 IECC requirements in the REScheck Package Generator and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Builder/Designer

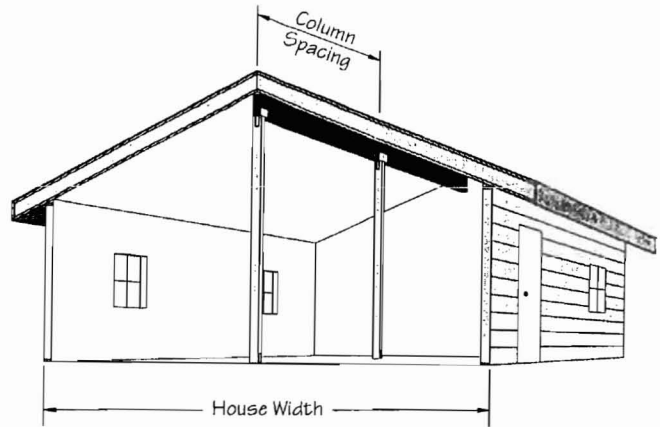
Company Name

Date



## How to Use This Table

1. Determine appropriate ROOF LOAD and HOUSE WIDTH.
2. Locate COLUMN SPACING.
3. Select Microllam® LVL beam size.



## Ridge Beams

Roof Load (PSF)	House Width	Column Spacing								
		10'-0"	12'-0"	14'-0"	16'-0"	18'-0"	20'-0"	22'-0"	24'-0"	
Non-Snow Area 125%	20LL + 15DL	24'-0"	3 1/2" x 9 1/4"	3 1/2" x 9 1/4"	3 1/2" x 9 1/4"	3 1/2" x 11 1/4"	3 1/2" x 11 7/8"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 16"
		30'-0"	3 1/2" x 9 1/4"	3 1/2" x 9 1/4"	3 1/2" x 11 1/4"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 16"	3 1/2" x 18"
		36'-0"	3 1/2" x 9 1/4"	3 1/2" x 9 1/4"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 18"	3 1/2" x 18"
	20LL + 20DL	24'-0"	3 1/2" x 9 1/4"	3 1/2" x 9 1/4"	3 1/2" x 11 1/4"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 16"
		30'-0"	3 1/2" x 9 1/4"	3 1/2" x 9 1/4"	3 1/2" x 11 1/4"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 18"
		36'-0"	3 1/2" x 9 1/4"	3 1/2" x 9 1/2"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 16"	<b>3 1/2" x 18"</b>	<b>3 1/2" x 20"</b>
Snow Area 115%	25LL + 15DL	24'-0"	3 1/2" x 9 1/4"	3 1/2" x 9 1/4"	3 1/2" x 11 1/4"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 18"
		30'-0"	3 1/2" x 9 1/4"	3 1/2" x 9 1/4"	3 1/2" x 11 1/4"	3 1/2" x 11 7/8"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 18"	3 1/2" x 18"
		36'-0"	3 1/2" x 9 1/4"	3 1/2" x 9 1/2"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 18"	<b>3 1/2" x 20"</b>	<b>3 1/2" x 20"</b>
	30LL + 15DL	24'-0"	3 1/2" x 9 1/4"	3 1/2" x 9 1/4"	3 1/2" x 11 1/4"	3 1/2" x 11 7/8"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 16"	3 1/2" x 18"
		30'-0"	3 1/2" x 9 1/4"	3 1/2" x 9 1/4"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 16"	3 1/2" x 18"	3 1/2" x 20"
		36'-0"	3 1/2" x 9 1/4"	3 1/2" x 11 1/4"	3 1/2" x 11 7/8"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 18"	3 1/2" x 20"	5 1/4" x 18"
	40LL + 15DL	24'-0"	3 1/2" x 9 1/4"	3 1/2" x 9 1/4"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 18"	<b>3 1/2" x 20"</b>
		30'-0"	3 1/2" x 9 1/4"	3 1/2" x 11 1/4"	3 1/2" x 11 7/8"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 18"	<b>3 1/2" x 20"</b>	5 1/4" x 18"
		36'-0"	3 1/2" x 9 1/4"	3 1/2" x 11 1/4"	3 1/2" x 14"	<b>3 1/2" x 16"</b>	<b>3 1/2" x 18"</b>	<b>3 1/2" x 20"</b>	5 1/4" x 18"	<b>5 1/4" x 20"</b>

## General Notes

Table is based on:

- Uniform loads.
- More restrictive of simple or continuous span. Ratio of short span to long span should be greater than 0.4 to prevent uplift.
- Deflection criteria of L/240 live load and L/180 total load.

