

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BUILDING DEPARTMENT
PERMIT

Permit Number: 070811

This is to certify that MJ Development Co., LLC/M Development Co., LLC
 has permission to Build 24' x 36' Colonial Single Family Home w/ 18' x 24' attached garage
 AT 92 Yale St City of Portland 438 A01001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work in progress must be reported before this building or part thereof is occupied or closed-in. 24 HOUR NOTICE IS REQUIRED.

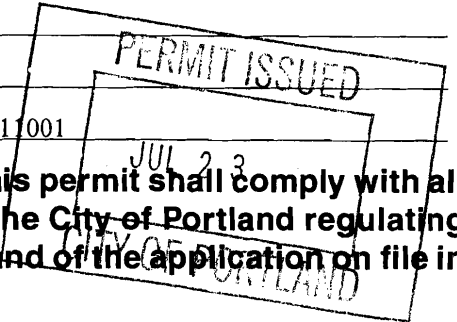
A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
 Health Dept. _____
 Appeal Board _____
 Other _____
 Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



[Handwritten Signature]
 7/23/07

City of Portland, Maine - Building or Use Permit Application

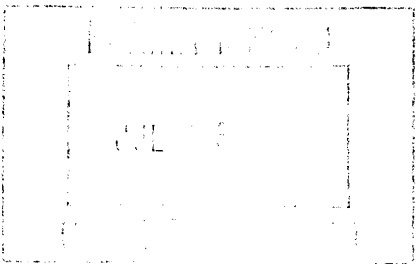
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0811	Issue Date:	CBL: 438 A011001
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Location of Construction: 92 Yale St	Owner Name: MJ Development Co., LLC	Owner Address: 50 Thornhurst Road	Phone:
Business Name:	Contractor Name: MJ Development Co LLC	Contractor Address: 50 Thornhurst Road Falmouth	Phone: 2077761762
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R3

Past Use: Vacant Land	Proposed Use: Single Family Home - Build 24' x 36' Colonial, Single Family Home w/ 18' x 24' attached garage	Permit Fee: \$1,195.00	Cost of Work: \$110,000.00	CEO District: 4
Proposed Project Description: Build 24' x 36' Colonial Single Family Home w/ 18' x 24' attached garage		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>1/1/A</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>5B</i> <i>IRC 2003</i>	
		Signature:	Signature: <i>[Signature]</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Idobson	Date Applied For: 07/03/2007	Zoning Approval		
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <i>N/A</i> <input type="checkbox"/> Flood Zone <i>panel 7 - 200X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2007-0115</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>Ok with conditions</i> Date: <i>7/6/07</i> <i>AM</i>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ARB</i> Date: _____
			

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0811	Date Applied For: 07/03/2007	CBL: 438 A011001
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Location of Construction: 92 Yale St	Owner Name: MJ Development Co., LLC	Owner Address: 50 Thornhurst Road	Phone:
Business Name:	Contractor Name: MJ Development Co LLC	Contractor Address: 50 Thornhurst Road Falmouth	Phone (207) 776-1762
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home - Build 24' x 36' Colonial, Single Family Home w/ 18' x 24' attached garage	Proposed Project Description: Build 24' x 36' Colonial Single Family Home w/ 18' x 24' attached garage
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 07/06/2007**Note:** **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed structure, it may be required to be located by a surveyor.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 07/23/2007**Note:** **Ok to Issue:**

- 1) The design load spec sheets for any engineered beam(s) must be submitted to this office.
- 2) The attic scuttle opening must be 22" x 30".
- 3) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level
- 4) A copy of the enclosed chimney or fireplace disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 5) The basement is NOT approved as habitable space.
- 6) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 7) Separate permits are required for any electrical, plumbing, or HVAC systems.
Separate plans may need to be submitted for approval as a part of this process.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Philip DiPierro **Approval Date:** 07/18/2007**Note:** **Ok to Issue:**

- 1) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 2) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 3) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 4) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 5) If a street opening permit(s) is required for your site, please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)

Location of Construction: 92 Yale St	Owner Name: MJ Development Co., LLC	Owner Address: 50 Thornhurst Road	Phone:
Business Name:	Contractor Name: MJ Development Co LLC	Contractor Address: 50 Thornhurst Road Falmouth	Phone (207) 776-1762
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

- 6) Erosion and Sedimentation control shall be established prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines.
- 7) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

Comments:

7/6/2007-amachado: Left message for Jim Wescott. Need to know the size of the garage.

