

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 070163

This is to certify that MI DEVELOPMENT COL /MI Development

has permission to Build a 24' x 36' Single Family Home with 8.6" x 8.6" garage

AT ¹⁶⁰160 YALE ST

438 A024001

PERMIT ISSUED

APR - 9 2007

provided that the person or persons who obtain and accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission proceeds before this building or part thereof is occupied or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas M. Mackley 3/12/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0163	Issue Date:	CBL: 438 A024001
-----------------------	-------------	---------------------

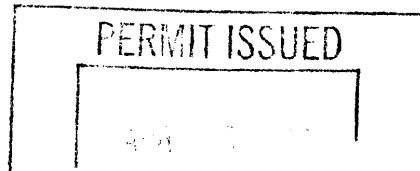
Location of Construction: 160 166 YALE ST	Owner Name: MJ DEVELOPMENT CO LLC	Owner Address: 50 THORNHURST RD	Phone:
Business Name:	Contractor Name: MJ Development	Contractor Address: 31 Old Campus Rd Portland	Phone: 2077761762
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R3

Past Use: Vacant Land	Proposed Use: Single Family Home - Build a 24' x 36' Single Family Home w/ 18'.6" x 24' garage	Permit Fee: \$1,195.00	Cost of Work: \$110,000.00	CEO District: 4
Proposed Project Description: Build a 24' x 36' Single Family Home w/ 18'.6" x 24' garage		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 33 IRC 2003	
		Signature:		Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Idobson	Date Applied For: 02/13/2007	Zoning Approval		
-----------------------------	---------------------------------	------------------------	--	--

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland N/A	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland N/A	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone panel 7-200X	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input checked="" type="checkbox"/> Site Plan 7-2007-0528	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied ASB
Date: 2/15/07 ASB	Date:	Date:



City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0163	Date Applied For: 02/13/2007	CBL: 438 A024001
-----------------------	---------------------------------	---------------------

Location of Construction: 166 YALE ST (160 actual #)	Owner Name: MJ DEVELOPMENT CO LLC	Owner Address: 50 THORNHURST RD	Phone:
Business Name:	Contractor Name: MJ Development	Contractor Address: 31 Old Campus Rd Portland	Phone (207) 776-1762
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home - Build a 24' x 36' Single Family Home w/ 18'.6" x 24' garage	Proposed Project Description: Build a 24' x 36' Single Family Home w/ 18'.6" x 24' garage
---	---

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 02/15/2007

Note:**Ok to Issue:**

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
- 3) This property shall be a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 03/12/2007

Note:**Ok to Issue:**

- 1) The design load spec sheets for any engineered beam(s) must be submitted to this office.
- 2) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 4) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Scott Hanson **Approval Date:** 02/16/2007

Note:**Ok to Issue:**

- 1) All site work (Grading, Landscaping, Loam and Seed) must be completed prior to issuance of a certificate of occupancy.
- 2) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 3) Erosion and Sedimentation control shall be established prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines.
- 4) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 5) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 6) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

166 YALE ST (160 actual #)	Owner Name: MJ DEVELOPMENT CO LLC	Owner Address: 50 THORNHURST RD	Phone:
Business Name:	Contractor Name: MJ Development	Contractor Address: 31 Old Campus Rd Portland	Phone (207) 776-1762
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

7) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

From: Scott Hanson
To: Ann Machado
Date: 2/16/2007 4:54:07 PM
Subject: 148 and 166 Yale St.

Hi Ann,

I've done the approvals for 148 Yale St. (2007-0027) and 166 Yale St. ((2007-0028).

