

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION PERMIT

Permit Number: 070012

PERMIT ISSUED
FEB - 2 - 2007
CITY OF PORTLAND

This is to certify that PARATORE CARLO & LIS PARATORE ITS/Bruce Vos

has permission to Change of Use Home Occupation w/ interior renovations

AT 68 YALE ST

438 A006001

provided that the person or persons whom or whom this permit is issued to, accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or service is closed-in. YOUR NOTIFICATION IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature] 2/1/07
Director, Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature] 02/08/07
Signature of Applicant/Designee Date

[Signature] _____
Signature of Inspections Official Date

CBL: 438A-6 Building Permit #: 070012

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0012	Issue Date: FEB - 2 2007	CITY OF PORTLAND 438 A006001
Owner Name: PARATORE CARLO & LISA PAR	Owner Address: 64 YALE ST	Phone: 207 926 4253
Contractor Name: Bruce Vosemus	Contractor Address: 139 Durnham Rd New Gloucester	Phone: 207 926 4253
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use Home Occupation
		Zone: R3

Location of Construction: 68 YALE ST	Owner Name: PARATORE CARLO & LISA PAR	Owner Address: 64 YALE ST
Business Name:	Contractor Name: Bruce Vosemus	Contractor Address: 139 Durnham Rd New Gloucester
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use Home Occupation
		Zone: R3

Past Use: Single Family	Proposed Use: Single Family Change of Use Home Occupation w/ interior renovations
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Permit Fee: \$285.00	Cost of Work: \$4,000.00	CEO District: 4
FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>IRC 2003</i>	
Signature:	Signature:	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Proposed Project Description:
Change of Use Home Occupation w/ interior renovations

Permit Taken By: dmartin	Date Applied For: 01/03/2007	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>ok w/ conditions</i> Date: <i>1/5/07 ABM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i> Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK. TITLE		DATE	PHONE



CITY OF PORTLAND, MAINE
Department of Building Inspections

_____ 20 _____

Received from _____

Location of Work _____

Cost of Construction \$ _____

Permit Fee \$ _____

Building (IL) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other _____

CBL: _____

Check #: _____

Total Collected \$ _____

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0012	Date Applied For: 01/03/2007	CBL: 438 A006001
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Location of Construction: 68 YALE ST	Owner Name: PARATORE CARLO & LISA PAR	Owner Address: 64 YALE ST	Phone:
Business Name:	Contractor Name: Bruce Vosemus	Contractor Address: 139 Durnham Rd New Glouster	Phone (207) 926-4253
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use Home Occupation	

Proposed Use: Single Family Change of Use Home Occupation w/ interior renovations	Proposed Project Description: Change of Use Home Occupation w/ interior renovations
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 01/05/2007**Note:** Needs to show one parking space. Depth of driveway passed 25' front setback is 17.5' which is just short of the 19' but there is a two car garage so parking is OK. **Ok to Issue:**

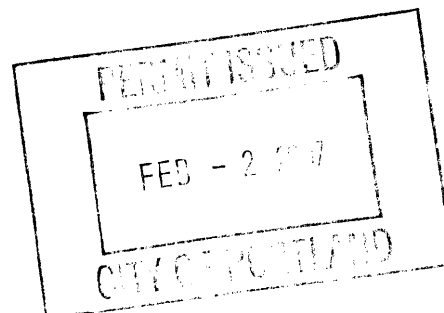
- 1) During its existence, all aspects of the Home Occupations criteria, Section 14-410, shall be maintained.
- 2) Separate permits shall be required for any new signage.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 02/01/2007**Note:** **Ok to Issue:**

- 1) As discussed, a minimum of 7'-0" headroom will be maintained in the basement.
- 2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

Comments:

1/4/2007-amachado: Left message for Lisa Paratore. Application is incomplete. Need a dimensioned plot plan that includes parking. Need dimensioned floor plans of the entire dwelling, not just the area where the home occupation will be.



All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>68 YALE ST. PORTLAND, ME 04103</u>		
Total Square Footage of Proposed Structure <u>300</u>	Square Footage of Lot <u>7500 FT</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Owner: <u>CARLO & LISA PARATORE</u> <u>624-1019</u>	Telephone: H: <u>797-9125</u> W: <u>626-4397</u>
Lessee/Buyer's Name (If Applicable) <u>NA</u>	Applicant name, address & telephone: <u>SAME</u>	Cost Of Work: <u>\$4,000.00</u> <u>225</u> home occ Fee: <u>\$285.00</u> <u>60</u> eq work.
Current use: <u>SINGLE FAMILY</u>		
If the location is currently vacant, what was prior use: <u>NA</u>		
Approximately how long has it been vacant: <u>NA</u>		
Proposed use: <u>NA</u>		
Project description: <u>change of use for a home occupation, to add; CHANGE OF USE, HOME OCCUPATION/SALON W/ INTERIOR RENOVATIONS IN BASEMENT.</u>		
Contractor's name, address & telephone: <u>BRUCE NOSEWIS, 139 DURLIN RD, NEW GLOUCESTER, ME 04037</u> <u>926-4253</u>		
Who should we contact when the permit is ready: <u>CARLO PARATORE, 797-9125</u>		
Mailing address: <u>68 YALE ST, PORTLAND, ME 04103</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>797-9125</u>		

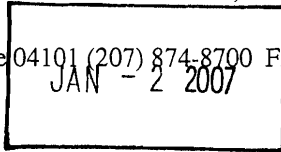
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.


