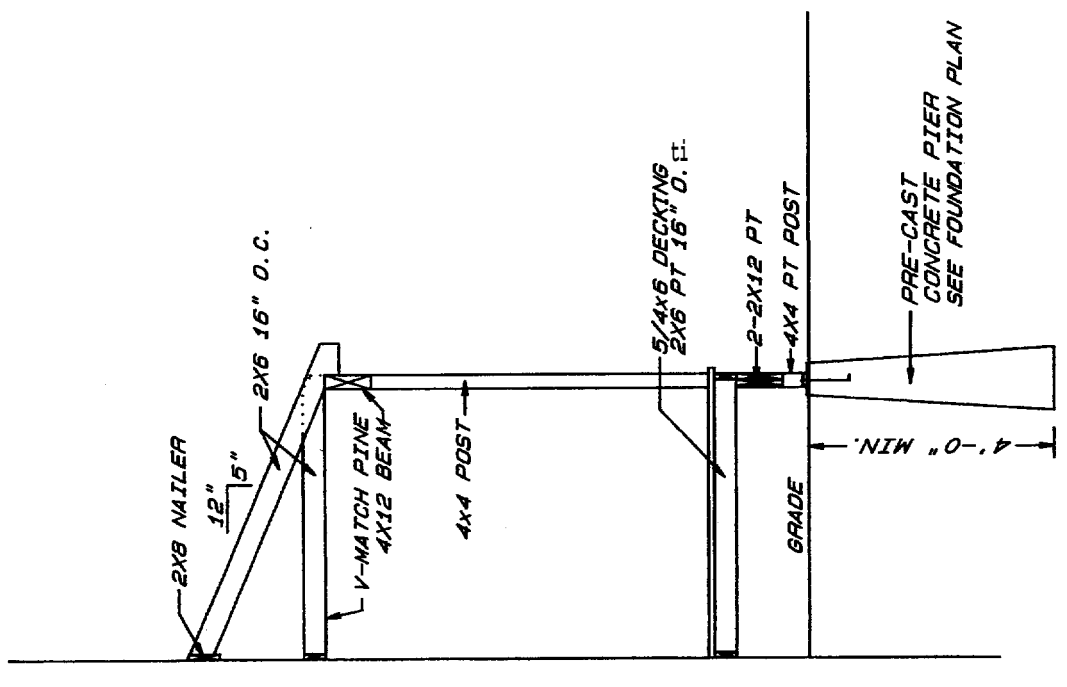
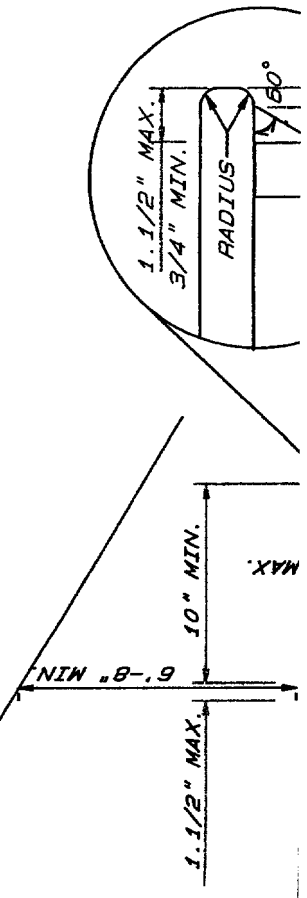
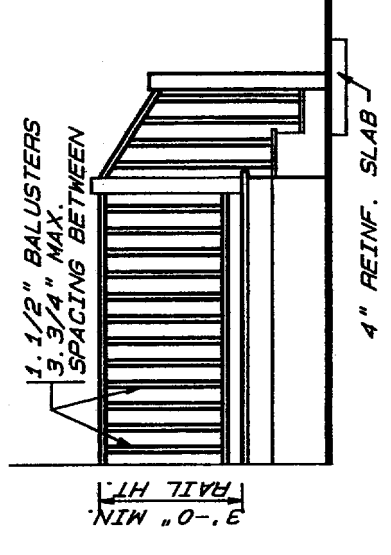


PORCH DECK DETAIL

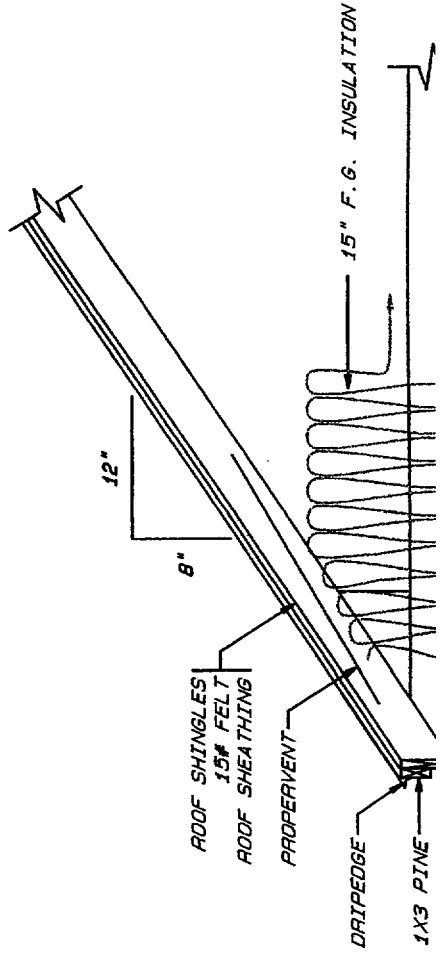
3/4" = 1'-0"