7/6/2007-amachado: Spoke to Jim Wescott. Garage is 18' wide.

92 ~~Yale St.~~

#07-0811

Jim C 776-1762

92 ~~Yale~~
438 A-~~11~~
~~#07-0811~~

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)		
Component	Submitted Plan	Findings/Revisions/Dates
STRUCTURAL		
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	10" x 16" Ag - OK	
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Drainage not labeled + size	- OK
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A	
Anchor Bolts/Straps, spacing (Section R403.1.6)	size of bolt	- OK
Lally Column Type (Section R407)		
Girder & Header Spans (Table R 502.5(2))		
Built-Up Wood Center Girder Dimension/Type	Need to show where point loads from LVL'S are carried down	
Sill/Band Joist Type & Dimensions	OK	
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 - 16" OC	
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 - 16" OC	OK
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and	2x8 - 16" OC	

R802.4(2))		
Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	2x10-16'0c	
① Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	1/2" Roof / 3/16" walls / Floors	? - 3/4" T+G
Fastener Schedule (Table R602.3(1) & (2))	Per IRC	
Private Garage (Section R309) Living Space? <i>Beside</i> (Above or beside)		
② Fire separation (Section R309.2)	OK Shows 5/8" on common wall to roof sheathing	
Opening Protection (Section R309.1)	OK	
Emergency Escape and Rescue Openings (Section R310)	OK - Shows egress in all bedrooms.	
Roof Covering (Chapter 9)	Asphalt - OK	
Safety Glazing (Section R308)	OK - N/A	
Attic Access (Section R807)	OK - Shows 22x30	
Chimney Clearances/Fire Blocking (Chap. 10)	N/A	
Header Schedule (Section 502.5(1) & (2))	OK - see section page	
③ Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-	Clmg - R-38	

Floors - ? Walls - ? U-value of windows
R-21 R-19

Factor Registration		
(A) Type of Heating System	Furnace	Chimney / direct vent Not shown -
Means of Egress (Sec R311 & R312)		
Basement	2	
Number of Stairways	2	
Interior	2	
Exterior	0	
Treads and Risers (Section R311.5.3)	10" T / 7 3/4" R	
Width (Section R311.5.1)	3'-0" +	
Headroom (Section R311.5.2)	6'-8"	
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	— OK	see elevation
(B) Smoke Detectors (Section R313)		
Location and type/Interconnected		Not shown
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)		N/A
(C) Deck Construction (Section R502.2.1)		Front - need header + frost protection + deck framing Rear - need 4" Piers + Girder size for deck + Ledger detail.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>92 Gale</u>		
Total Square Footage of Proposed Structure <u>438 A 011</u>		Square Footage of Lot <u>7000 SF 70 X 100</u>
Tax Assessor's Chart, Block & Lot Chart# <u>17365/291</u> Block# <u>1</u> Lot# <u>1</u>	Owner: <u>M.J. Development</u>	Telephone: <u>797-4380</u>
Lessee/Buyer's Name (If Applicable) <u>Gale St. Subdivision</u>	Applicant name, address & telephone: <u>M.J. Development 31 Old Campus Drive Portland, Me 04103</u>	Cost Of Work: \$ <u>110,000</u> Fee: \$ _____ C of O Fee: \$ _____
Current Specific use: <u>Raw land</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Single Family home.</u>		
Project description: <u>1 - 24' x 36' Colonial single family home. w/ an 18' x 24' attached Garage. w/ 8' x 10' deck To be built on lot #1 2nd phase Gale st.</u>		
Contractor's name, address & telephone: <u>M J Development</u>		
Who should we contact when the permit is ready: <u>Jim Wescott</u>		Bkg fee 1120.00 ste 300.00 CofO 15.00 <u>total 1,495.00</u>
Mailing address: _____ Phone: <u>776-1762</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME 	Date: <u>7-3-07</u>
---	---------------------

JUL 3 2007 This is not a permit, you may not commence ANY work until the permit is issued.

