

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT PERMIT

Permit Number: 040050

This is to certify that Mks Development Inc /Christopher J. Ballou Inc
has permission to Build New 1715 sq. Ft. single family colonial with 2 car garage
AT 64 Yale St (Lot #7) City of Portland 438 A006001

provided that the person or persons, firm or corporation accepting this permit shall comply with
of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regula
the construction, maintenance and use of buildings and structures, and of the application on file
this department.

Apply to Public Works for street line
and grade if nature of work requires
such information.

Notification of inspection must be
given and when permission is procured
before this building or part thereof is
laid or closed-in.
24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must
be procured by owner before this bu
ing or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

James Burke 2/9
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Plan lot # 7 Yale Street, Portland</u>		
Total Square Footage of Proposed Structure <u>1715 SF (living area)</u>	Square Footage of Lot <u>7500 SF</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>138</u> Block# <u>A</u> Lot# <u>006</u>	Owner: <u>MKS Development, Inc. Falmouth, Me.</u>	Telephone: <u>838-3800</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>838-3800</u> <u>CHRISTOPHER BALLARD INC</u> <u>7 TERRA WAY</u> <u>FALMOUTH ME 04105</u>	Cost Of Work: \$ <u>122,000.00</u> Fee: \$ <u>1089.00</u>
Current use: <u>vacant (Land only)</u>		<u>75.00</u> <u>copy</u>
If the location is currently vacant, what was prior use: <u>N/A</u>		<u>1194.00</u>
Approximately how long has it been vacant: <u>N/A</u>		<u>300.00</u> <u>site plan</u>
Proposed use: <u>single family home</u>		<u>1494.00</u>
Project description: <u>Colonial with 2 car garage</u>		
Contractor's name, address & telephone: <u>838-3800</u>		
Who should we contact when the permit is ready: <u>CHRISTOPHER BALLARD INC</u>		
Mailing address: <u>7 TERRA WAY</u> <u>FALMOUTH ME 04105</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>838-3800</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Chris Ballard</u>	Date: <u>1-14-04</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the
Planning Department on the 4th floor of City Hall**

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0050	Date Applied For: 01/20/2004	CBL: 438 A006001
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Location of Construction: 64 Yale St (Lot #7)	Owner Name: Mks Development Inc	Owner Address: 7 Terra Way	Phone: 207-838-3800
Business Name: n/a	Contractor Name: Christopher J. Ballard, Inc.	Contractor Address: 7 Terraway Falmouth	Phone: (207) 838-3800
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Single Family	

Proposed Use: Build New 1715 sq. Ft. single family colonial with two car garage.	Proposed Project Description: Build New 1715 sq. Ft. single family colonial with two car garage.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 01/21/2004

Note: **Ok to Issue:**

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages. There are NO REAR DECKS shown on this application. NO REAR DECKS are being approved. An attached front porch is shown and is approved as sited.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 02/09/2004

Note: **Ok to Issue:**

- 1/27/04 left vm for Chris B. To call regarding missing details.
 1/27 Chris came in an we reviewed all issues and I pointed out that the quality of the copies was not acceptable. He will re-submit.
 1/29 received new plans
 2/3 ok to issue, but per Jay Reynolds, we can only issue a foundation only permit due to site plan approval issues. Will create a separate permit for this.
- 1) Separate permits are required for any electrical or plumbing work.
 - 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2004-0008
Application I. D. Number
1/16/2004
Application Date
Yale St. Lot #7
Project Name/Description

Mks Development Inc
Applicant
7 Terra Way , Falmouth , ME 04105
Applicant's Mailing Address

Consultant/Agent
Agent Ph: _____ **Agent Fax:** _____
Applicant or Agent Daytime Telephone, Fax

64 - 64 Yale St , Portland, Maine
Address of Proposed Site
438 A006001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1715 sq. Ft. 7500 sq. Ft.
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor)
- Flood Hazard
- Zoning Conditional Use (ZBA/PB)
- Subdivision # of lots _____
- Shoreland
- Zoning Variance
- PAD Review
- Historic Preservation
- 14-403 Streets Review
- DEP Local Certification
- Other _____

Fees Paid: Site Pla _____ Subdivision _____ Engineer Review _____ Date _____

Planning Approval Status:

Reviewer Jay Reynolds

- Approved
- Approved w/Conditions See Attached
- Denied

Approval Date 2/5/2004 Approval Expiration 2/5/2005 Extension to _____ Additional Sheets Attached

OK to Issue Building Permit Jay Reynolds 2/5/2004
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2004-0008

Application I. D. Number

1/16/2004

Application Date

Yale St. Lot #7

Project Name/Description

Mks Development Inc

Applicant

7 Terra Way , Falmouth , ME 04105

Applicant's Mailing Address

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

64 - 64 Yale St , Portland, Maine

Address of Proposed Site

438 A006001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1715 sq. Ft.

7500 sq. Ft.