I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>19 DEC 06</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department or the 4th Floor of City Hall

389 Congress St Portland, Maine 04101 (207) 874-8700 FAX 874-8716 TTY 874-8936



 1468

Ms. Schmuckal
Zoning Administrator
Department of Urban Development
City of Portland
389 Congress Street
Portland, Maine 04101

Dear Ms. Schmuckal,

I am requesting a permit to allow the use of my residence at 68 Yale Street for a home occupation. I intend to serve as a home hairdresser, which is listed as an acceptable home occupation listed under item (14) of Section 14-410 of the Portland Zoning Ordinance.

The following is an explanation of how my home occupation meets the criteria listed under item (1) of the Portland Ordinance:

- a. My home occupation will occupy approximately 280 square feet 15% of floor area of the residence.
- b. No goods will be stored, displayed or be visible from the outside of the residence.
- c. Storage of all material necessary to perform my occupation is minimal and included in the floors pace cited above.
- d. In accordance with item (4) Section 14-410, (1) nonilluminated sign, not to exceed (2) square feet will be affixed to the building.
- ~~e. No exterior alterations to the residence are necessary.~~ SEE ENTRY DOOR DETAIL
- f. Parking generated by the conduct of the home occupation will be met off street.
- g. No objectionable effects will result from my home occupation.
- h. I will no require the service of any employees.
- i. No greater than normal traffic volume as expected in a residential neighborhood will be generated by the home business.
- j. No business vehicles are needed for the conduct of this home occupation.

My home occupation is a secondary and incidental use of my residence and will be primarily by appointment only. The external activity will be minor and in keeping with the residential character of the neighborhood.

Attached is a copy of the floor plan showing the dimensions and area of the home occupation space.

We are the owners of this property.

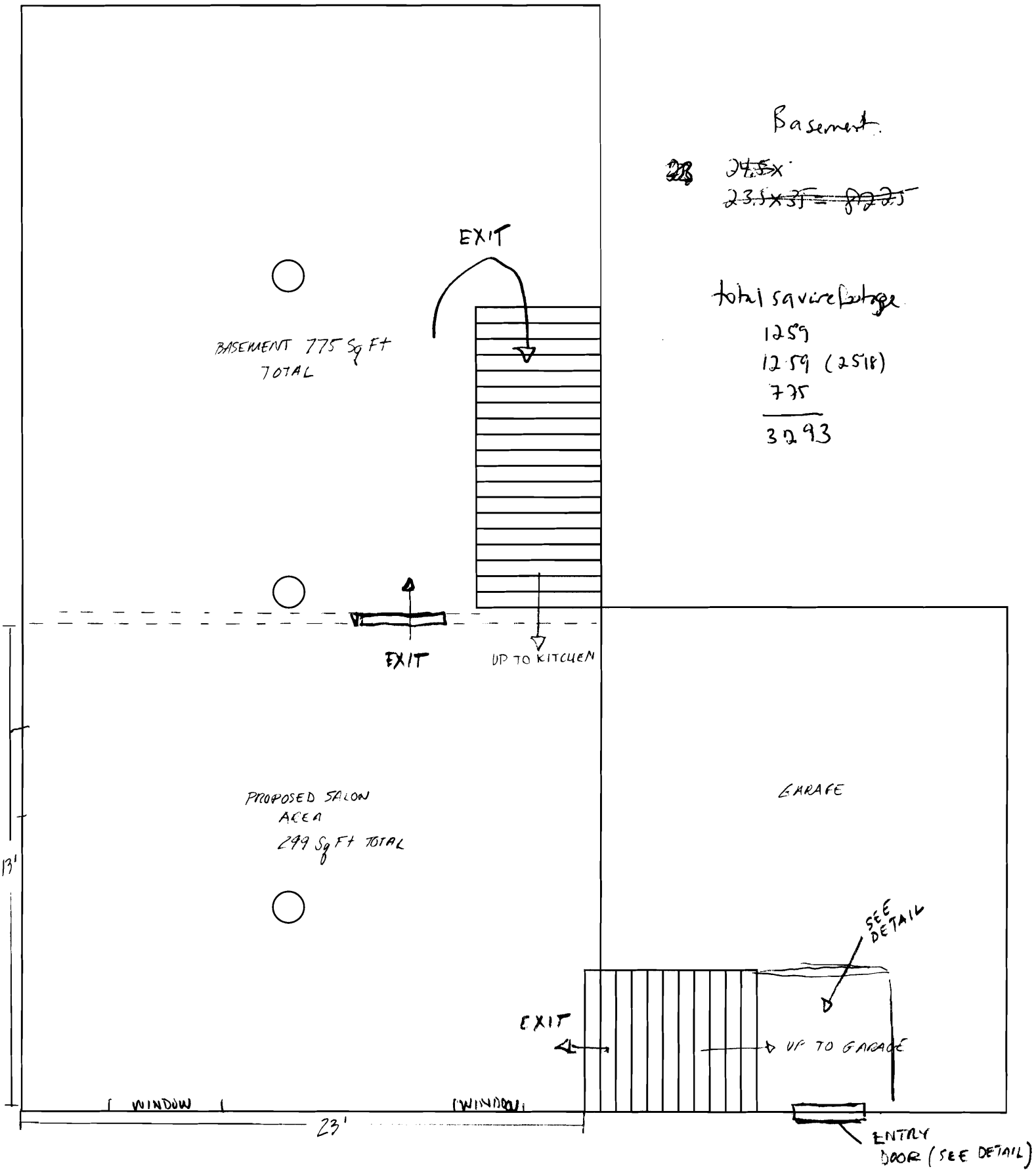
Thank you for your assistance in this matter.