Scott

Scott T. Hanson
Preservation Compliance Coordinator
City of Portland
389 Congress Street
Portland, ME 04101

Phone (207) 756-8023
Fax (207) 756-8258

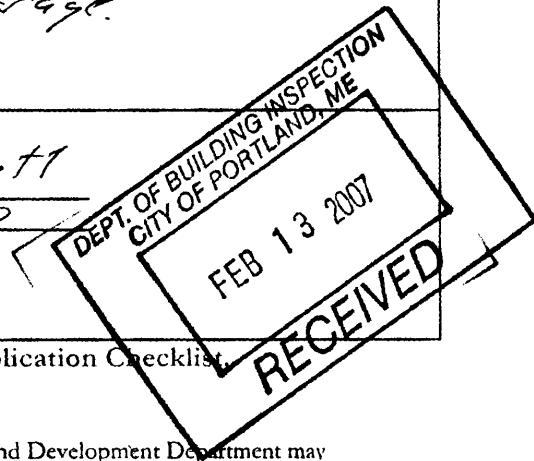
201 + 14 Yale St.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>160 Yale St.</u>		
Total Square Footage of Proposed Structure <u>Approx 2160</u>	Square Footage of Lot <u>Approx. 6950 SF</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>438</u> Block# <u>A024</u> Lot# <u>14</u>	Owner: <u>M.J. Development</u>	Telephone: <u>797-4380</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>M.J. Development</u> <u>31 Old Campus Dr</u> <u>Portland Me. 04103</u> <u>797-438</u>	Cost Of Work: \$ _____ Fee: \$ _____ C of O Fee: \$ <u>total \$1495</u>
Current Specific use: <u>Raw land</u> If vacant, what was the previous use? _____ Proposed Specific use: _____		
Project description: <u>1 - 24' x 36 Colonial Single Family home</u> <u>with a 18'6" x 24' Attached Garage.</u>		
Contractor's name, address & telephone: <u>Jim Wescott</u>		
Who should we contact when the permit is ready: _____ Mailing address: _____ Phone: <u>329-5700</u>		



Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to the work.

Signature of applicant: [Signature]

Applicant: Jim Wescott / MJ Development

Date: 2/15/07

Address: 160 Yale St. (Lot 14)

C-B-L: 438-A-024

permit # 07-0163

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R3

Interior or corner lot -

Proposed Use/Work - build new 2 story (24x36) single family home w/ attached 18.5' x 24' garage.

Sevage Disposal - City

Lot Street Frontage - 50' min. - 65' given

Front Yard - 25' req. - 25' scaled to porch

Rear Yard - 25' req. - 31' to steps scaled
41' to house scaled.

Side Yard - 1 1/2 story 8' req. 8' scaled to garage on left
2 story 14' req. 14' scaled on right to house.

Projections - 5x22 porch, 1x4 step, 8x12 deck, steps 3x4

Width of Lot - 65' min - 65' scaled

Height - 35' max - 24.75' scaled

Lot Area - 6500 sq ft min. - 6991 sq ft

Lot Coverage Impervious Surface - 35% = 2446.85 sq ft

Area per Family - 6500 sq ft

Off-street Parking - 2 spaces required - 2 car garage

Loading Bays - N/A

Site Plan - Site plan - minor/minor 2007-0028

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 7 - zone X

* no daylight basement

$24 \times 36 = 864$
 $18.5 \times 24 = 444$
 $5 \times 22 = 110$
 $1 \times 4 = 4$
 $8 \times 12 = 96$
 $3 \times 4 = 12$

1532

OK

160 Yale St LOT #14

438-A-24

#07-0163

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST		
Soil type/Presumptive Load Value (Table R401.4.1)				
Component	Submitted Plan	Findings	Revisions	Date
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1))	8x16 footing 8" wall solid 24" pad for lally	OK		
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	membrane water proofing fabric; stone 4" pipe	OK		
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	NA	OK		
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2 x 12 6" OC	OK		
Lally Column Type (Section R407)	concrete lally			
Girder & Header Spans (Table R 502.5(2))	5 lallys - 2 pt loaded from above 9" max	OK		
Built-Up Wood Center Girder Dimension/Type	LVL's (specs needed)	OK		* condition of permit
Sill/Band Joist Type & Dimensions	2x8 pt 2x6 garage	OK		
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 16 OC	OK		
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 16 OC	OK		
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	NA	OK		