Also see General Assumptions on page 3.

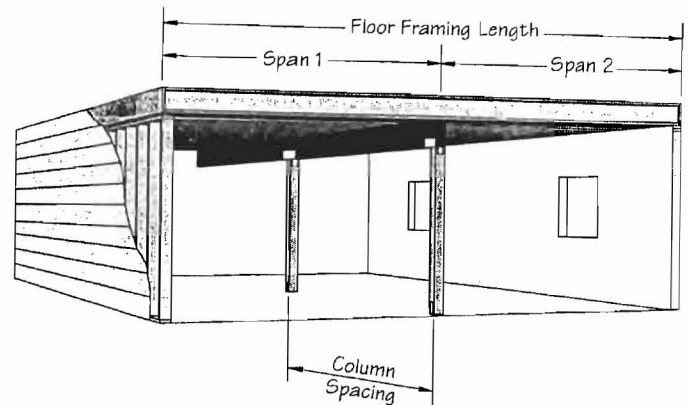
## Bearing Requirements

Minimum header support to be 2 trimmers (3") at ends and 7 1/2" at continuous span supports.

**Bold, italic** beam sizes require 3 trimmers (4 1/2") at ends and 11 1/4" at continuous span supports.

## How to Use This Table

1. Determine appropriate FLOOR LOAD.
2. Find the FLOOR FRAMING LENGTH that meets or exceeds the sum of spans 1 and 2 for the supported floor joists. When floor joists are continuous span, spans 1 and 2 cannot be less than 40% of the FLOOR FRAMING LENGTH. If floor joists are simple span (not continuous over the Microllam® LVL beam), then the FLOOR FRAMING LENGTH may be taken as 80% of the sum of spans 1 and 2 of the floor joists.
3. Locate COLUMN SPACING.
4. Select Microllam® LVL beam size.



## Floor Girder Beams

Floor Load (PSF)	Floor Framing Length	Column Spacing						
		10'-0"	12'-0"	14'-0"	16'-0"	18'-0"	20'-0"	22'-0"
40LL + 12DL	20'-0"	3 1/2" x 9 1/4"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 18"	3 1/2" x 20"
	24'-0"	3 1/2" x 9 1/2"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 18"	3 1/2" x 20"
	28'-0"	3 1/2" x 11 1/4"	3 1/2" x 11 7/8"	3 1/2" x 14"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 18"	3 1/2" x 20"
	32'-0"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 18"	3 1/2" x 20"	3 1/2" x 20"	5 1/4" x 20"
	36'-0"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 18"	3 1/2" x 20"	5 1/4" x 18"	5 1/4" x 20"
	40'-0"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 18"	3 1/2" x 20"	5 1/4" x 18"	5 1/4" x 20"
	44'-0"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 18"	3 1/2" x 20"	5 1/4" x 18"	5 1/4" x 20"
	44'-0"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 18"	3 1/2" x 20"	5 1/4" x 18"	5 1/4" x 20"
40LL + 20DL	20'-0"	3 1/2" x 9 1/4"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 16"	3 1/2" x 18"	3 1/2" x 20"
	24'-0"	3 1/2" x 9 1/2"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 18"	3 1/2" x 20"
	28'-0"	3 1/2" x 11 1/4"	3 1/2" x 11 7/8"	3 1/2" x 14"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 18"	3 1/2" x 20"
	32'-0"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 18"	3 1/2" x 20"	5 1/4" x 18"	5 1/4" x 20"
	36'-0"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 18"	3 1/2" x 20"	5 1/4" x 18"	5 1/4" x 20"
	40'-0"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 18"	3 1/2" x 20"	5 1/4" x 18"	5 1/4" x 20"
	44'-0"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 18"	3 1/2" x 20"	5 1/4" x 18"	5 1/4" x 20"
	44'-0"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 18"	3 1/2" x 20"	5 1/4" x 18"	5 1/4" x 20"

## General Notes

Table is based on:

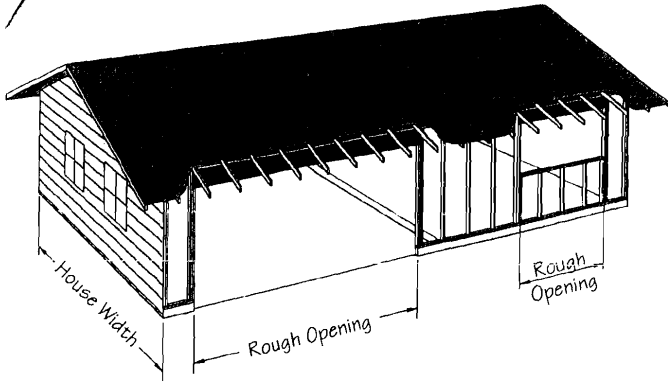
- Uniform loads.
- More restrictive of simple or continuous span. Ratio of short span to long span should be greater than 0.4 to prevent uplift.
- Deflection criteria of L/360 live load and L/240 total load.