Sincerely,



Lisa M. Paratore

BASEMENT 775 Sq FT TOTAL



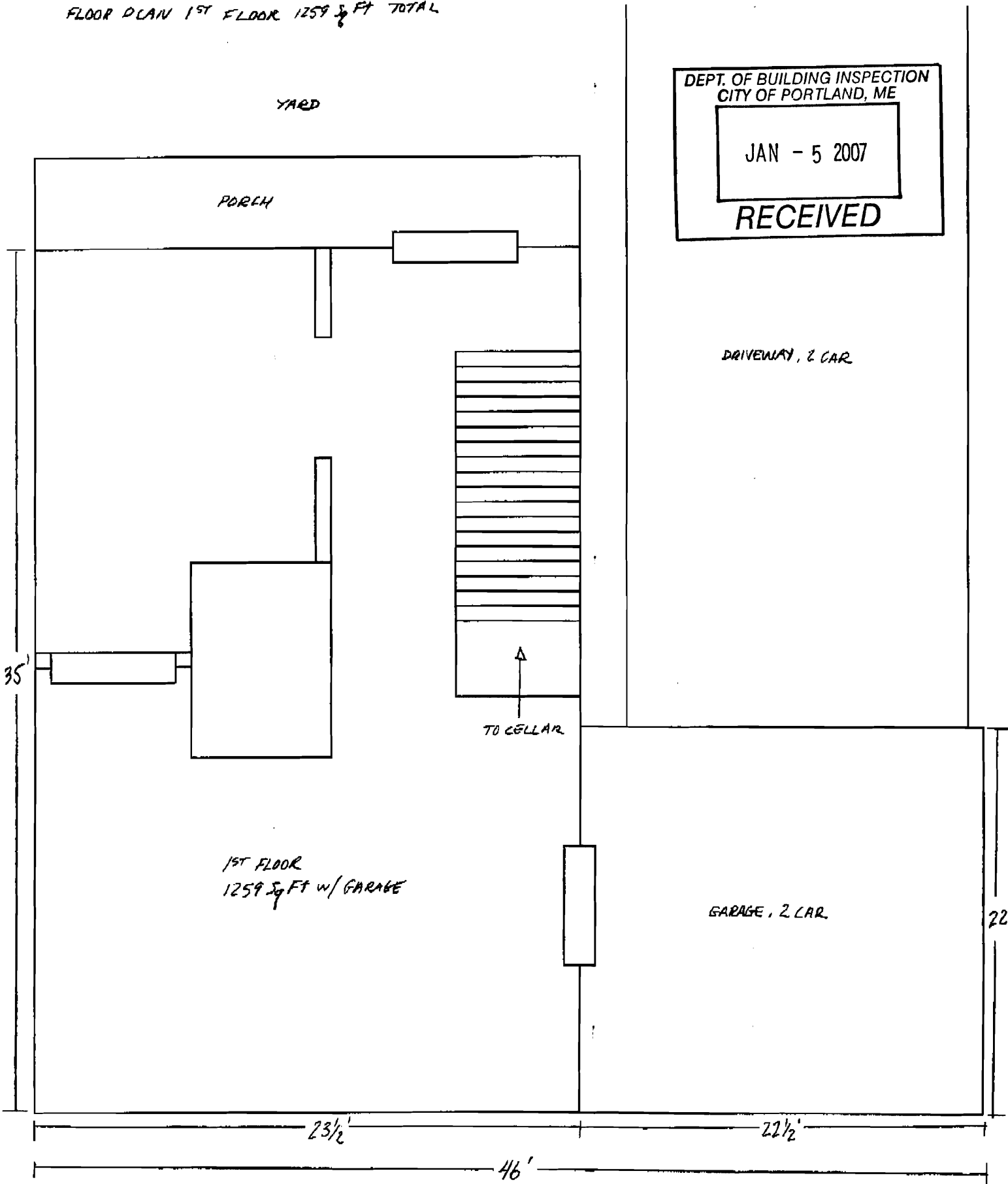
Basement:

~~228~~ 24.5x
~~23.5x35 = 822.5~~

total square footage

1259
1259 (2518)
775
<hr/>
3293

FLOOR PLAN 1ST FLOOR 1259 1/2 FT TOTAL

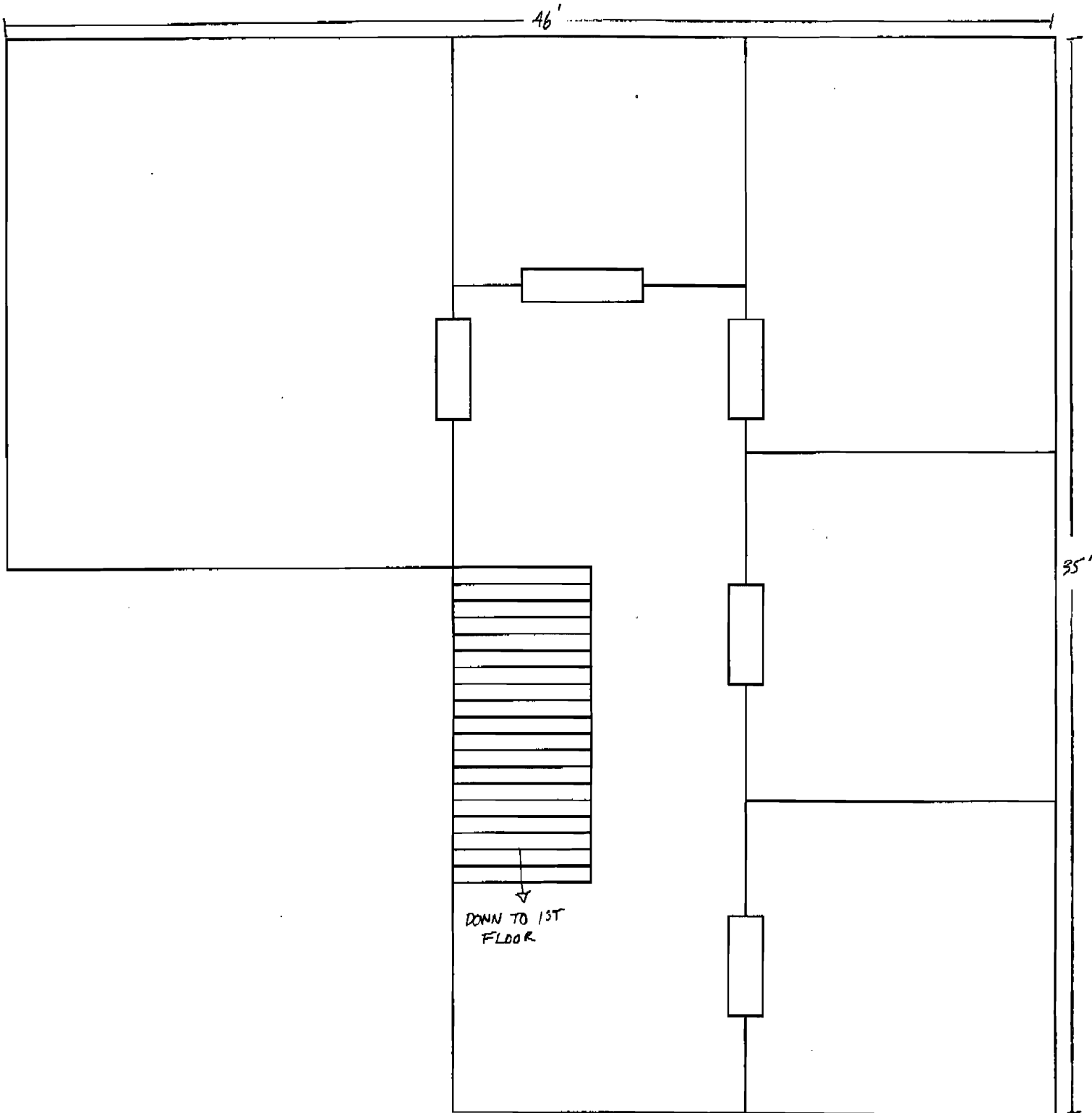


DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 JAN - 5 2007
 RECEIVED

1ST FLOOR
 1259 1/2 FT W/ GARAGE

GARAGE, 2 CAR

FLOOR PLAN 2ND FLOOR 1259 Sq FT TOTAL



20