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	pitch 8:12 24 trusses 24" oc	OK
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	3/4 T&G, 1/2 cdk 5/8 cdk	OK
Fastener Schedule (Table R602.3(1) & (2))	IRC 2003	OK
Private Garage (Section R309) Living Space? (Above or beside) Fire separation (Section R309.2) Opening Protection (Section R309.1)	1 hr walls/ceiling Rated Door	OK
Emergency Escape and Rescue Openings (Section R310)	30 46 Egress	OK
Roof Covering (Chapter 9)	Shingles #15 felt	OK
Safety Glazing (Section R308)	NA	—
Attic Access (Section R807)	24x30	OK
Chimney Clearances/Fire Blocking (Chap. 10)	NA	OK
Header Schedule (Section 502.5(1) & (2))	over 48 3(10) under 48 2(2x10)	OK
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	U Factor .31 - .35 6" walls 15" roof .9 floor	OK

Type of Heating System	Gas F/HW	Dues den's OK
Means of Egress (Sec R311 & R312) Basement	yes - no bulkhead	no habitation condition OK
Number of Stairways	3	
Interior	3	
Exterior	0 7	OK
Treads and Risers (Section R311.5.3)	7 3/4 max 10 min w/ rising	
Width (Section R311.5.1)	36 min	
Headroom (Section R311.5.2)	6' 10 min	
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	36"	
Smoke Detectors (Section R313) Location and type/Interconnected	each bedroom/common interconnected	OK
Draftstopping (Section R502.12) and Fireblocking (Section (R602.8)	Caulking	OK
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	NA	
Deck Construction (Section R502.2.1) front porch	2 2x12 Beam Rim Lashed 2x4 post per cost plan	OK

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2007-0028

Application I. D. Number

2/13/2007

Application Date

Mj Development Co Llc

Applicant

50 Thornhurst Rd , Falmouth, ME 04105

Applicant's Mailing Address

Jim Wescott

Consultant/Agent

Agent Ph: (207)776-1762

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Marge Schmuckal

166 - 166 Yale St , Portland, Maine

Address of Proposed Site

438 A024001

Assessor's Reference: Chart-Block-Lot

Single Family Home Lot#14

Project Name/Description

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify) _____

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- Site Plan (major/minor) Zoning Conditional - PB Subdivision # of lots _____
 Amendment to Plan - Board Review Zoning Conditional - ZBA Shoreland Historic Preservation DEP Local Certification
 Amendment to Plan - Staff Review Zoning Variance Flood Hazard Site Location
 After the Fact - Major Stormwater Traffic Movement Other _____
 After the Fact - Minor PAD Review 14-403 Streets Review