Also see General Assumptions on page 3.

### Bearing Requirements

Minimum beam support to be 2 trimmers (3") at ends and 7 1/2" at continuous span supports.

**Bold, italic** beam sizes require 3 trimmers (4 1/2") at ends and 11 1/4" at continuous span supports.



### How to Use This Table

1. Determine appropriate ROOF LOAD and HOUSE WIDTH.
2. Locate ROUGH OPENING.
3. Select Microllam® LVL header size.

### Headers Supporting Roof

	Roof Load (PSF)	House Width	Rough Opening						
			8'-0"	9'-3"	10'-0"	12'-0"	14'-0"	16'-3"	18'-3"
Non-Snow Area 125%	20LL + 15DL	24'-0"	1 3/4" x 9 1/4"	1 3/4" x 9 1/4"	1 3/4" x 9 1/4"	1 3/4" x 11 1/4"	1 3/4" x 14"	3 1/2" x 11 7/8"	3 1/2" x 14"
		30'-0"	1 3/4" x 9 1/4"	1 3/4" x 9 1/4"	1 3/4" x 11 1/4"	1 3/4" x 14"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 14"
			5 1/4" x 7 1/4"	3 1/2" x 9 1/4"	3 1/2" x 9 1/4"	5 1/4" x 9 1/4"	5 1/4" x 11 1/4"	5 1/4" x 11 7/8"	5 1/4" x 14"
	20LL + 20DL	24'-0"	1 3/4" x 9 1/4"	1 3/4" x 9 1/4"	1 3/4" x 11 1/4"	1 3/4" x 11 7/8"	<b>1 3/4" x 14"</b>	3 1/2" x 11 7/8"	3 1/2" x 14"
		30'-0"	1 3/4" x 9 1/4"	1 3/4" x 11 1/4"	1 3/4" x 11 1/4"	<b>1 3/4" x 14"</b>	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 16"
			5 1/4" x 7 1/4"	3 1/2" x 9 1/4"	3 1/2" x 9 1/4"	3 1/2" x 9 1/2"	5 1/4" x 9 1/2"	5 1/4" x 11 1/4"	5 1/4" x 14"
25LL + 15DL	24'-0"	1 3/4" x 9 1/4"	1 3/4" x 9 1/4"	1 3/4" x 11 1/4"	1 3/4" x 14"	3 1/2" x 11 1/4"	3 1/2" x 11 7/8"	3 1/2" x 14"	
	30'-0"	1 3/4" x 9 1/4"	1 3/4" x 11 1/4"	1 3/4" x 11 1/4"	<b>1 3/4" x 14"</b>	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 16"	
		5 1/4" x 7 1/4"	3 1/2" x 9 1/4"	3 1/2" x 9 1/4"	3 1/2" x 9 1/2"	5 1/4" x 9 1/2"	5 1/4" x 11 1/4"	5 1/4" x 14"	
Snow Area 115%	30LL + 15DL	24'-0"	1 3/4" x 9 1/4"	1 3/4" x 11 1/4"	1 3/4" x 11 1/4"	<b>1 3/4" x 14"</b>	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 14"
		30'-0"	1 3/4" x 9 1/2"	1 3/4" x 11 1/4"	1 3/4" x 11 1/4"	1 3/4" x 14"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 16"
			3 1/2" x 9 1/4"	3 1/2" x 9 1/4"	3 1/2" x 9 1/4"	3 1/2" x 9 1/2"	5 1/4" x 9 1/2"	5 1/4" x 11 1/4"	5 1/4" x 14"
	40LL + 15DL	24'-0"	1 3/4" x 9 1/2"	1 3/4" x 11 1/4"	<b>1 3/4" x 14"</b>	3 1/2" x 11 1/4"	3 1/2" x 11 7/8"	3 1/2" x 14"	3 1/2" x 16"
		30'-0"	1 3/4" x 9 1/4"	1 3/4" x 11 1/4"	1 3/4" x 11 1/4"	1 3/4" x 14"	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 16"
			3 1/2" x 9 1/4"	3 1/2" x 9 1/4"	3 1/2" x 9 1/4"	3 1/2" x 9 1/2"	5 1/4" x 9 1/2"	5 1/4" x 11 1/4"	5 1/4" x 14"
36'-0"	1 3/4" x 11 1/4"	1 3/4" x 11 1/4"	<b>1 3/4" x 14"</b>	3 1/2" x 11 1/4"	3 1/2" x 14"	3 1/2" x 14"	3 1/2" x 16"	3 1/2" x 18"	
	3 1/2" x 9 1/4"	3 1/2" x 9 1/4"	3 1/2" x 9 1/4"	3 1/2" x 14"	<b>3 1/2" x 16"</b>	<b>3 1/2" x 18"</b>	<b>3 1/2" x 20"</b>	5 1/4" x 16"	
	3 1/2" x 9 1/4"	3 1/2" x 9 1/4"	3 1/2" x 9 1/4"	5 1/4" x 9 1/4"	5 1/4" x 11 7/8"	5 1/4" x 14"	5 1/4" x 16"		