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Pla _____ Subdivision _____ Engineer Review _____ Date _____

DRC Approval Status:

Reviewer **Jay Reynolds**

- Approved **Approved w/Conditions** Denied
 See Attached

Approval Date **2/5/2004** Approval Expiration **2/5/2005** Extension to _____ Additional Sheets Attached

Condition Compliance **Jay Reynolds** **2/5/2004**
 signature date

Performance Guarantee Required* **Not Required**

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2004-0008

Application I. D. Number

1/16/2004

Application Date

Yale St. Lot #7

Project Name/Description

Mks Development Inc

Applicant

7 Terra Way , Falmouth , ME 04105

Applicant's Mailing Address

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

64 - 64 Yale St , Portland, Maine

Address of Proposed Site

438 A006001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

- 2 Your new street address is now # 68 YALE STREET, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

- 3 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

- 4 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

- 5 The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.

- 6 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Applicant: Christopher J. Ballard, INC Date: 1/21/04

Address: 64 Yale St (lot #7) C-B-L: 438-A-006

CHECK-LIST AGAINST ZONING ORDINANCE

Permit Application #04-0058

Date - New

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work -

Construct New single family dwelling with front porch 24.5' x 36' and attached garage 22' x 24' 4.5' x 24.5'

Sewage Disposal - City

Lot Street Frontage - 50' min - 75' shown

Front Yard - 25' min - 26' shown

Rear Yard - 25' min - 33' scaled

Side Yard - 14' min - 14' & 14.5' shown

Projections - 2 story front porch - NO REAR deck

Width of Lot - 75' min - 75' shown

Height - 45' min - 26' scaled

Lot Area - 6500^{sq} min - 7500^{sq} shown

Lot Coverage/ Impervious Surface - 25% or 1875^{sq} max

Area per Family - 6,500^{sq}

Off-street Parking - 2 pkg spaces req. - 2 car garage

Loading Bays - N/A

Site Plan - mmor/mmor #2004-0008

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 7 Zone X

$$\begin{aligned}
 24.5 \times 36 &= 882 \\
 22 \times 24 &= 528 \\
 \text{front porch } 4.5 \times 24.5 &= 110.25
 \end{aligned}$$

$$\begin{array}{r}
 882 \\
 528 \\
 110.25 \\
 \hline
 1520.25
 \end{array}$$

NO REAR DECKS SHOWN

Book 20376
Page 314
Recorded 10/10/03

QUITCLAIM DEED WITH COVENANT
(Maine Statutory Short Form)

WESCOTT & PAYSON II, LLC, a Maine limited liability company, whose mailing address is in Portland, Maine, hereinafter referred to as the Grantor, for consideration paid grants to **MKS DEVELOPMENT, INC.**, a Maine corporation, with a mailing address of 7 Terra Way, Falmouth, Maine 04105, hereinafter referred to as the Grantee, with **QUITCLAIM COVENANTS**, a certain lot or parcel of land situated in the Portland, County of Cumberland, and State of Maine, and described as follows:

SEE EXHIBIT A ATTACHED HERETO

IN WITNESS WHEREOF, the Grantor, Wescott & Payson II, LLC, has caused this instrument to be signed and sealed this 9 day of October, 2003.

Signed, Sealed and Delivered
in presence of:

Witness *[Signature]*

WESCOTT & PAYSON II, LLC

By: *[Signature]*
Michael H. Payson, Jr.
Its: Manager and Member

STATE OF MAINE
CUMBERLAND, SS.

October 9, 2003

Then personally appeared the above named Michael H. Payson, Jr., in his capacity as Manager and Member of Wescott & Payson II, LLC, and acknowledged the foregoing instrument to be his free act and deed and the free act and deed of Wescott & Payson II, LLC.