EXISTING WINDOW

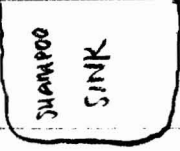
EXISTING WINDOW

EMER/EXIT

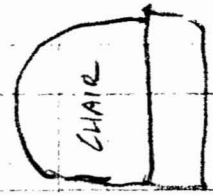


EXISTING STAIRCASE

EXISTING EYEWENT



TILE WORKSPACE



WALL TO BE BUILT

EXISTING WALL

EXISTING BASEMENT

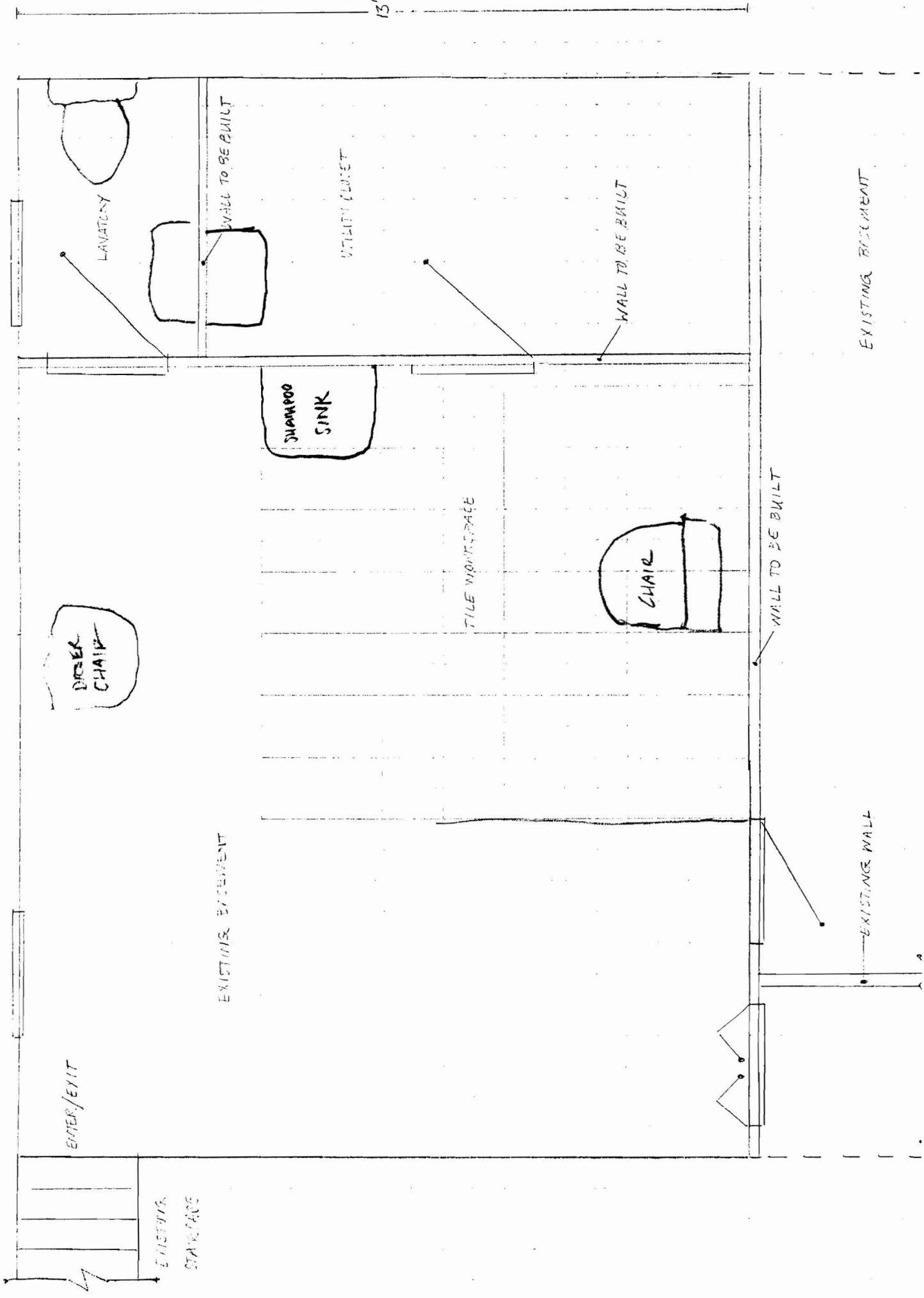
WALL TO BE BUILT

WALL TO BE BUILT

UTILITY CLOSET

LAVATORY

13'



13'