### General Notes

Table is based on:

- Uniform loads.
- More restrictive of simple or continuous span. Ratio of short span to long span should be greater than 0.4 to prevent uplift.
- Roof truss framing with 24" soffits.
- Deflection criteria of L/240 live load and L/180 total load.

Also see General Assumptions on page 3.

### Bearing Requirements

Minimum header support to be 2 trimmers (3") at ends and 7 1/2" at continuous span supports.

**Bold, italic** header sizes require 3 trimmers (4 1/2") at ends and 11 1/4" at continuous span supports.

90 Chesley

439-C-14  
06-0217

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST		
Soil type/Presumptive Load Value (Table R401.4.1)				
Component	Submitted Plan	Findings	Revisions	Date
<b>STRUCTURAL</b> Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	10" x 20" 4' min. 36" x 36" x 12" pad 10" wall <del>ICF wall system</del> CMU Blocks	OK		
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	stone, drain, filter ? damp	OK	3/30	
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	? 2" slab foam spec.	OK	3/30	
Anchor Bolts/Straps, spacing (Section R403.1.6)	?		OK	3/30
Lally Column Type (Section R407)	column.	OK		
Girder & Header Spans (Table R 502.5(2))				
Built-Up Wood Center Girder Dimension/Type	?	3/30	truss joist see spec	OK
Sill/Band Joist Type & Dimensions	4x6 PT sill	OK		
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	N/A	OK		
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 16" O.C. ? Exposed Beams at Floor level		3/30 Truss joist see spec	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	2x6 16" O.C. collars 2x6 16" O.C.	OK		



# Application for Exemption from Site Plan Review

Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

RECEIVED

PROJECT NAME: Inlaw - apartment addition DEC - 3 2009

PROJECT ADDRESS: 90 Chesley Ave

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of Proposal/Development)

City of Portland  
Planning Division

Project was approved in '07, you have the blueprints, construction is substantially complete and ready for final inspection

CHART/BLOCK/LOT: #439 Block C Lot # 014

RECEIVED

### CONTACT INFORMATION:

DEC 11 2009

#### OWNER/APPLICANT

Name: Genoldine Denge  
Address: 90 Chesley Ave  
Portland,  
Zip Code: 04103  
Work #: \_\_\_\_\_  
Home #: (207) 797-5587  
Fax #: \_\_\_\_\_  
E-mail: \_\_\_\_\_

#### CONSULTANT/AGENT

Name: James Denge  
Address: 90 Chesley Ave  
Portland,  
Zip Code: 04103  
Work #: 831-5114  
Home #: (207) 797-5587  
Fax #: \_\_\_\_\_  
E-mail: \_\_\_\_\_

Dept. of Building Inspections  
City of Portland Maine

#### Criteria for Exemptions:

(See Section 14-523 (4) on page 2 of this application)

- a) Is the proposal within existing structures?
- b) Are there any new buildings, additions, or demolitions?
- c) Is the footprint increase less than 500 sq. ft.?
- d) Are there any new curb cuts, driveways or parking areas?
- e) Are the curbs and sidewalks in sound condition?
- f) Do the curbs and sidewalks comply with ADA?
- g) Is there any additional parking?
- h) Is there an increase in traffic?
- i) Are there any known stormwater problems?
- j) Does sufficient property screening exist?
- k) Are there adequate utilities?

Applicant's Assessment  
Y(yes), N(no), N/A

Planning Division  
Use Only

Y	yes
Y	no
N	no
Y	yes
N/A	yes NA
N/A	yes NA
Y	Y - sufficient
N	no
N	no
Y	yes
Y	yes

#### Planning Division Use Only

Exemption Granted  one condition Partial Exemption  Exemption Denied

The applicant shall obtain all required building permits from Portland's Inspection Division

Planner's Signature Barbara Balbydt

Date Dec 9, 2009

PROVISION OF PORTLAND CITY CODE  
14-523 (SITE PLAN ORDINANCE)  
RE: EXEMPTIONS FROM SITE PLAN REVIEW

**Sec. 14-523. Approval required.**

No person shall undertake any development without obtaining approval therefore under this article.