RECEIVED

Applicant: MS Development Co, LLC

Date: 7/6/07

Address: 92 Yale St (Lot #1)

C-B-L: 438-A-011

permit # 07-0811

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - build two story single family home (24'x36') w/ attached garage.

Sewage Disposal - city

Lot Street Frontage - 50' min. - 60' just on Yale.

Front Yard - 25' min. - 25' scaled to front porch (front steps ^{extend} 12' into setback total - 10' OK section 14-425)

Rear Yard - 25' min - 26' scaled to deck.

Side Yard - 1/2 stories 8' min. - ga. 8' to garage on right.

Projections - 2 stories - 14' min side street 20' min - 20' to base from side street on left.

8' x 12' deck, 5' x 22' porch, steps 2' x 5', steps 1.5' x 3'

Width of Lot - 65' min - 70' scaled

Height - 35' max - 24' scaled.

Lot Area - 6500 ϕ min. - 6979 ϕ given

Lot Coverage / Impervious Surface - 35% = 2442.65 ϕ

Area per Family - 6500 ϕ

Off-street Parking - 2 spaces required. - garage is 18' x 24' OK.

Loading Bays - N/A

Site Plan - minor/minor 2007-0115

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 7 - zone X

24' x 36' = 864
5' x 22' = 110
8' x 12' = 96
18' x 24' = 432
2' x 5' = 10
1.5' x 3' = 4.5

1516.5

OK

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2007-0115
Application I. D. Number

Mj Development Co Llc
Applicant
50 Thornhurst Rd , Falmouth, ME 04105
Applicant's Mailing Address

Marge Schmuckal

7/3/2007
Application Date

Jim Wescott
Consultant/Agent
Agent Ph: (207)776-1762 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

92 - 92 Yale St , Portland, Maine
Address of Proposed Site
438 A011001
Assessor's Reference: Chart-Block-Lot

Single Family Home
Project Name/Description

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt Condo Other (specify)

Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor) Zoning Conditional - PB Subdivision # of lots _____
 Amendment to Plan - Board Review Zoning Conditional - ZBA Shoreland Historic Preservation DEP Local Certification
 Amendment to Plan - Staff Review Zoning Variance Flood Hazard Site Location
 After the Fact - Major Stormwater Traffic Movement Other _____
 After the Fact - Minor PAD Review 14-403 Streets Review

Fees Paid: Site Plan **\$50.00** Subdivision _____ Engineer Review **\$250.00** Date **7/3/2007**

Zoning Approval Status:

Reviewer _____

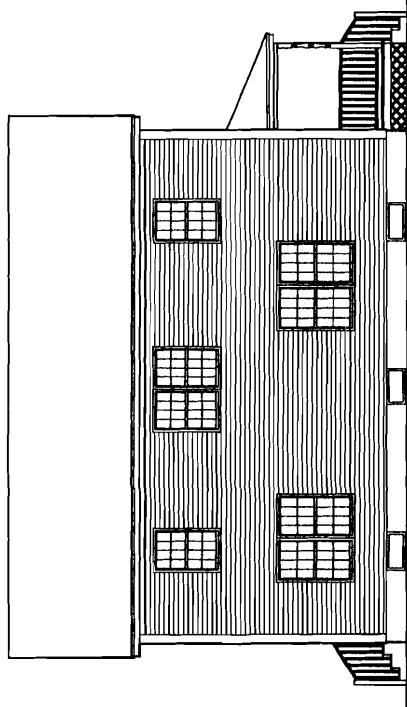
- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached
 Condition Compliance _____ _____
signature date