EXISTING WINDOW

LAVATORY

WALL TO BE BUILT

UTILITY CLOSET

WALL TO BE BUILT

EXISTING ENCLOSURE

EXISTING WINDOW

ENTER/EXIT

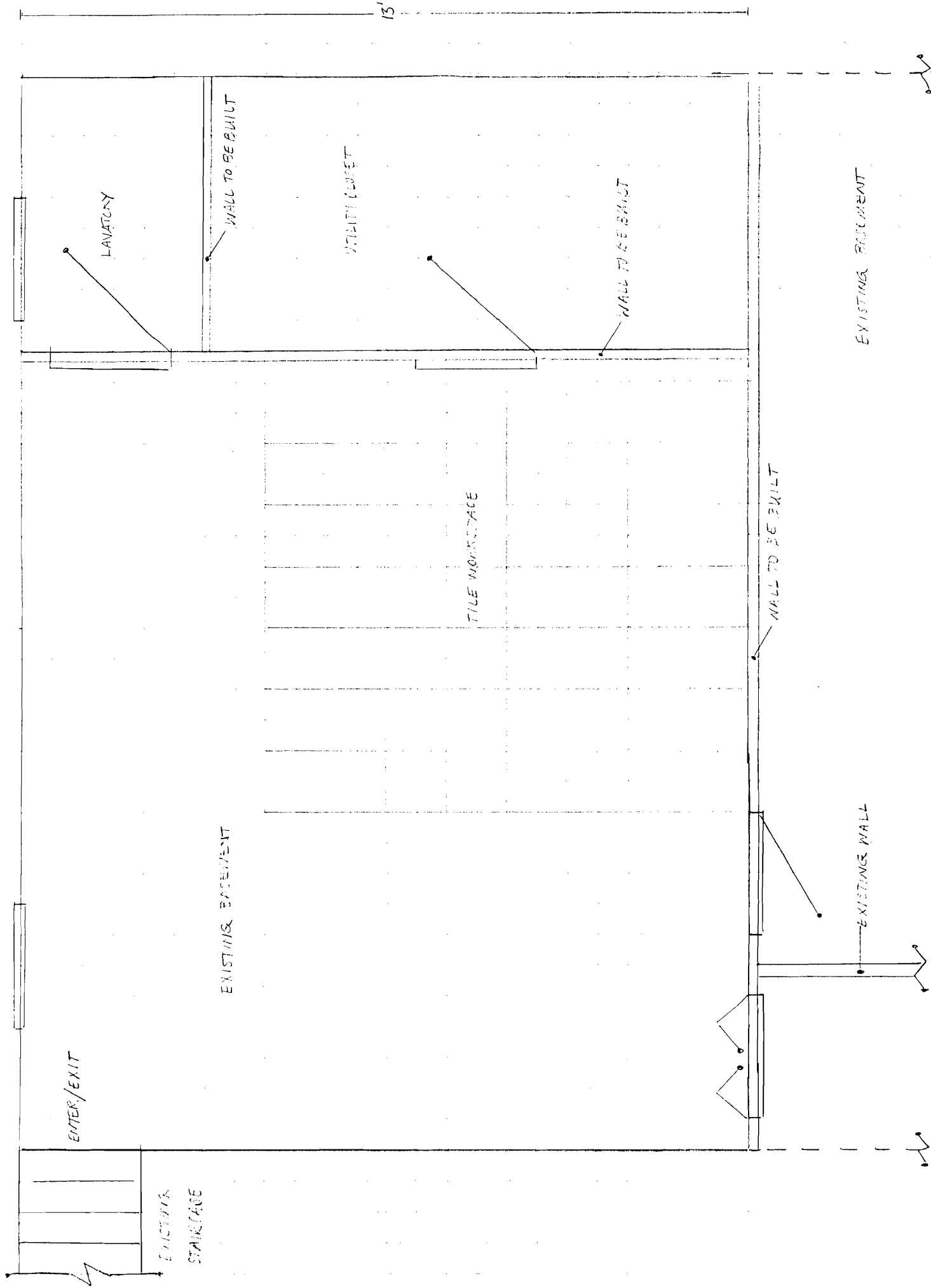
EXISTING BASEMENT