- (4) The Planning authority shall exempt from review under all standards in this article developments that meet all of the following requirements:
- a. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
  - b. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
  - c. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
  - d. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
  - e. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
  - f. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
  - g. There are no evident deficiencies in existing screening from adjoining properties; and
  - h. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.

A developer claiming exemption under this subsection shall submit a written request for exemption stating that the proposed meets all of the provisions in standards a-h of this subsection, including an itemized statement by a qualified professional. Upon receipt of such a request, the planning authority will visit the site to verify that the exemption is applicable due to compliance with the standards. The planning authority, after consultation with the public works authority, shall render a written decision within twenty (20) working days after receipt of a written request for exemption that contains all the information required by this subsection. If a full exemption is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. The planning authority may require full site plan review of a project that meets the criteria of this subsection if it determined that there is a substantial public interest in the project.

In the event that the planning authority determines that standards a and b of this subsection and at least four (4) of the remaining standards have been met, the planning authority shall review the site plan under the review standards in section 14-526 that are affected by the standards in this subsection that have not been met. An application that receives review by the planning board shall receive a complete review under the standards of section 14-526. The planning authority shall notify an applicant in writing that full or partial site plan review is required, the reasons for the decision, and the information that will be required for site plan review.

**IMPORTANT NOTICE TO APPLICANT**

An Exemption from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (874-8703), to determine what other City permits, such as a building permit, will be required.

**Planning Barbara Barhydt**

December 9, 2009

The request for a site plan exemption is approved with one condition:

1. The applicant shall obtain all required building permits from Portland's Inspection Division.

Jim Dongo  
90 Charley Ave  
Portland, Me 04103

Dec. 3, 2009

(207) 797-5587

cell# 831-5114

### Re: Site Plan Exemption

To whom it may concern.

I would like to renew a building permit issued in May of 2007 which was granted after a minor site plan review was approved. The ~~addition~~ addition has been inspected for its foundation, slab, underground conduit, sewer, water etc, and the framing, plumbing and electrical rough ins. completed.

But on Nov 18<sup>th</sup> of 2007 I suffered a heart attack which set me back physically and financially until now. So I would like to request a renewal of my permit and get my framing, plumbing, and electrical inspections, so I may complete the addition so I can get my occupancy permit in a timely manner.

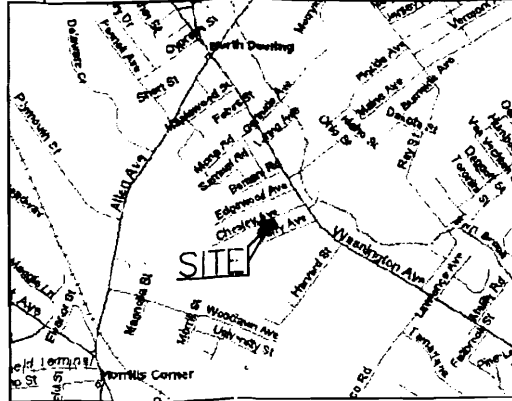
Thank you,  
James Dongo

P.S. My mother Geraldine Dongo is the owner;  
Tax Map # 439 Block C Lot # 014 in the R3  
Residential Zone.



437-060217

**SITE LOCATION MAP:**



**GENERAL NOTES:**

1. RECORD OWNER OF PARCEL: GERALDINE S. DONGO BOOK XX PAGE XX AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY, UTILIZING THE FOLLOWING EQUIPMENT:  
LIETZ SOKKISHA SET 3 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR, HAND-HELD MAGNETIC COMPASS.
3. AREA OF SUBJECT PARCEL: 9,198.3 SQ. FT. 0.21 ACRES
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:  
a.) CITY OF PORTLAND TAX ASSESSORS MAPS NO. 153A, BLOCK A, AND NO. 439, BLOCK C, PORTLAND, MAINE, REVISED 3/1/84.
5. BENCHMARK: ELEVATIONS ARE BASED UPON AN ASSUMED VALUE OF 100.00 FT AT A MAG NAIL SET ON THE SOUTHEASTLY EDGE OF CHESLEY ROAD, MARKED "TBM: ELEV. 100.00"
6. SEE CONDITIONAL USE APPEAL GRANTED FROM THE CITY OF PORTLAND, MAINE, ZONING BOARD OF APPEALS, PUBLIC HEARING 12/1/2005.
7. NOTE: THIS IS NOT A STANDARD BOUNDARY SURVEY.