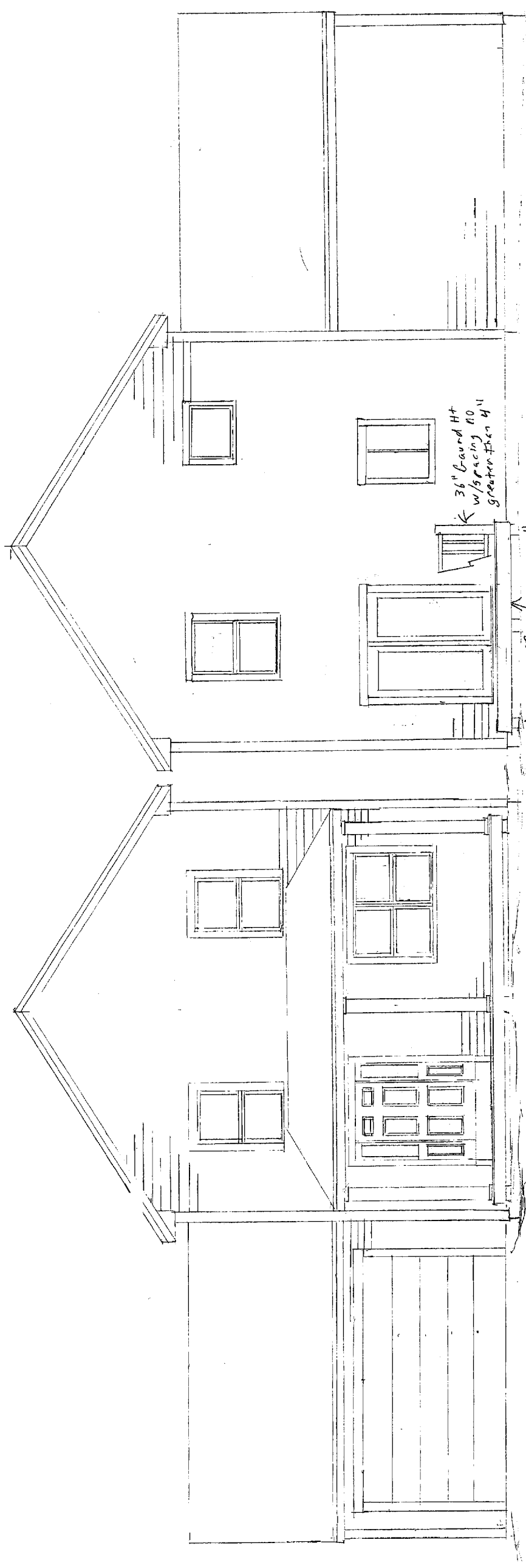
SECTION @ PORCH



STAIR RAIL DETAIL



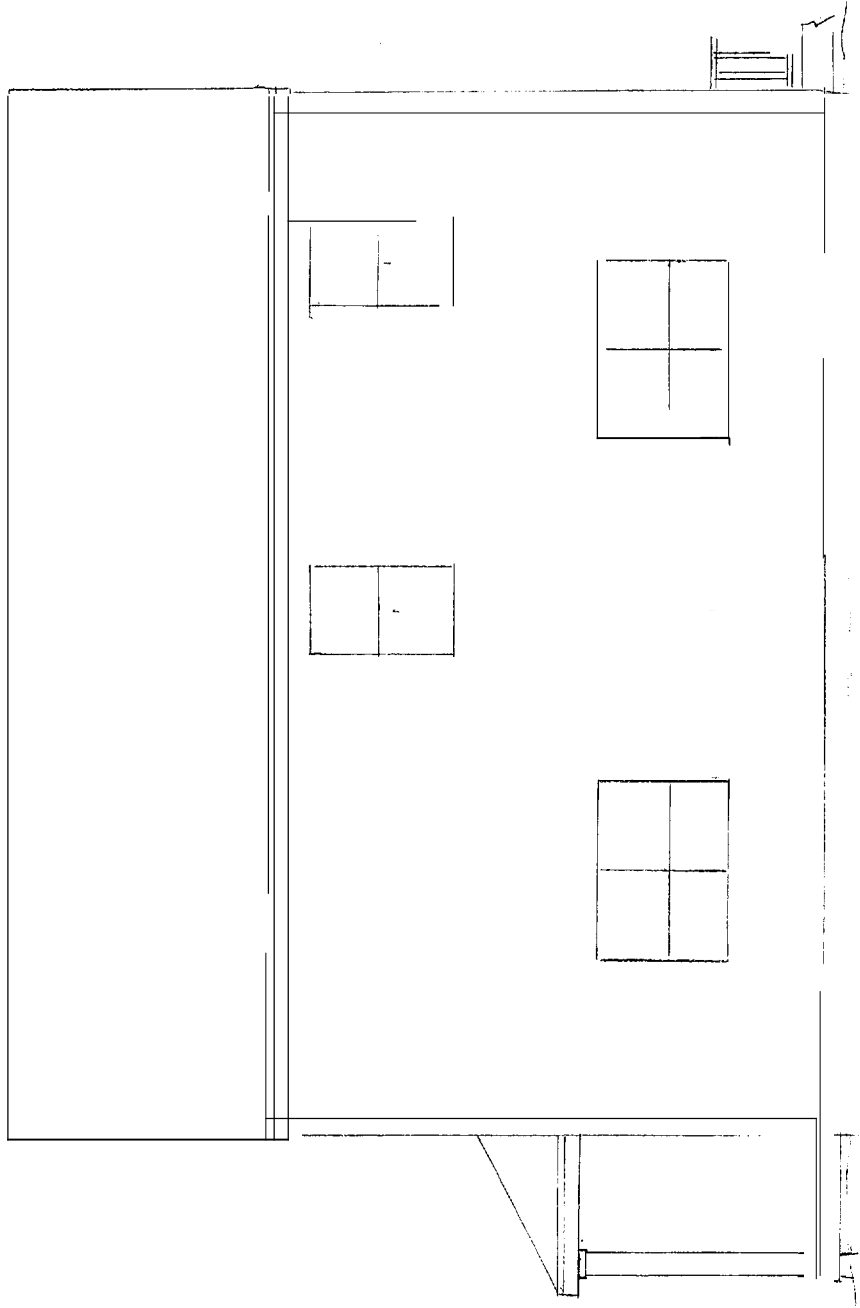
2x



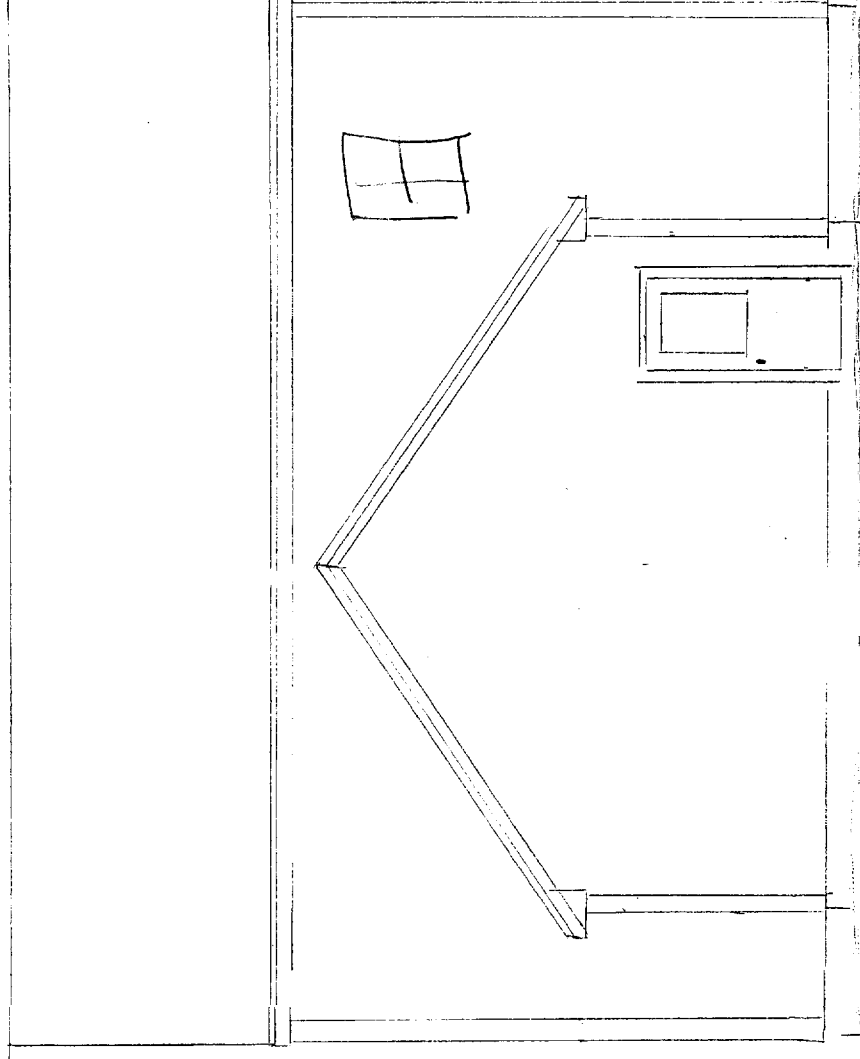
Front Elevation 1/4" = 1'-0"

Rear Elevation 1/4" = 1'-0"

Yale St 107#2	
SCALE:	APPROVED BY:
DATE:	DRAWN BY:
	REVISED:
	DRAWING NUMBER:



Right Elevation $\frac{1}{4}'' = 1'-0''$

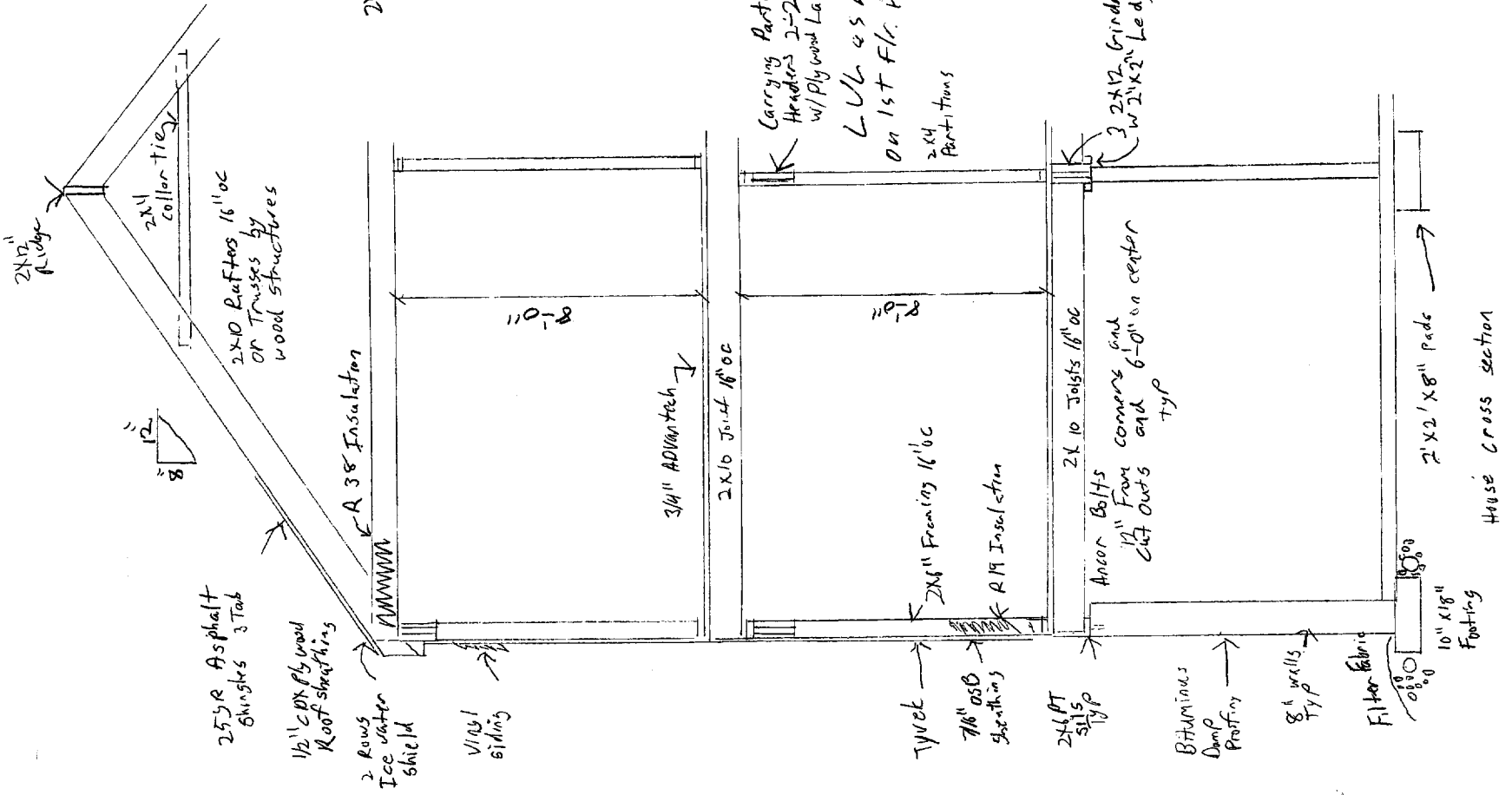


Left Elevation $\frac{1}{4}'' = 1'-0''$

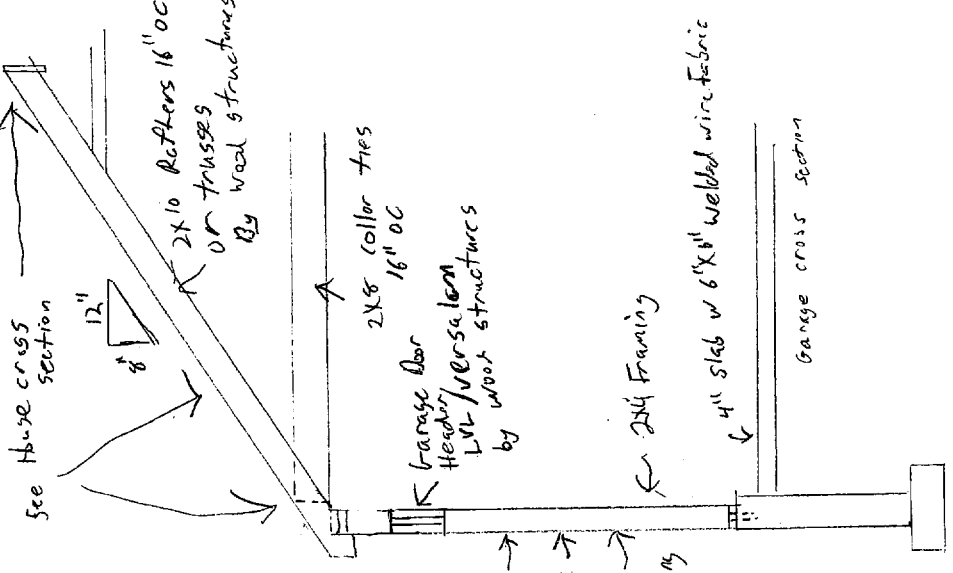
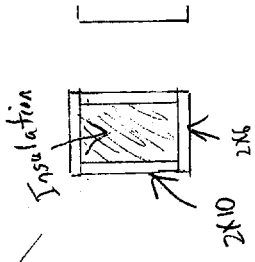