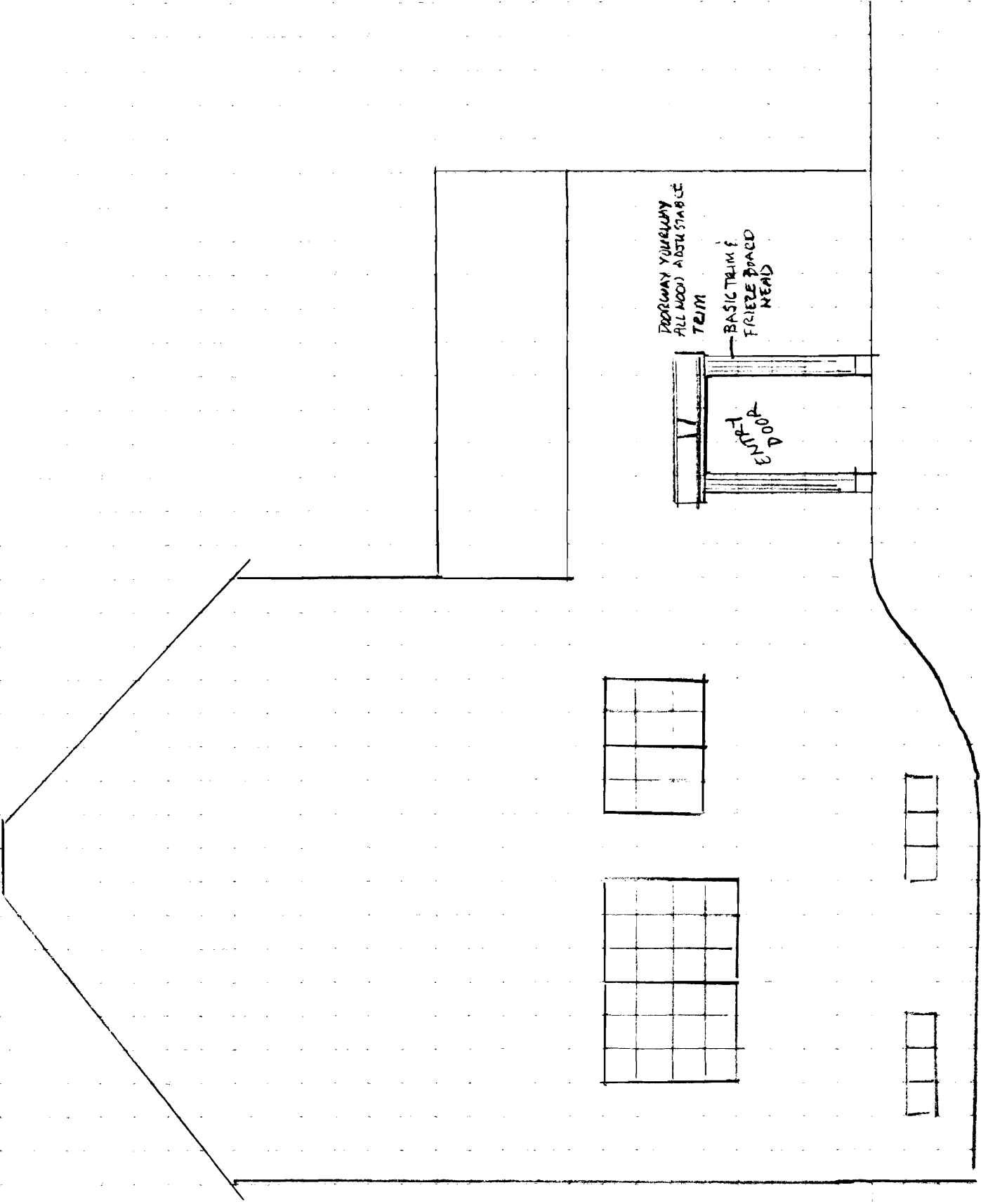
TILE WORKSPACE

WALL TO BE BUILT

EXISTING WALL

EXISTING STAIRCASE

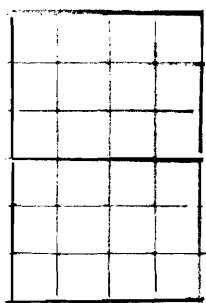
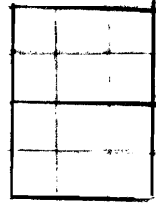