**ZONING: R-3 RESIDENTIAL**  
**SETBACKS:** FRONT - 25 FT; REAR - 25 FT;  
 SIDE - 1-1/2 STORY: 8 FT; 2 STORIES: 14 FT  
 ON SIDE STREET: 20 FT  
 MINIMUM LOT SIZE: 6,500 SQ FT  
 MINIMUM LOT FRONTAGE: 50 FT  
 MAXIMUM BUILDING HEIGHT: 35 FT

*50' temp silt fence to be replaced by permanent railroad tie landscaping*

**LEGEND**

- RF ⊙ Rebar Found
- IPF ⊙ Iron Pipe Found
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- Z — Indicates Ownership in Common
- ⊕ Utility Pole
- E — Overhead Utility
- — — Abutter Line
- — — Property Line
- — — Street Line
- ⊙ Sewer Manhole
- △ TBM: Temporary Benchmark
- 12345/99 Deed Book/Page of Local Registry
- TBR To Be Removed
- — — Edge of Traveled Way
- — — Setback Line
- — — Old Lot Line

**SURVEYORS STATEMENT:**

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION
- c) NO NEW CORNERS SET

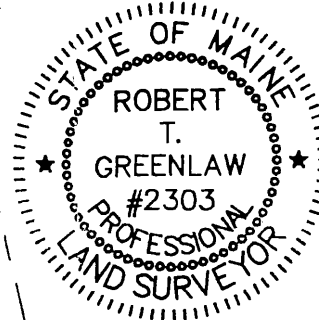
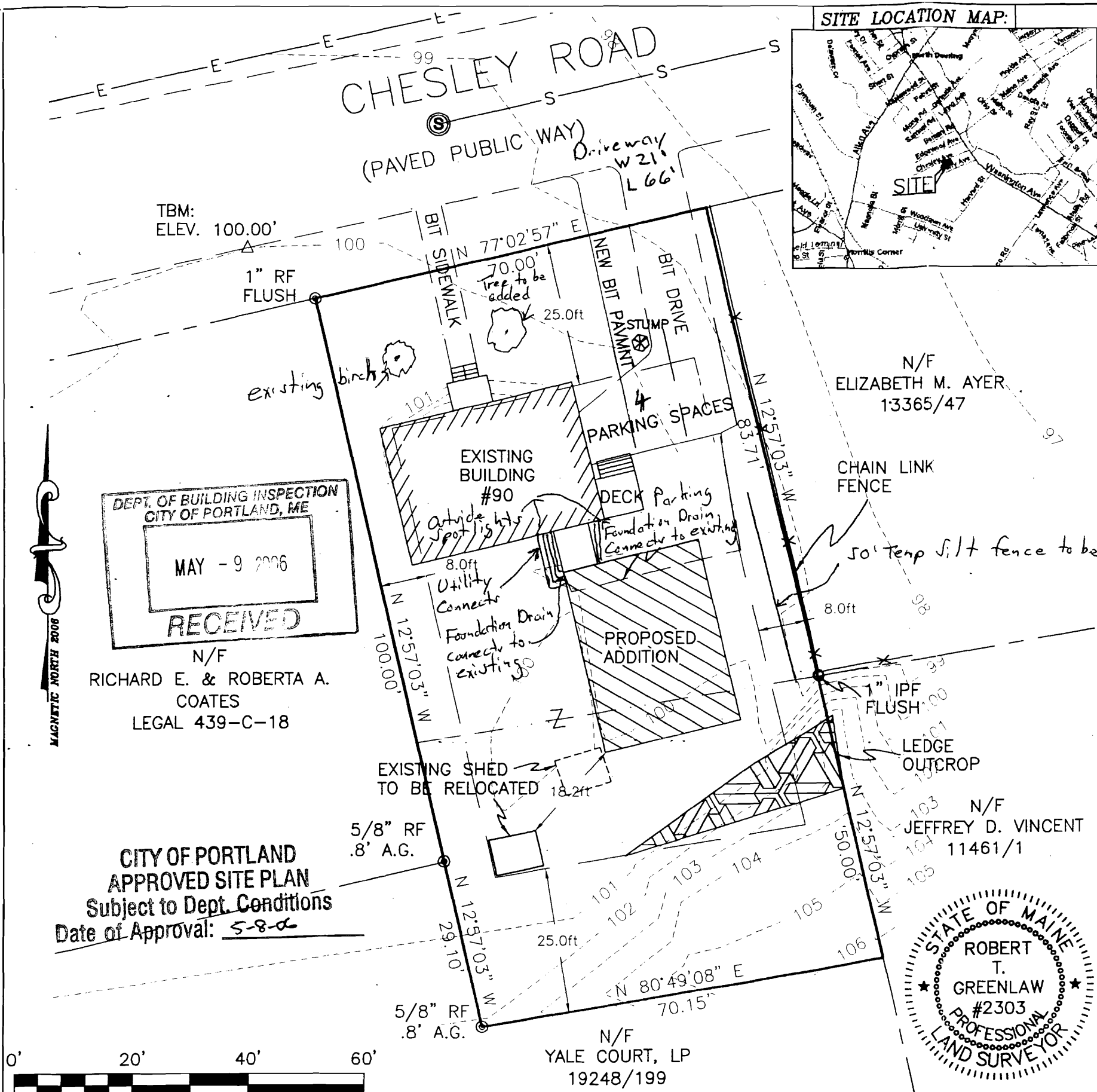
*Robert T. Greenlaw*  
 ROBERT T. GREENLAW P.L.S., #2303  
 V. PRESIDENT BACK BAY BOUNDARY, INC.