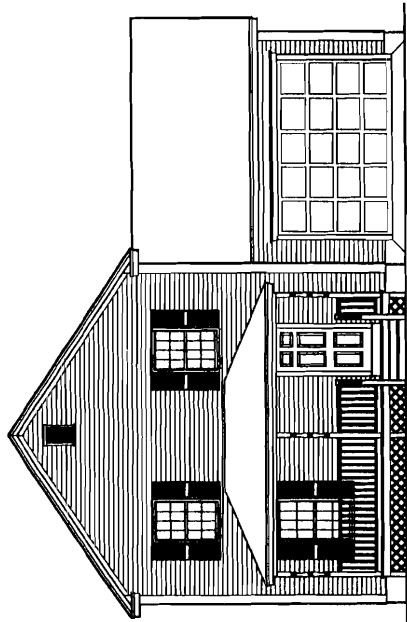
Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

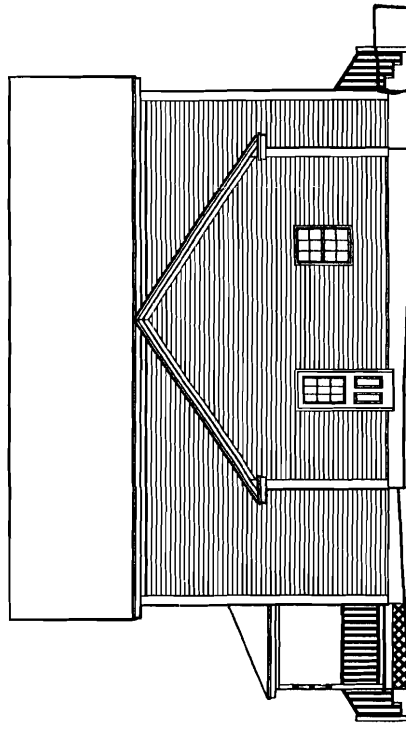
- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |



LEFT SIDE ELEVATION

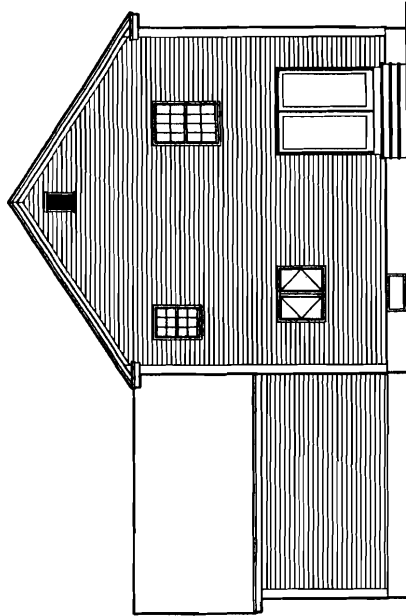


FRONT ELEVATION



RIGHT SIDE ELEVATION

6x12
Deck



REAR ELEVATION



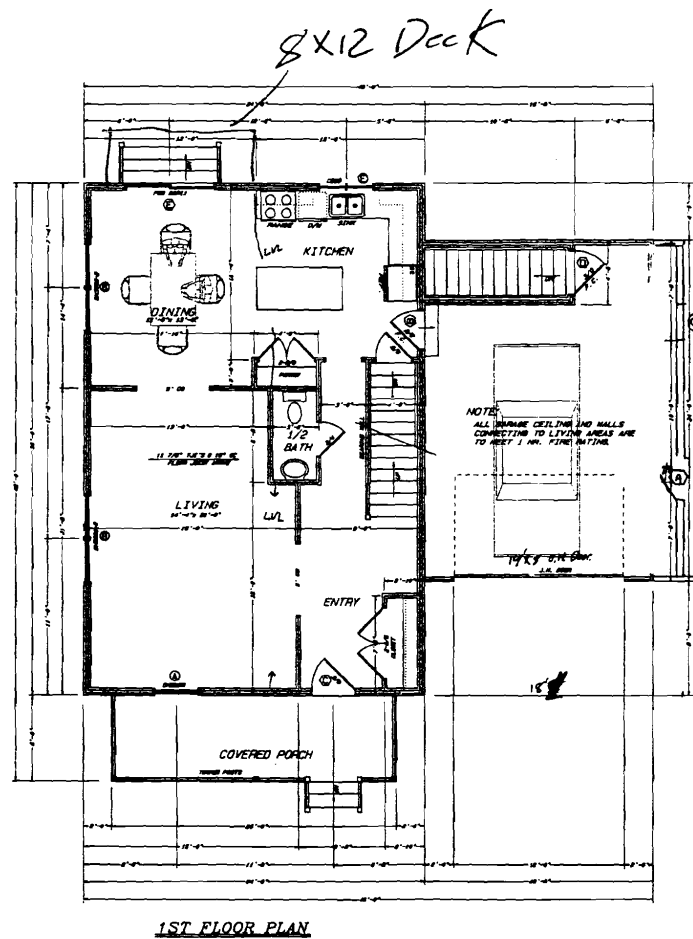
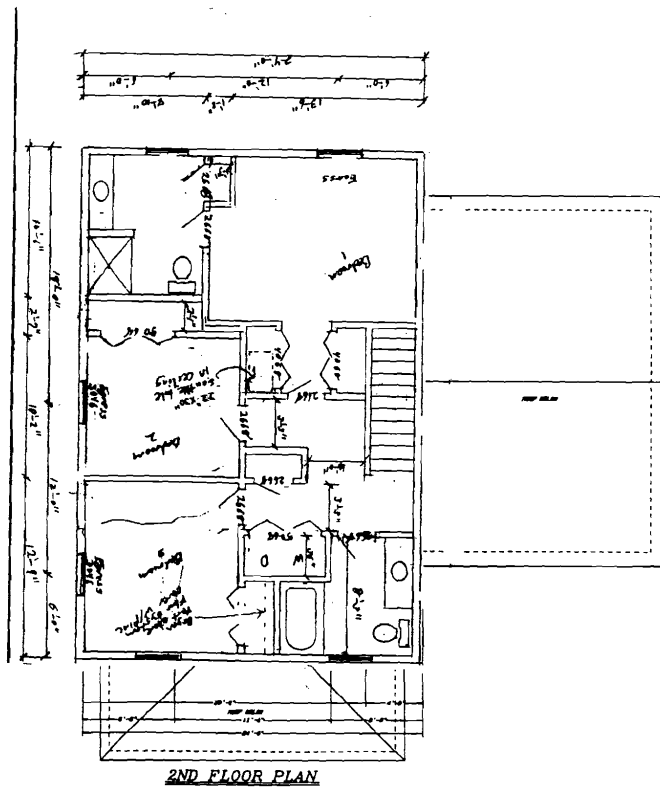
P.A. Inc. 118
Litchfield Pk., Maine
04053
207-885-8275

NOTICE:
These drawings are prepared for
Architectural Review only. They do not
constitute a contract. For more information
see page 1 of the contract documents.

WESCOTT & PAYSON
YALE STREET
PORTLAND, MAINE

ELEVATIONS

NO. N. 10487
PROJECT: 06009CR
DATE: FEB. 23, 2006
SHEET: 1 OF 4



QTY.	SYN.	UNIT #	FOUR OPENING	TYPE	LIMIT U-TALL
1	⊙	DH2886	36 x 88	LOW E	8.30
2	⊙	DH2886-2	71.1/2 x 88	LOW E	8.30
1	⊙	DH2849	34 x 49	LOW E	8.30
1	⊙	DH2841	38 x 41	LOW E	8.30
1	⊙	C2438-2	47.1/2 x 38	LOW E	8.31
1	⊙	DH2888	38 x 88	LOW E	8.30
2	⊙	DH2888-2	71.1/2 x 88	LOW E	8.30
	⊙				
	⊙				

SEE ELEVATION DRAWINGS FOR GRILLE PATTERNS

QTY.	SYN.	SIZE	FOUR OPENING	TYPE	MANUFACTURER
1	⊙	3/8" 8/8	36 x 88	9 LITE	WEATHER SHIELD
1	⊙	3/8" 8/8	71.1/2 x 88	FIRE RATED	WEATHER SHIELD
1	⊙	3/8" 8/8	34 x 49	SOLID	WEATHER SHIELD
1	⊙	3/8" 8/8	38 x 41	FIRE RATED	WEATHER SHIELD
1	⊙	POST388	72 x 88	PATIO	PARADEISE