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 2/13/2007

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance

signature

date

Performance Guarantee

Required*

Not Required

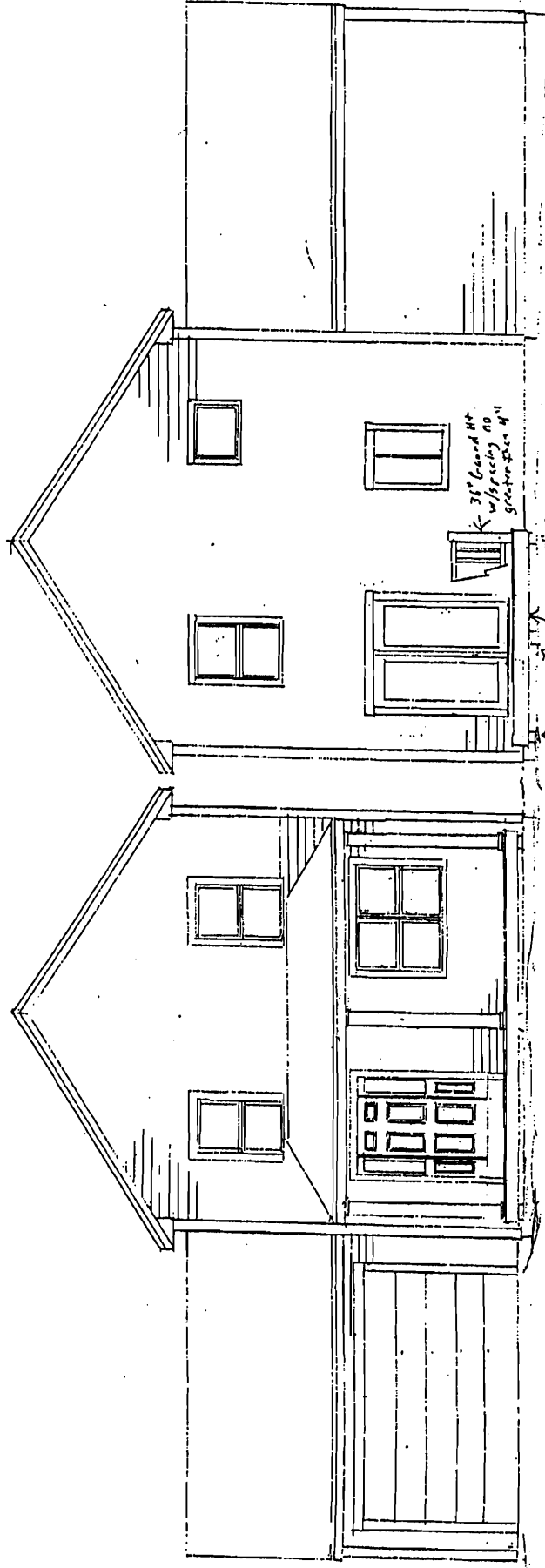
* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