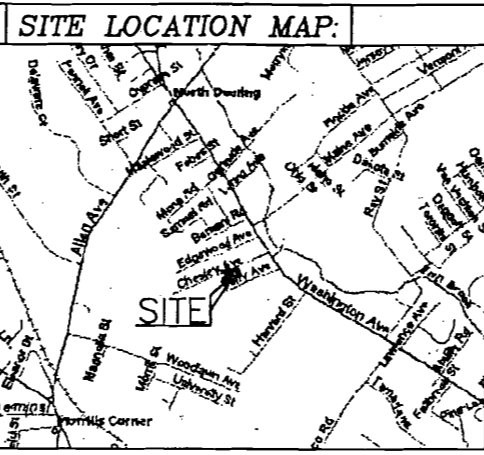
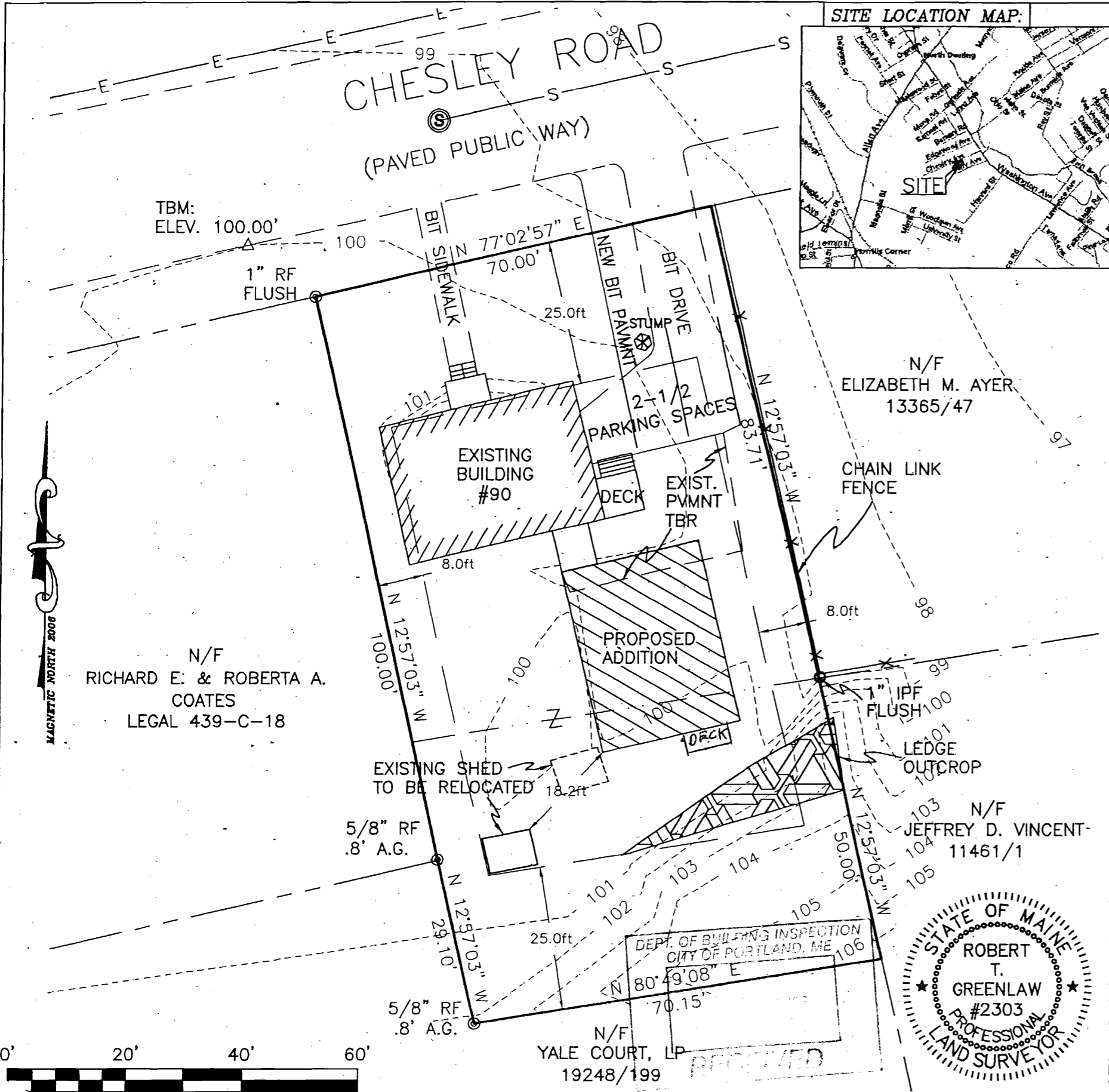
DATE: JANUARY 30, 2006