Before me,

[Signature]
Attorney-at-Law/Notary Public

EXHIBIT A:

Certain parcels of land situated on or about Yale Street in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

A certain lot or parcel of land located on the northeast side of Yale Street in the City of Portland, County of Cumberland, State of Maine, bounded and described as follows:

Beginning at a point on the northeasterly sideline of Yale Street and the southerly corner of land now or formerly of the Maine Conference of Seventh Day Adventists as described in a deed recorded in the Cumberland County Registry of Deeds in Book 4488, Page 191. Thence:

Thence N 35° 49' 00" E by said land of the Maine Conference of Seventh Day Adventists a distance of One Hundred and 00/100 (100.00) feet to a point and land now or formerly of Wescott & Payson II as described in a deed recorded in said Registry in Book 18226, Page 260.

Thence N 35° 49' 00" E across said land of Wescott & Payson II a distance of Seven and 55/100 (7.55) feet to a point and land now or formerly of the Allen Avenue Housing Associates as described in a deed recorded in said Registry in Book 9037, Page 328.

Thence S 54° 11' 00" E by said land of the Allen Avenue Housing Associates a distance of Two Hundred Thirty-Seven and 95/100 (237.95) feet to a 1" iron pipe found and other land now or formerly of Wescott & Payson II as described in a deed recorded in said Registry in Book 17365, Page 293 and land now or formerly of Wescott & Payson II as described in a deed recorded in said Registry in Book 18226, Page 260.

Thence S 35° 49' 00" W across said land of Wescott & Payson II (Book 18226, Page 260) a distance of Seven and 55/100 (7.55) feet to a point.

Thence S 54° 11' 00" E by said land of Wescott & Payson II a distance of Five Hundred Seventy-Three and 05/100 (573.05) feet to a point and other land now or formerly of Wescott & Payson II as described in a deed recorded in said Registry in Book 17365, Page 289 and Book 17365, Page 291.

Thence S 35° 49' 00" W across said land of Wescott & Payson II a distance of Ninety and 00/100 (90.00) feet to a point of curvature.

Thence Westerly across said land of Wescott & Payson II, following a curve to the right having a radius of Ten and 00/100 (10.00) feet, an arc distance of Fifteen and 71/100 (15.71) feet to a point of tangency and the northeasterly side of said Yale Street, said point of tangency lying S 80° 49' 00" W a distance of Fourteen and 14/100 (14.14) feet from the last mentioned point.

Thence N 54° 11' 00" W by said Yale Street a distance of Seven Hundred Seventy-Six and 00/100 (776.00) feet to the point of beginning.

The above described parcel contains 80,375 square feet. Bearings are referenced to magnetic north 1983.

Reference is herein made to a Standard Boundary Survey made for Wescott & Payson II by Titcomb Associates dated June 12, 2002 as recorded in the Cumberland County Registry of Deeds in Plan Book 202, Page 693.

The foregoing property may also be described as Lots number 1 through 10 located on Yale Street in Portland, Maine as shown on the plan entitled "Subdivision Recording Plat - Amendment to "Plan of Lots" at University Park" prepared for Wescott & Payson II by Land Use Consultants revised through September 30, 2002 and approved by the City of Portland on January 14, 2003, recorded in the Cumberland County Registry of Deeds in Plan Book 203 Page 262 (the "Plat"), subject to the easements, restrictions and obligations set forth in the Plat.

Subject to a Drainage Easement Deed from Wescott & Payson II to the City of Portland of even or recent date to be recorded in the said Registry of Deeds for Drainage Easements "A," "B" and "C" as shown on the Plat.

Together with an easement for access and utilities from the subject property in and over Yale Street to Harvard Street, a public way, until such time as Yale Street is accepted by the City of Portland as a public way.

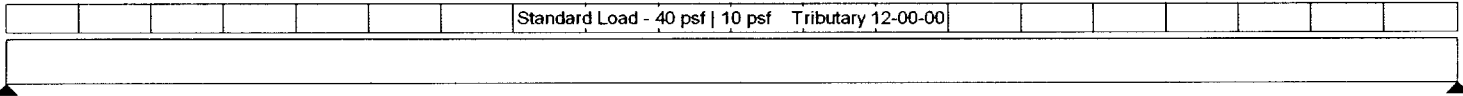
Together with the benefit of a 50 foot by 50 foot Turnaround Easement as described in an Easement Deed for Turnaround from Wescott & Payson II, LLC to the City of Portland of even or recent date to be recorded in the said Registry of Deeds.