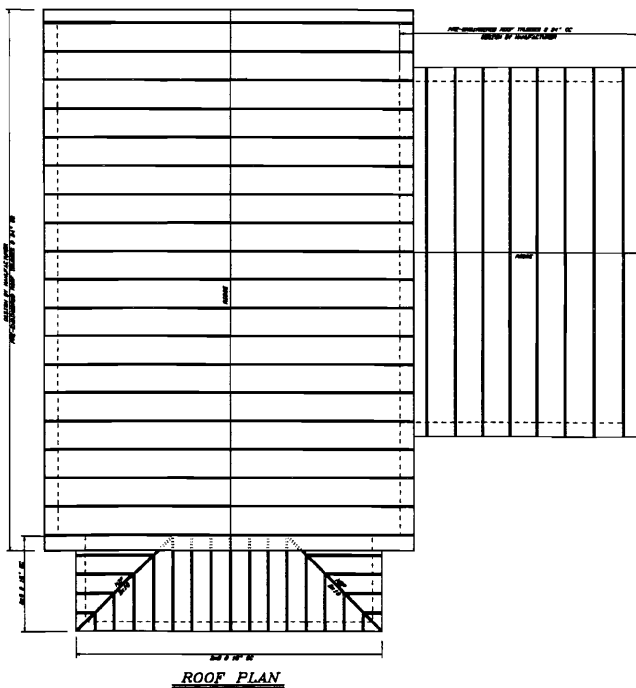
SEE ELEVATION DRAWINGS FOR GRILLE PATTERNS

1st FLOOR 854 SQ. FT.
2nd FLOOR 854 SQ. FT.
1,728 SQ. FT.

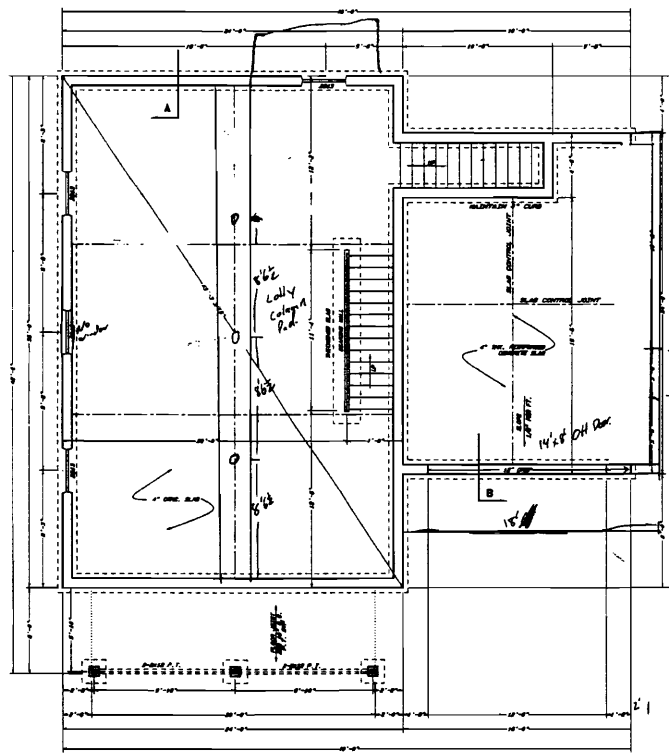
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	WESCOTT & PAYSON	
	YALE STREET PORTLAND, MAINE	
FLOOR PLANS		PROJECT #
P.O. Box 118 Lisbon Falls, Maine 04042 207-522-6776		06009GR
DATE		2 of 4

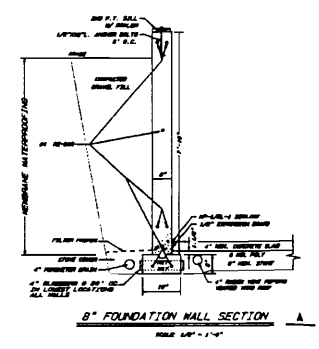
8x12 Rock.