Gale St. lot #2

SCALE:	APPROVED BY:	DRAWN BY:
DATE:		REVISED:
		DRAWING NUMBER



Header Detail



Stair rails will be 2 1/2" x 3 1/2" above leading edge of Tread/Noosing

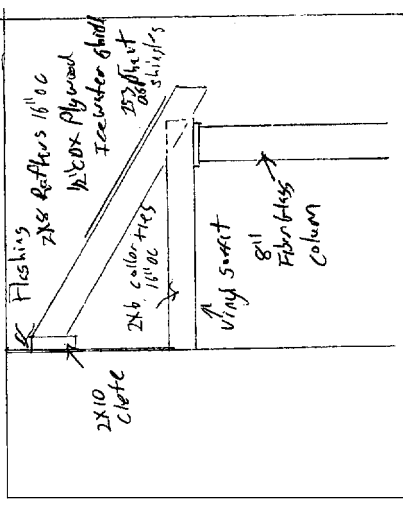
Stair rails will be 36" High with no more than 4" spacing

Minimum Head Room From leading edge of tread to ceiling is 6'-8"

Maximum Riser Ht is 7.75"

Minimum Tread Depth is 10"

Stairs / boards



Front Porch Detail

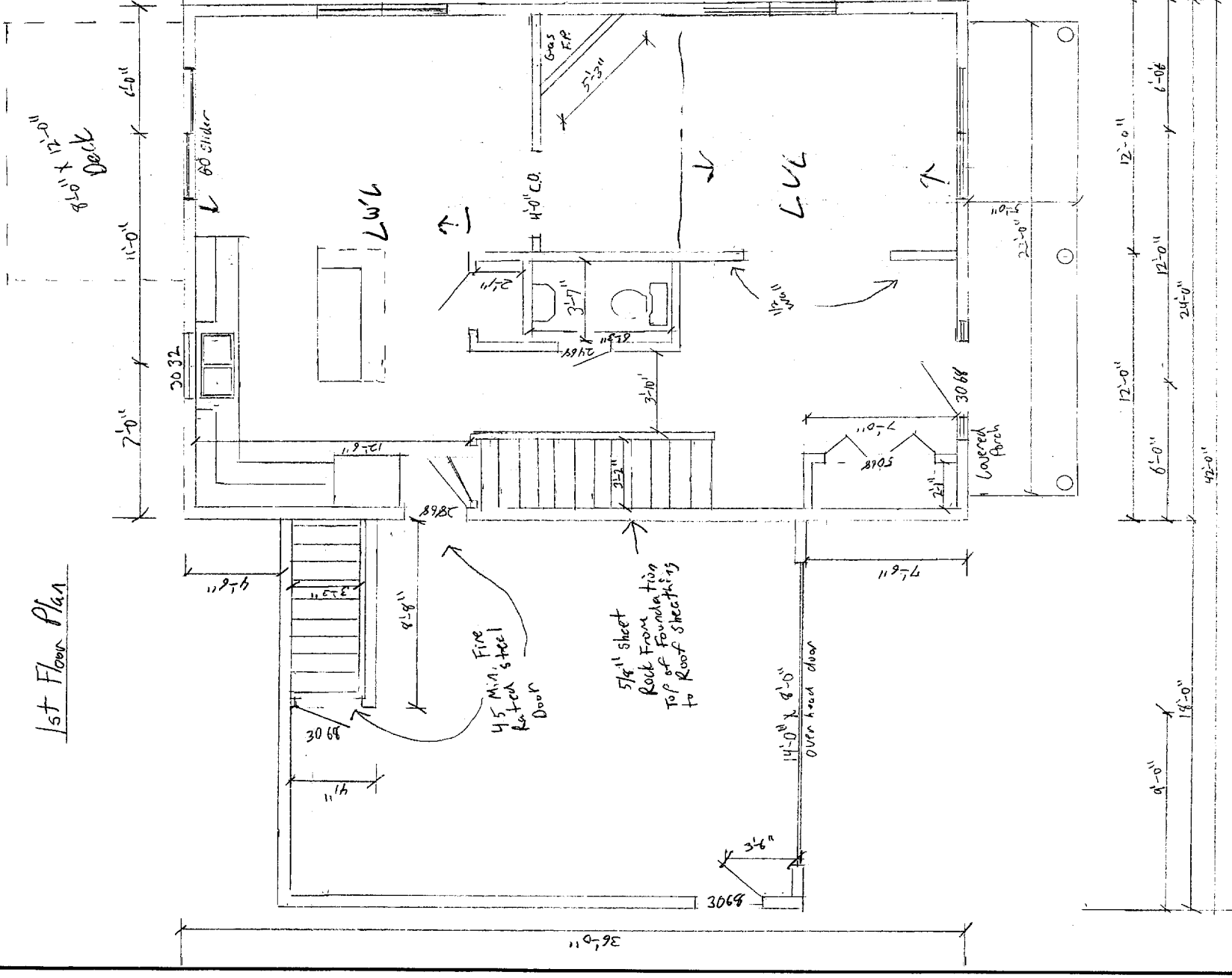
Fasteners per Boca 1999

Gale St. lot #2

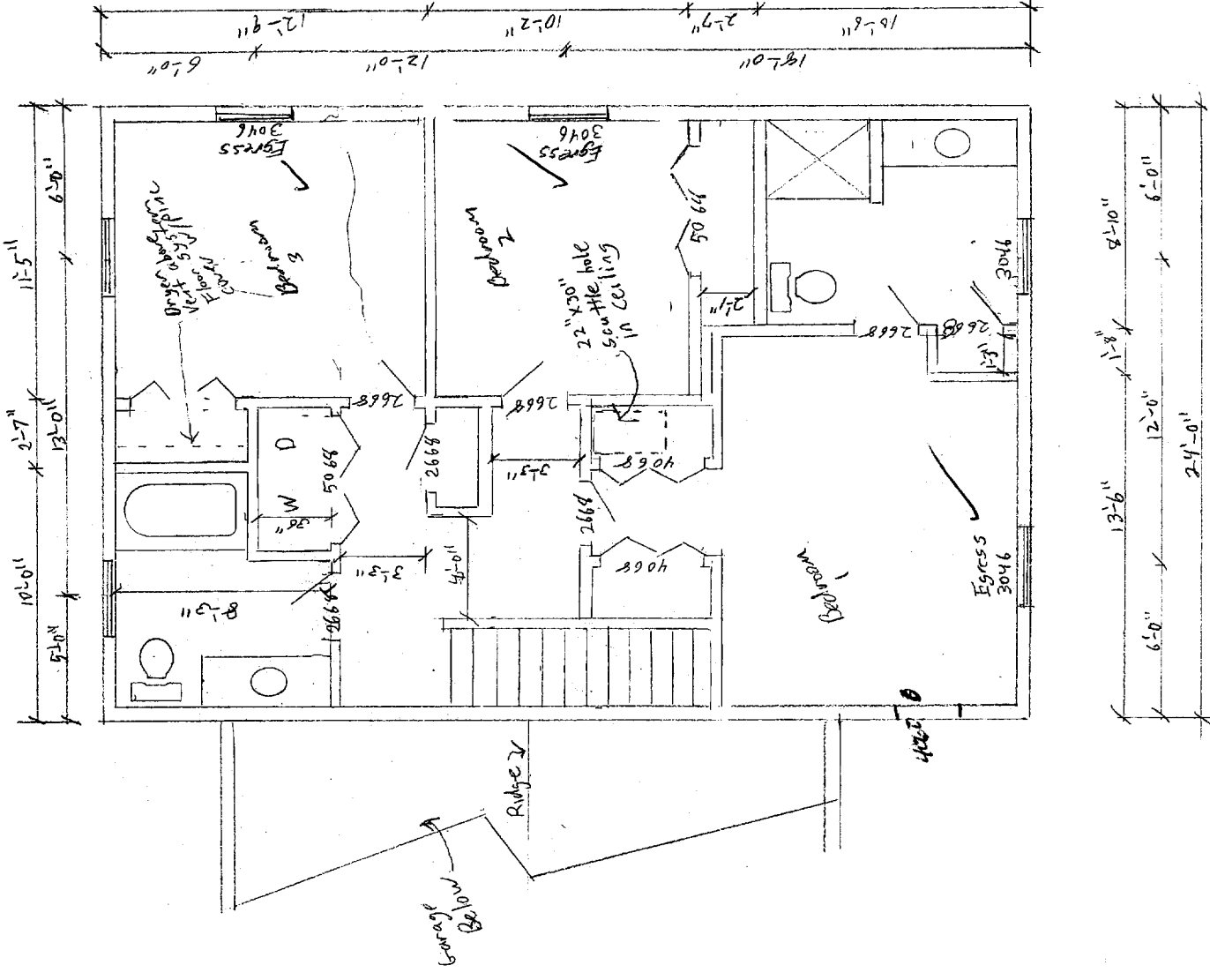
Building Sections

SCALE:	APPROVED BY:
DATE:	DRAWN BY:
	REVISED:
	DRAWING NUMBER:

1st Floor Plan

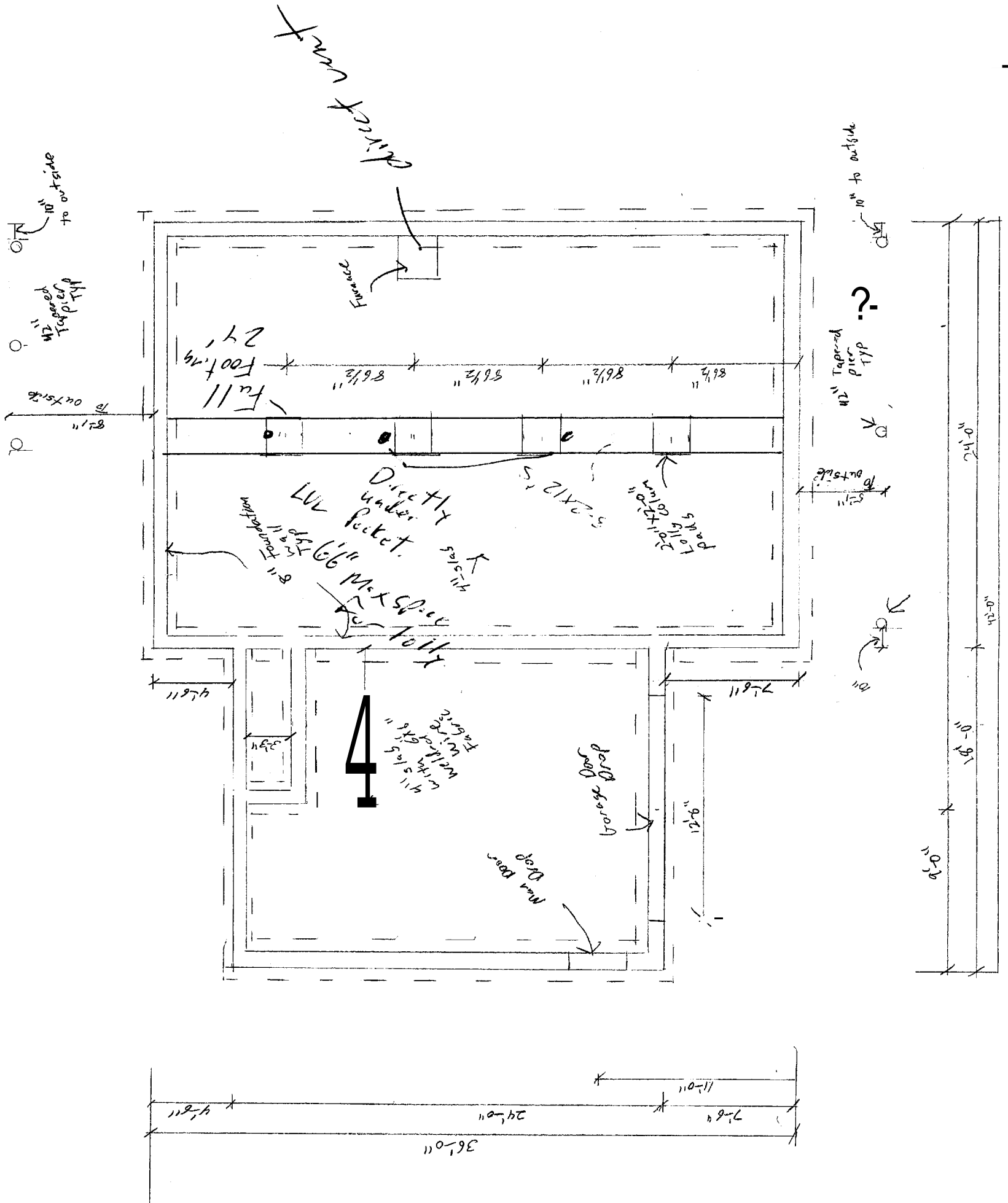


2ND Floor Plan



<p>SCALE: 1/4" = 1'-0"</p> <p>DATE:</p>		<p>APPROVED BY:</p>	<p>DRAWN BY:</p>
		<p>REVISIONS:</p>	<p>REVISIONS:</p>
<p>18 x 24 PRINTED ON 100% CLEARPRINT</p>			<p>DRAWING NUMBER</p>

Yale St LOT #2



16 St. 107#2

Foundation Plan

SCALE: 1/4" = 1'-0"	APPROVED BY:
DATE:	DRAWN BY:
	REVISED:

DRAWING NUMBER

TITLE: YALE STREET, LOT 2

SCALE: 1" = 20' DATE: 2/8/2006

PREPARED FOR: WESCOTT AND PAYSON II
31 OLD CAMPUS DRIVE
PORTLAND, MAINE



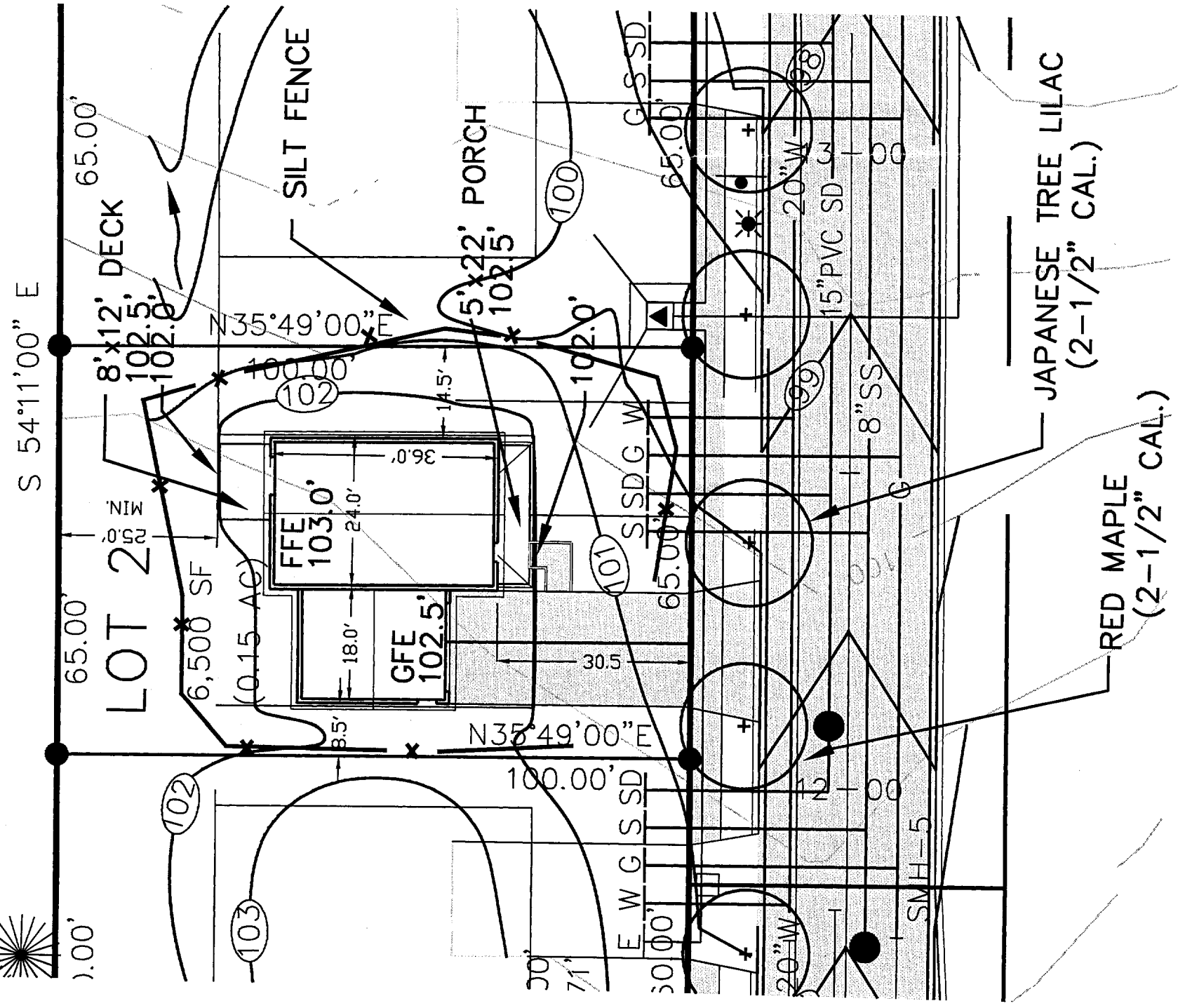
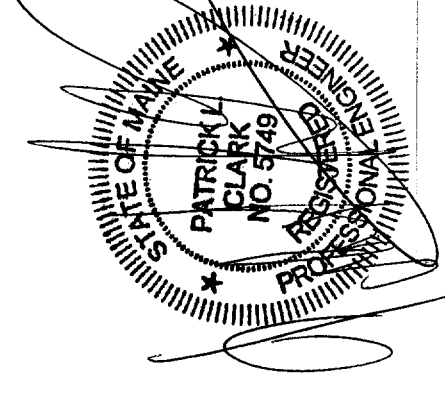
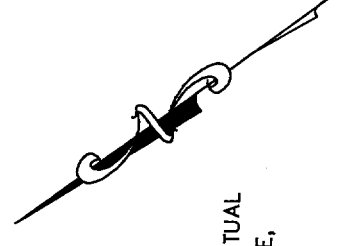
TUC
engineers
planners
landscape
architects

966 RIVERSIDE STREET
PORTLAND, MAINE 04103

Land Use Consultants, Inc.
Voice (207) 878 - 3313
Fax (207) 878 - 0201
landuse@tuc.com

NOTES:

1. GRADING ON ADJACENT LOTS IS CONCEPTUAL BASED ON SHEET C-3, PLAN & PROFILE, OF PLAN OF LOTS-YALE STREET, AS APPROVED BY CITY OF PORTLAND.
2. DRIVEWAYS, UTILITY CONNECTIONS, LIGHT POLES, AND STREET TREES SHOWN ARE APPROXIMATELY AS SHOWN ON SHEET C-3 OF APPROVED PLANS. NO AS-BUILT INFORMATION FOR THESE IMPROVEMENTS ON YALE STREET OR ON ADJACENT LOTS IS AVAILABLE.
3. BUILDING FOOTPRINT AND LAYOUT SHOWN IS BASED ON FLOOR PLAN PROVIDED BY OWNER.
4. SITE ADAPTATION FOR LOT 2, AS SHOWN ON THIS PLAN BY LAND USE CONSULTANTS IS BASED ON INFORMATION DESCRIBED IN NOTES #1 TO #3.
5. OWNER SHALL BE RESPONSIBLE FOR ALL LAYOUT AND FOR CONFORMANCE TO ZONING AND ALL APPROVED PLANS AND PERMITS.
6. EROSION CONTROLS SHALL BE INSTALLED BY CONTRACTOR PRIOR TO CONSTRUCTION, AS REQUIRED. EROSION CONTROLS SHOWN ARE CONCEPTUAL AND SHALL BE PLACED BASED ON ACTUAL FIELD CONDITIONS.



RED MAPLE (2-1/2" CAL.)

JAPANESE TREE LILAC (2-1/2" CAL.)