**PROPOSED APARTMENT ADDITION PLAN**  
 90 CHESLEY AVENUE PORTLAND, MAINE  
 FOR: **GERALDINE DONGO**

DRAWN BY: DMD  
 CHECKED BY: GAS / PJM  
 SCALE: 1"=20'  
 DATE OF SURVEY: 01/19/2006  
 JOB NUMBER: 2006004  
 SHEET: 1 OF 1

PREPARED BY:  
**BACK BAY BOUNDARY, INC.**  
 PROFESSIONAL LAND SURVEYING  
 643 FOREST AVENUE  
 PORTLAND, MAINE 04101  
 207-774-2855 FAX 207-347-4346  
 DRAWER: 2006 NO: 004





**GENERAL NOTES:**

1. RECORD OWNER OF PARCEL: GERALDINE S. DONGO BOOK XX PAGE XX AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY, UTILIZING THE FOLLOWING EQUIPMENT:  
LIETZ SOKKISHA SET 3 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR, HAND-HELD MAGNETIC COMPASS.
3. AREA OF SUBJECT PARCEL: 9,198.3 SQ. FT. 0.21 ACRES.
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:  
a.) CITY OF PORTLAND TAX ASSESSORS MAPS NO. 153A, BLOCK A, AND NO. 439, BLOCK C, PORTLAND, MAINE, REVISED 3/1/84.
5. BENCHMARK: ELEVATIONS ARE BASED UPON AN ASSUMED VALUE OF 100.00 FT AT A MAG NAIL SET ON THE SOUTHEASTLY EDGE OF CHESLEY ROAD, MARKED "TBM: ELEV. 100.00"
6. SEE CONDITIONAL USE APPEAL GRANTED FROM THE CITY OF PORTLAND, MAINE, ZONING BOARD OF APPEALS, PUBLIC HEARING 12/1/2005.
7. NOTE: THIS IS NOT A STANDARD BOUNDARY SURVEY.

**ZONING: R-3 RESIDENTIAL**  
 SETBACKS: FRONT - 25 FT; REAR - 25 FT;  
 SIDE - 1-1/2 STORY: 8 FT; 2 STORIES: 14 FT  
 ON SIDE STREET: 20 FT  
 MINIMUM LOT SIZE: 6,500 SQ. FT  
 MINIMUM LOT FRONTAGE: 50 FT  
 MAXIMUM BUILDING HEIGHT: 35 FT

**LEGEND**

- RF ⊙ Rebar Found
- IPF ⊙ Iron Pipe Found
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- Z Indicates Ownership in Common
- ⊙ Utility Pole
- E Overhead Utility
- Abutter Line
- Property Line
- Street Line
- ⊙ Sewer Manhole
- △ TBM: Temporary Benchmark
- 12345/99 Deed Book/Page of Local Registry
- TBR To Be Removed
- Edge of Traveled Way
- Setback Line
- Old Lot Line

**SURVEYORS STATEMENT:**

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

a) NO WRITTEN REPORT  
 b) NO NEW DESCRIPTION  
 c) NO NEW CORNERS ST

*Robert T. Greenlaw*

ROBERT T. GREENLAW P.L.S., #2303  
 V. PRESIDENT BACK BAY BOUNDARY, INC.

DATE: JANUARY 30, 2006

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