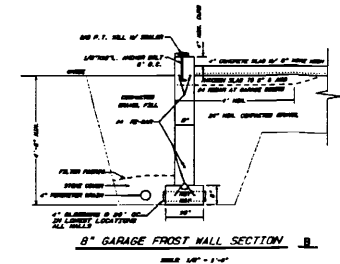
ROOF PLAN



FOUNDATION PLAN



8" FOUNDATION WALL SECTION

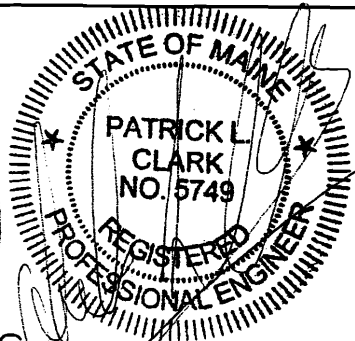
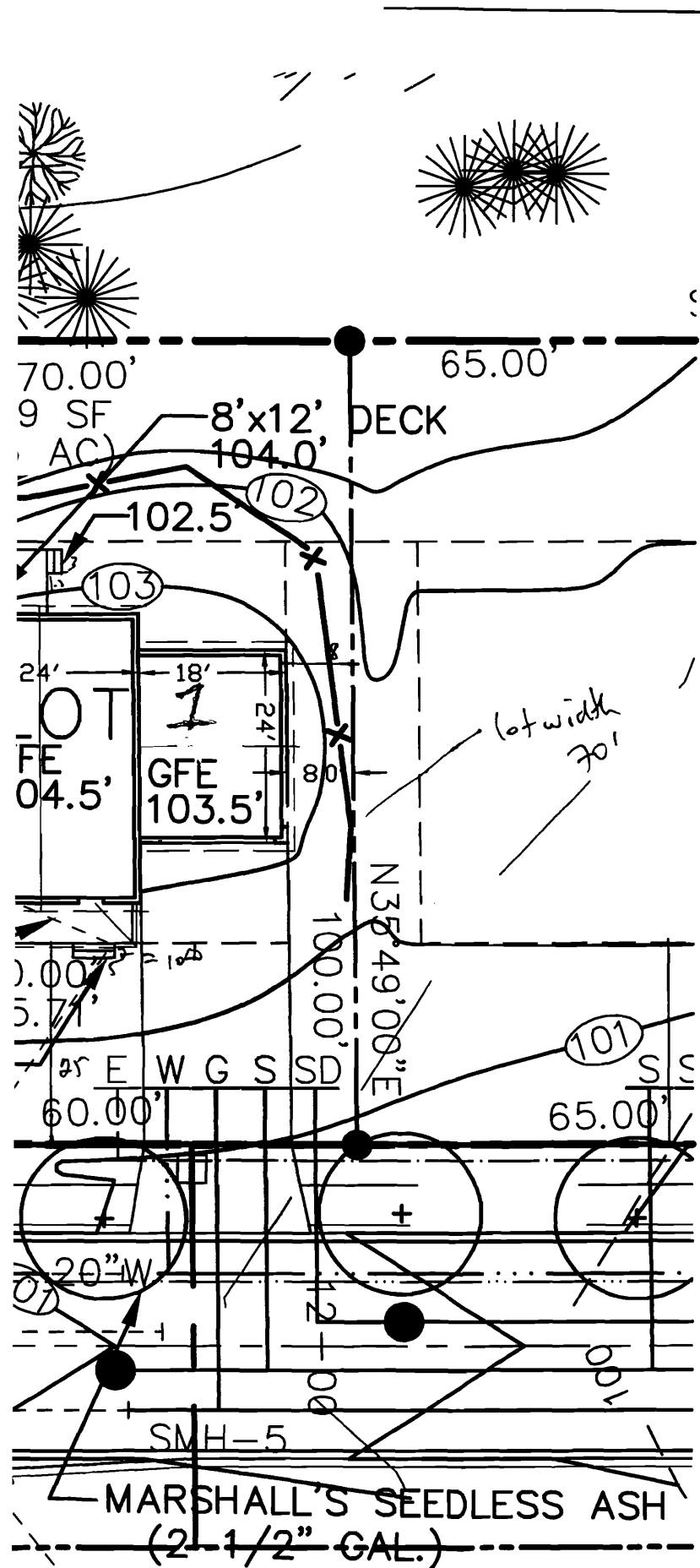