Being a portion of the property conveyed to Wescott & Payson II, LLC, formerly known as Wescott & Payson II by deed recorded in the Cumberland County Registry of Deeds in Book 17365, Page 289, Book 17365, Page 291 and Book 18226, Page 260. Reference is made to the Recorded Certificate from the Maine Secretary of State evidencing the transformation of Wescott & Payson II, a Maine General Partnership, into Wescott & Payson II, LLC, a Maine limited liability company.

Single 5 1/4" x 14" VERSA-LAM® 3080 DF

Job Name:
 Address: *Garage Door Header*
 City, State, Zip:
 Customer:
 Code reports: ICBO 5663, NER 442

File Name: BC CALC Project : RB01
 Description:
 Specifier:
 Designer: MB
 Company: Hancock Lumber
 Misc:



4320 lbs LL
 1250 lbs DL

4320 lbs LL
 1250 lbs DL

Total Horizontal Length - 18-00-00

General Data

Version: US Imperial
 Member Type: Roof Beam
 Number of Spans: 1
 Left Cantilever: No
 Right Cantilever: No
 Slope: 0/12
 Tributary: 12-00-00

Live Load: 40 psf
 Dead Load: 10 psf
 Partition Load: 0 psf
 Duration: 115

Disclosure

The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)232-0788 before beginning product installation.

BC CALC®, BC FRAMER®, BCI®, BC RIM BOARD™, BC OSB RIM BOARD™, BOISE GLULAM™, VERSA-LAM®, VERSA-RIM®, VERSA-RIM PLUS®, VERSA-STRAND™, VERSA-STUD®, ALLJOIST® and AJS™ are trademarks of Boise Cascade Corporation.

Load Summary

ID	Description	Load Type	Ref.	Start	End	Type	Value	Trib.	Dur.
S	Standard Load	Unf. Area	Left	00-00-00	18-00-00	Live	40 psf	12-00-00	115%
						Dead	10 psf	12-00-00	90%

Controls Summary

Control Type	Value	% Allowable	Duration	Load Case	Span Location
Moment	25065 ft-lbs	50.4%	115%	2	1 - Internal
Neg. Moment	0 ft-lbs	n/a	100%		
End Shear	4848 lbs	30.2%	115%	2	1 - Left
Total Load Defl.	L/355 (0.609")	50.7%		2	1
Live Load Defl.	L/457 (0.472")	52.5%		2	1
Max Defl.	0.609"	30.4%		2	1

Notes

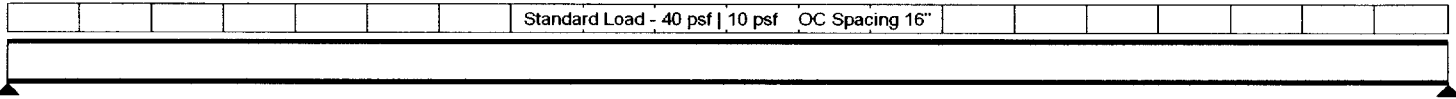
Design meets Code minimum (L/180) Total load deflection criteria.
 Design meets Code minimum (L/240) Live load deflection criteria.
 Design meets arbitrary (2") Maximum load deflection criteria.
 Minimum bearing length for B0 is 1-1/2".
 Minimum bearing length for B1 is 1-1/2".
 Member Slope = 0, consider drainage.
 Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

JAN 29 2004

Single 14" AJS™ 25 MSR

Job Name:
 Address:
 City, State, Zip: *Garage Floor Joists*
 Customer:
 Code reports: BOCA 22-09, SBCCI 9707D, ICBO PFC-5504

File Name: BC CALC Project : J01
 Description:
 Specifier:
 Designer: MB
 Company: Hancock Lumber
 Misc:



613 lbs LL
 153 lbs DL

613 lbs LL
 153 lbs DL

Total Horizontal Length - 23-00-00

General Data

Version: US Imperial
 Member Type: Joist
 Number of Spans: 1
 Left Cantilever: No
 Right Cantilever: No
 Slope: 0/12
 OC Spacing: 16"
 Repetitive: Yes
 Construction Type: Glued
 Live Load: 40 psf
 Dead Load: 10 psf
 Partition Load: 0 psf
 Duration: 100

Disclosure

The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)232-0788 before beginning product installation.