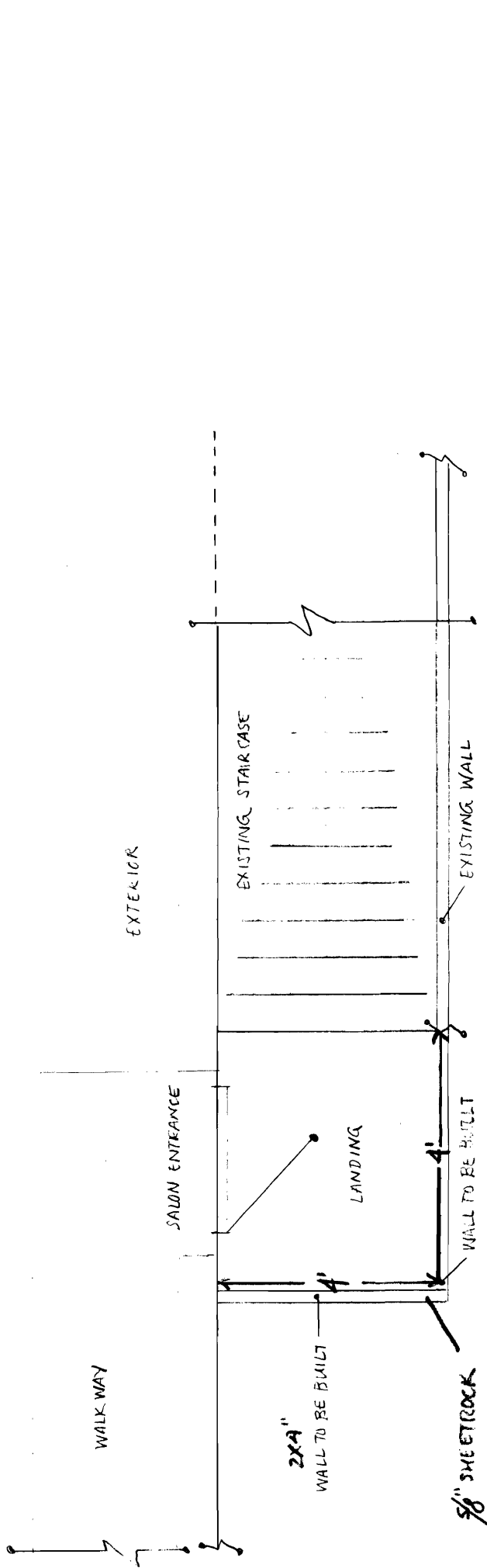


WOOD
END

DOORWAY YOU MAY WANT
ALL WOOD ADJUSTABLE
TRIM

BASIC TRIM &
FRIERE BOARD
HEAD



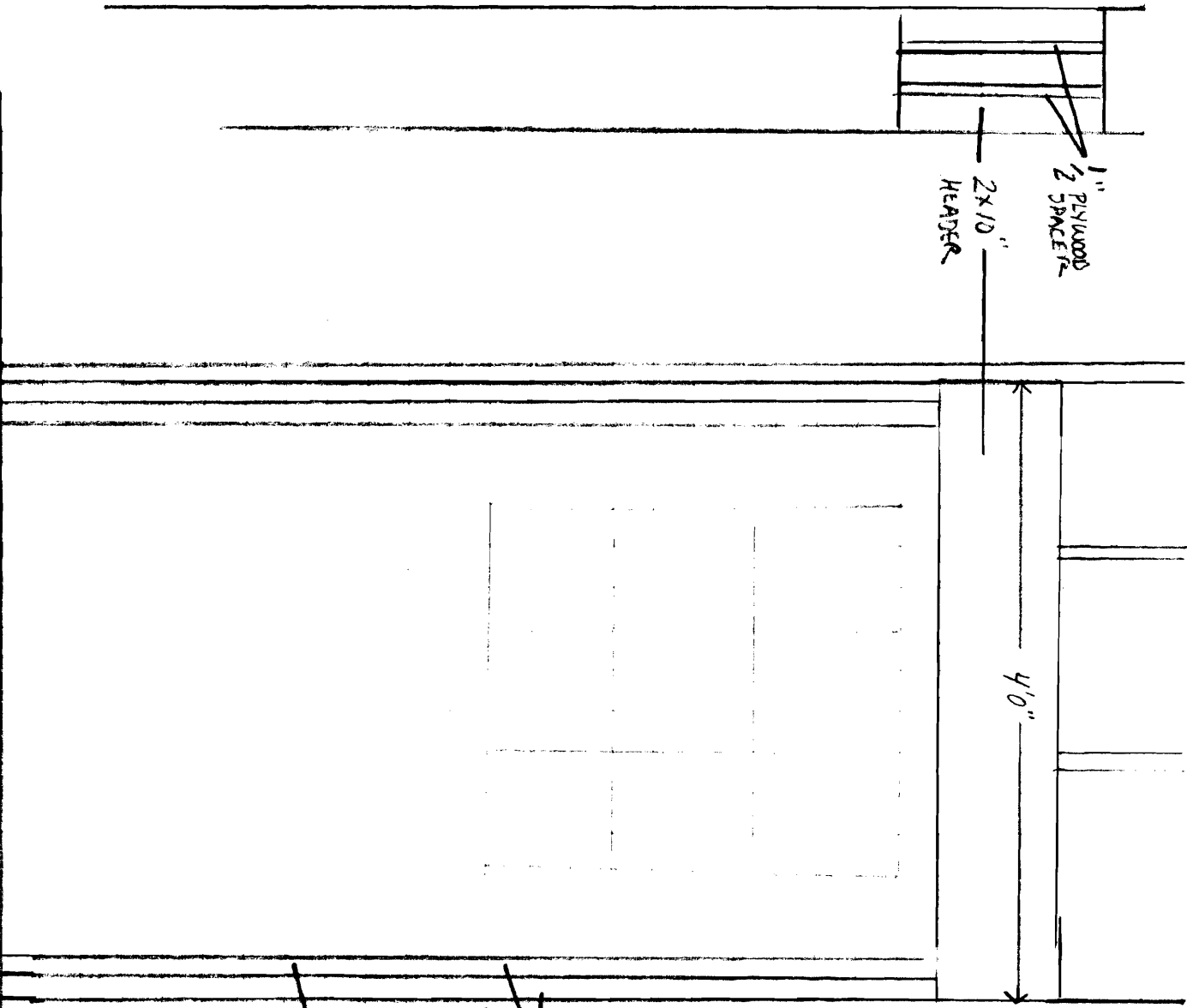


DOOR HEADER / FRAME

- 2x6 STUD
- TRIPLE 2x10 HEADER
- TWO 1/2" PLYWOOD SPACERS BETWEEN 2x6 (5 1/2" THICK)
- 3' POOR

EXISTING EARLAGE

INTERIOR



1" PLYWOOD
2 SPACERS

2x10"
HEADER

4'0"

DOOR

- FIRE DOOR, 90 MINUTE ROYAL INSULATED STEEL DOOR
- 24 GUAGE
- HOT DIPPED GALVANIZED
- 90 MINUTE FIRE RATED

2x6" FRAMING

ROUILLE PENING 3'-1/4" X 6'-5/8"

EXISTING
EXISTING
WINDOW(S)