FEB 13 2007

RECEIVED

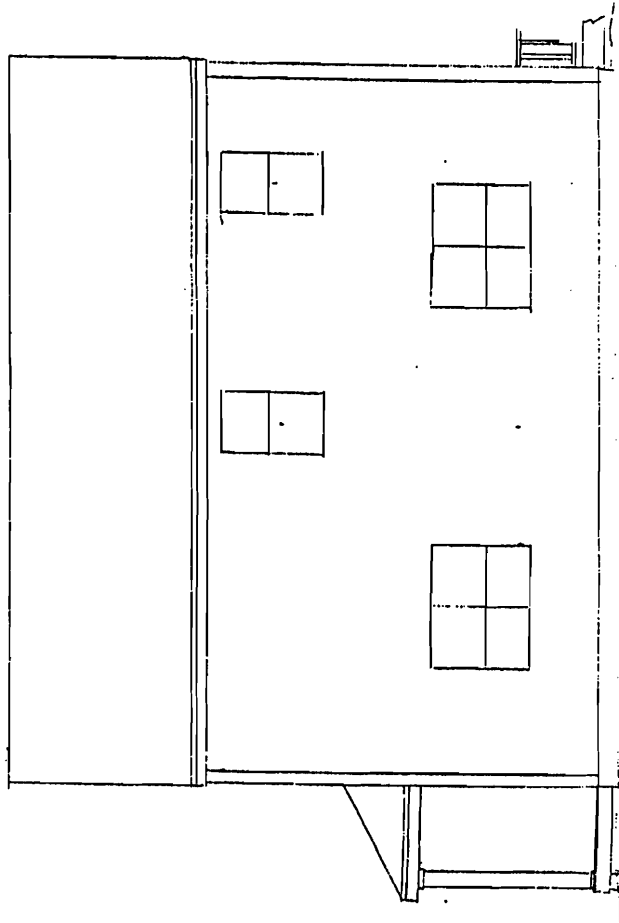


Front Elevation $\frac{1}{4}'' = 1'-0''$

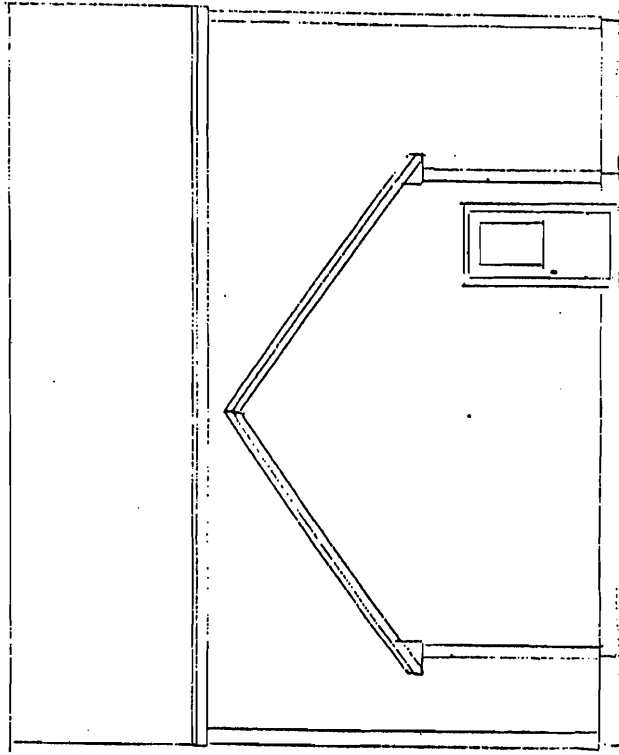
Rear Elevation $\frac{1}{4}'' = 1'-0''$

LOT 14, 160 YAL ST.