BC CALC®, BC FRAMER®, BCI®, BC RIM BOARD™, BC OSB RIM BOARD™, BOISE GLULAM™, VERSA-LAM®, VERSA-RIM®, VERSA-RIM PLUS®, VERSA-STRAND™, VERSA-STUD®, ALLJOIST® and AJS™ are trademarks of Boise Cascade Corporation.

Load Summary

ID	Description	Load Type	Ref.	Start	End	Type	Value	OCS	Dur.
S	Standard Load	Unf. Area	Left	00-00-00	23-00-00	Live	40 psf	16"	100%
						Dead	10 psf	16"	90%

Controls Summary

Control Type	Value	% Allowable	Duration	Load Case	Span Location
Moment	4408 ft-lbs	61.5%	100%	2	1 - Internal
Neg. Moment	0 ft-lbs	n/a	100%		
End Reaction	767 lbs	67.0%	100%	2	1 - Left
Total Load Defl.	L/506 (0.545")	47.4%		2	1
Live Load Defl.	L/633 (0.436")	75.9%		2	1
Max Defl.	0.545"	54.5%		2	1
Span / Depth	19.7	n/a			1

Notes

Design meets Code minimum (L/240) Total load deflection criteria.
 Design meets User specified (L/480) Live load deflection criteria.
 Design meets arbitrary (1") Maximum load deflection criteria.
 Minimum bearing length for B0 is 1-3/4".
 Minimum bearing length for B1 is 1-3/4".
 Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

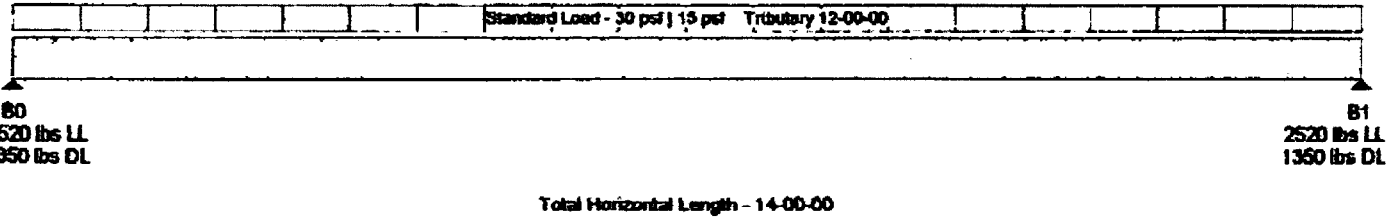
JAN 29 2004

Single 5 1/4" x 9 1/2" VERSA-LAM® 3080 DF

Job Name:
 Address:
 City, State, Zip: .
 Customer:
 Code reports: ICBO 5663, NER 442

File Name: BC CALC Project : FB01
 Description:
 Specifier:
 Designer: MB
 Company: Hancock Lumber
 Misc:

Kitchen Area



General Data
 Version: US Imperial
 Member Type: Floor Beam
 Number of Spans: 1
 Left Cantilever: No
 Right Cantilever: No
 Slope: 0/12
 Tributary: 12-00-00
 Live Load: 30 psf
 Dead Load: 15 psf
 Partition Load: 0 psf
 Duration: 100

Load Summary

ID	Description	Load Type	Ref.	Start	End	Type	Value	Trib.	Dur.
S	Standard Load	Unif. Area	Left	00-00-00	14-00-00	Live	30 psf	12-00-00	100%
						Dead	15 psf	12-00-00	90%

Controls Summary

Control Type	Value	% Allowable	Duration	Load Case	Span Location
Moment	13544 ft-lbs	65.1%	100%	2	1 - Internal
Neg. Moment	0 ft-lbs	n/a	100%		
End Shear	3432 lbs	36.2%	100%	2	1 - Left
Total Load Defl.	L/264 (0.637")	91.0%		2	1
Live Load Defl.	L/405 (0.415")	88.9%		2	1
Max Defl.	0.637"	63.7%		2	1

Notes
 Design meets Code minimum (L/240) Total load deflection criteria.
 Design meets Code minimum (L/360) Live load deflection criteria.
 Design meets arbitrary (1") Maximum load deflection criteria.
 Minimum bearing length for B0 is 1-1/2".
 Minimum bearing length for B1 is 1-1/2".
 Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

Disclosure
 The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)232-0788 before beginning product installation.