8" GARAGE FROST WALL SECTION

- CONCRETE NOTES
1. MIN. 28 DAY COMPRESSIVE STRENGTH: 3000 PSI WALLS & INTERIOR SLABS
3000 PSI EXHAUST & EXTENSION SLABS
 2. DESIGN OF FOOTINGS IS BASED ON AN ASSUMED SOIL BEARING CAPACITY OF 2000 PSF @ 24\"/>

NOTICE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR ASSURES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE.
Copyright © 2005 MARTIN V. MEIER

<p>MARTIN METER CUSTOM HOME DESIGNER</p>	WESCOTT & PAYSON	
	YALE STREET PORTLAND, MAINE	
	FOUNDATION & ROOF PLAN	
	<p>P.O. Box 118 Lisbon Falls, Maine 04255 207-228-0376</p>	<p>DATE: FEB. 23, 2005</p>



NOTES:

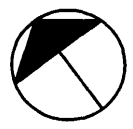
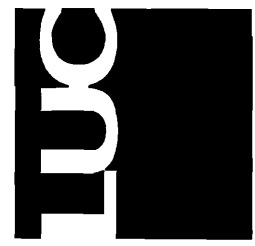
1. GRADING SHOWN ON THIS PLAN IS FOR LOT #1 ONLY. GRADING ON ADJACENT LOTS IS CONCEPTUAL BASED ON SHEET C-3, PLAN & PROFILE, OF PLAN OF LOTS-YALE STREET, AS APPROVED BY CITY OF PORTLAND.
2. DRIVEWAYS, UTILITY CONNECTIONS, LIGHT POLES, AND STREET TREES SHOWN ARE APPROXIMATELY AS SHOWN ON SHEET C-3 OF APPROVED PLANS. NO AS-BUILT INFORMATION FOR THESE IMPROVEMENTS ON YALE STREET OR ON ADJACENT LOTS IS AVAILABLE.
3. BUILDING FOOTPRINT AND LAYOUT SHOWN IS BASED ON FLOOR PLAN PROVIDED BY OWNER.
4. SITE ADAPTATION FOR LOT #1, AS SHOWN ON THIS PLAN BY LAND USE CONSULTANTS IS BASED ON INFORMATION DESCRIBED IN NOTES #1 TO #3.
5. OWNER SHALL BE RESPONSIBLE FOR ALL LAYOUT AND FOR CONFORMANCE TO ZONING AND ALL APPROVED PLANS AND PERMITS.
6. EROSION CONTROLS SHALL BE INSTALLED BY CONTRACTOR PRIOR TO CONSTRUCTION, AS REQUIRED. EROSION CONTROLS SHOWN ARE CONCEPTUAL AND SHALL BE PLACED BASED ON ACTUAL FIELD CONDITIONS.
7. SETBACKS SHOWN ARE MINIMUM DISTANCE TO OUTSIDE OF FOUNDATION AND ASSUMES STRUCTURE TO BE 1-1/2 STORIES AT GARAGE. NOTE THAT SIDE STREET AND FRONT YARD SETBACKS ARE APPLICABLE. BUILDING CORNERS ARE LOCATED AT MINIMUM SETBACKS AND SHALL BE SET BY PROFESSIONAL SURVEYOR.
8. PROPOSED GARAGE AND FLOOR ELEVATIONS SHOWN ARE MINIMUM ELEVATIONS.

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landuse@landuseinc.net



PREPARED FOR:
WESCOTT AND PAYSON II
31 OLD CAMPUS DRIVE
PORTLAND, MAINE

TITLE: YALE STREET, LOT 1

DATE: 5/14/2007

SCALE: 1" = 20'

JOB #: 4505 (LUC)