SCALE:	DATE:	DESIGNED BY:	DATE:	APPROVED BY:	DATE:	DRAWING NUMBER:



Right Elevation $\frac{1}{4}'' = 1'-0''$



Left Elevation $\frac{1}{4}'' = 1'-0''$

SCALE:

DATE:

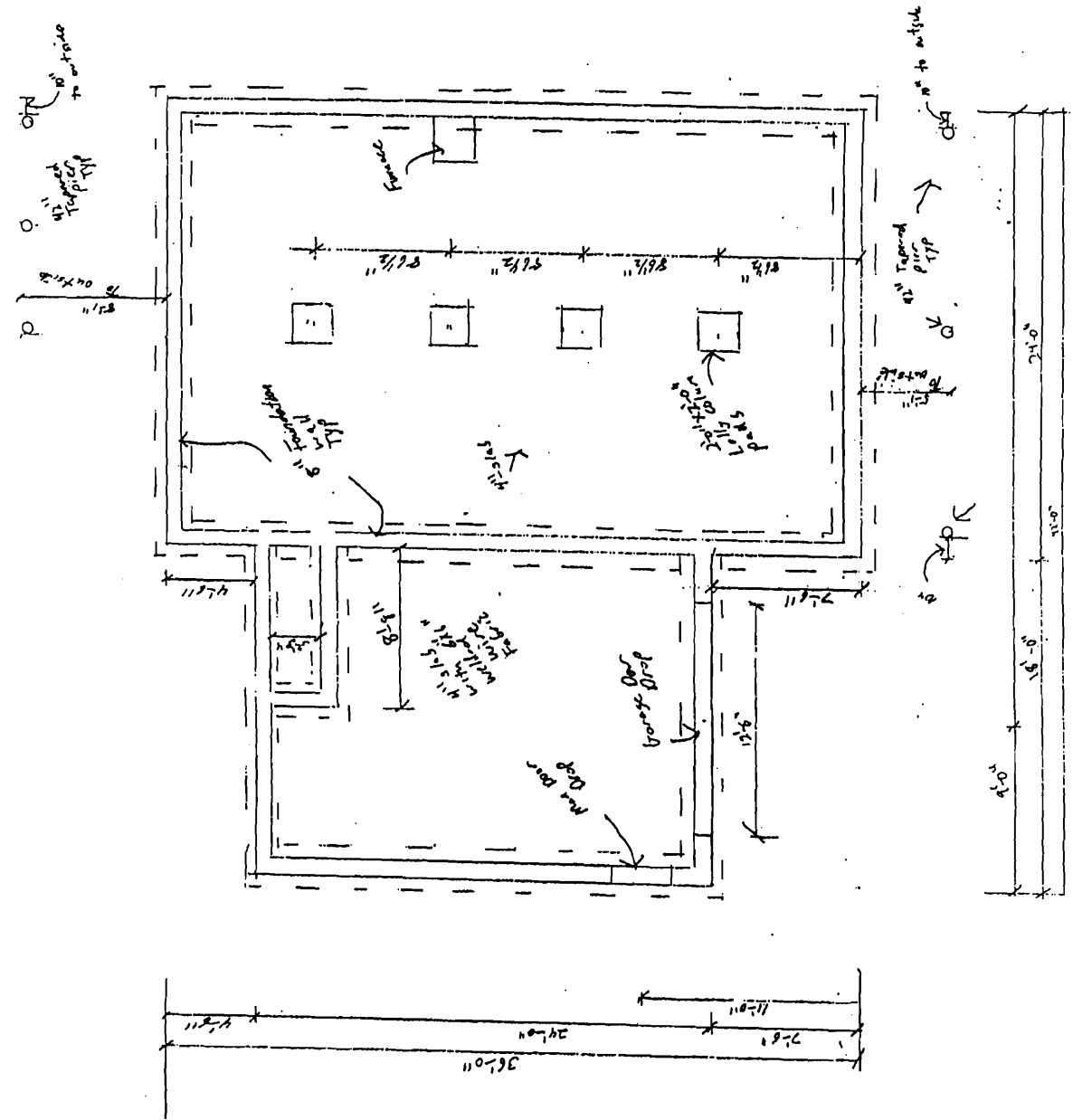
APPROVED BY:

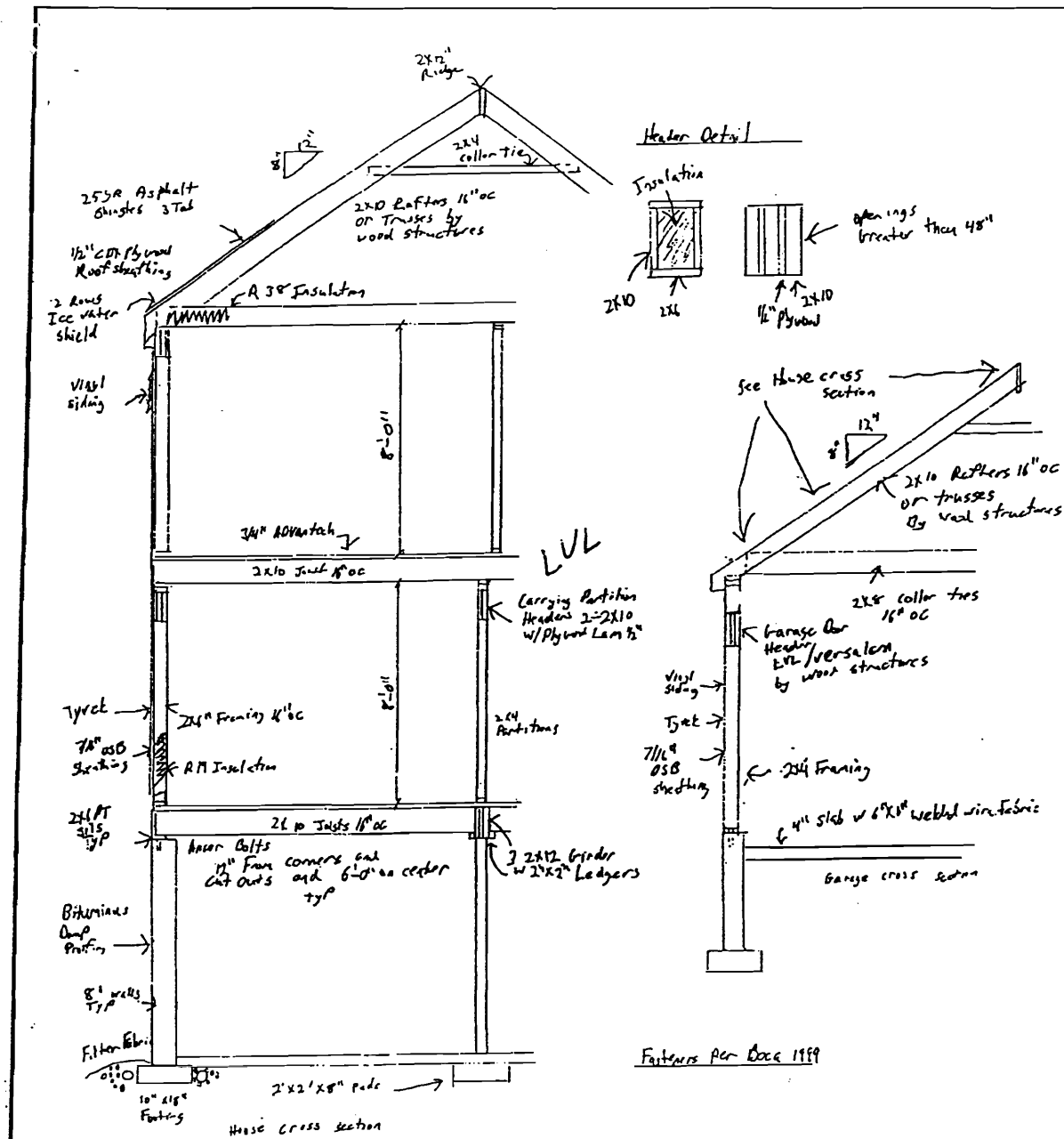
DRAWN BY:

RECHECKED:

DRAWING NUMBER

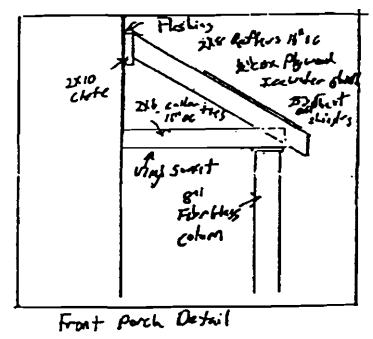
Foundation Plan	
DATE: 4-1-61	PROJECT NO.:
DESIGNED BY:	CHECKED BY:
APPROVED BY:	





stair rails will be 34" to 38" above leading edge of tread/nosing
 Guards will be 36" High with no more than 4" spacing
 Minimum Head Room From leading edge of tread to ceiling is 6'8"
 Maximum Riser Ht is 7.75"
 Minimum Tread Depth is 10"

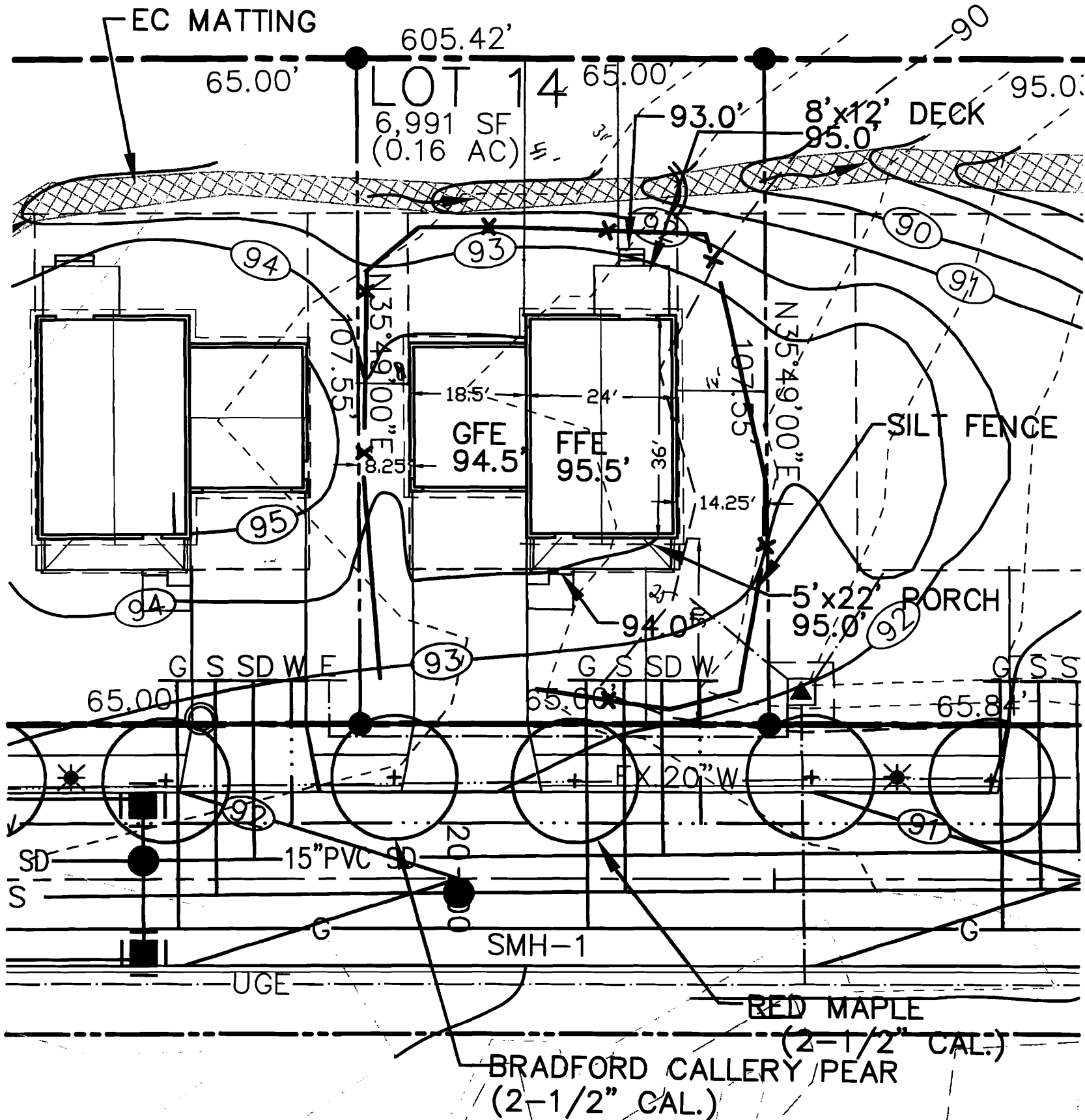
Stairs / Guards



Fasteners per Code 1999

Building Sections		
SCALE:	APPROVED BY:	DRAWN BY:
DATE:		REVISED
		DRAWING NUMBER

▷ REFERENCE:



NOTES:

1. GRADING SHOWN ON THE LOT #14 ONLY. GRADING IS CONCEPTUAL BASED PLAN & PROFILE, OF P STREET, AS APPROVED PORTLAND.
2. DRIVEWAYS, UTILITY CON LIGHT POLES, AND STRI SHOWN ARE APPROXIMA ON SHEET C-3 OF APF NO AS-BUILT INFORMA IMPROVEMENTS ON YAL ADJACENT LOTS IS AVA
3. BUILDING FOOTPRINT AN SHOWN IS BASED ON FI PROVIDED BY OWNER.
4. SITE ADAPTATION FOR L ON THIS PLAN BY LANE BASED ON INFORMATION #1 TO #3.
5. OWNER SHALL BE RESP ALL LAYOUT AND FOR TO ZONING AND ALL AP AND PERMITS.
6. EROSION CONTROLS SH BY CONTRACTOR PRIOR AS REQUIRED. EROSION ARE CONCEPTUAL AND BASED ON ACTUAL FIEL
7. SETBACKS SHOWN ARE TO OUTSIDE OF FOUND
8. PROPOSED GARAGE AND SHOWN ARE MINIMUM E

DEPT. OF BUILDING INSPE
CITY OF PORTLAND, I

FEB 13 2007

RECEIVED