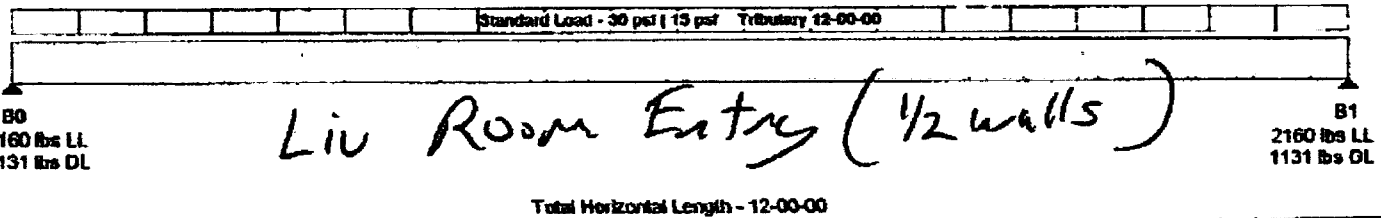
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JAN 29 2004

Single 3 1/2" x 9 1/2" VERSA-LAM® 3080 DF

Job Name:
 Address:
 City, State, Zip:
 Customer:
 Code reports: ICBO 5663, NER 442

File Name: BC CALC Project : FB01
 Description:
 Specifier:
 Designer: MB
 Company: Hancock Lumber
 Misc:



General Data

Version: US Imperial

Member Type: Floor Beam

Number of Spans: 1

Left Cantilever: No

Right Cantilever: No

Slope: 0/12

Tributary: 12-00-00

Live Load: 30 psf

Dead Load: 15 psf

Partition Load: 0 psf

Duration: 100

Disclosure

The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)232-0788 before beginning product installation.

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Load Summary

ID	Description	Load Type	Ref.	Start	End	Type	Value	Trib.	Dur.
S	Standard Load	Unf. Area	Left	00-00-00	12-00-00	Live	30 psf	12-00-00	100%
						Dead	15 psf	12-00-00	90%

Controls Summary

Control Type	Value	% Allowable	Duration	Load Case	Span Location
Moment	9874 ft-lbs	71.2%	100%	2	1 - Internal
Neg. Moment	0 ft-lbs	n/a	100%		
End Shear	2857 lbs	45.2%	100%	2	1 - Left
Total Load Defl.	L/281 (0.512")	85.3%		2	1
Live Load Defl.	L/429 (0.336")	84.0%		2	1
Max Defl.	0.512"	51.2%		2	1

Notes

Design meets Code minimum (L/240) Total load deflection criteria.
 Design meets Code minimum (L/360) Live load deflection criteria.
 Design meets arbitrary (1") Maximum load deflection criteria.
 Minimum bearing length for B0 is 1-1/2".
 Minimum bearing length for B1 is 1-1/2".
 Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

JAN 29 2004

UNIV. PK. 64 Yale St. Lot #7
438-A-6

04-0050

Component	Plan Reviewer	Inspection/Date/Findings
Soil type/Presumptive Load Value (Table 401.4.1)	? Sandy/gravel	
STRUCTURAL Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	10" x 18"	OK
Foundation Drainage Dampproofing (Section 406)	Bituminous / filter fabric	OK
Ventilation (Section 409.1) Crawls Space ONLY	? No plan 11x17 none shown	OK
Anchor Bolts/Straps (Section 403.1.4)	? Spacing	
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	3 1/2" 2' x 2' x 8" pads ? No Foundation plan 11x17	OK carrying 1 Floor
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	3-2x12 w ledger 8'0 max	OK
Sill/Band Joist Type & Dimensions	2x6 P.T. 2x10	
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2x10 ?	16 O.C. OK
Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))	2x10 ?	16 O.C. OK

Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	2x8	16 o.c.
Roof Rafter; Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	5:12 8:12 2x10 or trusses 2x4 collar tie 2x12 Ridge	OK
Sheathing; Floor, Wall and roof (Table 503.2.1(1))	3/4" Advantec 7/16 OSB, 1/2 CDX Ply	
Fastener Schedule (Table 602.3(1) & (2))	?	BOCA 1999 OK
Private Garage Section 309 and Section 407 1999 BOCA) Living Space ? (Above or beside)	yes	
Fire separation	5/8" wall & only unfinished space above	
Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	45 min garage & 2nd FL.	
Egress Windows (Section 310)	7 No 2nd FL. Plan 11x17	OK
Roof Covering (Chapter 9)	25 Yr Asphalt 3 tab	OK
Safety Glazing (Section 308)	N/A	OK
Attic Access (BOCA 1211.1)	22x32" Closet 2nd.	OK
Draft Stopping around chimney	N/A No chimney ?	OK

carrying wall = 10' Section & 2 Floor loads

See spec
OK

Header Schedule	Garage LVL 117/8" x 13/4 (3) Garage steel	need spec.
Type of Heating System	? direct vent	OK
Stairs		
Number of Stairways	2	OK
Interior	1	
Exterior		
Treads and Risers (Section 314)	10" tread 7.57 Riser	
Width	?	6'8"
Headroom	?	
Guardrails and Handrails (Section 315)	36" & 34" to 38" less than 4" returned	OK
Smoke Detectors Location and type/Interconnected	shows on plan	OK
Plan Reviewer Signature		

See Chimney Summary Checklist

No Front Porch Detail

OK

TABLE 1003.1
SUMMARY OF REQUIREMENTS FOR MASONRY FIREPLACES AND CHIMNEYS

NOTE: This table provides a summary of major requirements for the construction of masonry chimneys and fireplaces. Letter references are to Figure 1003.1, which shows examples of typical construction. This table does not cover all requirements, nor does it cover all aspects of the indicated requirements. For the actual mandatory requirements of the code, see the indicated section of text.

ITEM	LETTER	REQUIREMENTS
Hearth and hearth extension thickness	A	4-inch minimum thickness for hearth. 2-inch minimum thickness for hearth extension.
Hearth extension (each side of opening)	B	12 inches for fireplace opening greater than or equal to 6 square feet. 8 inches for fireplace opening less than 6 square feet.
Hearth extension (front of opening)	C	16 inches for fireplace opening less than 6 square feet. 20 inches for fireplace opening greater than or equal to 6 square feet.
Hearth and hearth extension reinforcing	D	Reinforced to carry its own weight and all imposed loads.
Firebox dimensions	E	20-inch minimum firebox depth. 12-inch minimum firebox depth for Rumford fireplaces.
Thickness of wall of firebox	F	10 inches solid masonry or 8 inches where firebrick lining is used.
Distance from top of opening to throat	G	8 inches minimum.
Smoke chamber	H	Wall thickness 6 inches lined; 8 inches unlined. Dimensions Not taller than opening width; walls not inclined more than 45 degrees from vertical for prefabricated smoke chamber linings or 30 degrees from vertical for corbelled masonry.
Chimney vertical reinforcing ^a	I	Four No. 4 full-length bars for chimney up to 40 inches wide. Add two No. 4 bars for each additional 40 inches or fraction of width, or for each additional flue.
Chimney horizontal reinforcing ^a	J	1/4-inch ties at each 18 inches, and two ties at each bend in vertical steel.
Fireplace liner	K	Noncombustible material with 4-inch load-bearing length of each side of opening.
Chimney walls with flue lining	L	4-inch-thick solid masonry with liner. 1/2-inch grout or airspace between liner and wall.
Effective flue area (based on area of fireplace opening and chimney)	M	See Section 1001.12.
Clearances	N	From chimney 2 inches interior, 1 inch exterior. From fireplace 2 inches front, back or sides. 6 inches from opening. 3 feet above roof penetration, 2 feet above part of structure within 10 feet.
Anchorage ^a	O	Strap 3/16 inch by 1 inch. Two. 12 inches hooked around outer bar with 6-inch extension. Four joists. Two 1/2-inch diameter.
Footings	P	Thickness 12-inch minimum. Width 6 inches each side of fireplace wall.

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 square foot = 0.0929 m², 1 degree = 0.01745 rad.

^a Required only in Seismic Zones 3 and 4.