

More Road

Lot 10
10-15



Full cut #920R - Half cut #9202R - Third cut #9203R - Fifth cut #9205R

CERTIFICATE OF APPROVAL

FOR INTERNAL PLUMBING FOR THE TOWN/CITY OF _____

OWNER Shirley L. ...

ADDRESS 1/4 W. ..., MAINE
Location where plumbing was done and inspected

Plumbing Installed by B. ...

Cert. of App. Number

No 7496 IC

Date C.O.A. Issued
MAY 9 1978
Month Day Year

Date Inspected
MAY 12 1978
Month Day Year

Date Permit issued

THE INTERNAL PLUMBING INSTALLED PURSUANT TO THE ABOVE CERTIFICATE OF APPROVAL NUMBER HAS BEEN TESTED IN MY PRESENCE, FOUND TO BE FREE FROM LEAKS, AND WAS INSTALLED IN COMPLIANCE WITH THE MUNICIPAL AND STATE PLUMBING REGULATIONS.

State Office Use Only
Date Received

Signature of LPI _____

ORIGINAL—To be sent to: Department of Human Services
Division of Health Engineering 221 State Street Augusta, Maine 04333

INTERNAL PLUMBING PERMIT FOR THE TOWN/CITY OF

Town/City Code 00210 LPI Number 1123 License Number 11117 Date Issued 11 21 77 PERMIT NUMBER **No 7496 IP**

Address of Building 1015 ...
St/Lot Number ... Street, Road Name/Subdivision ... St. Pd Av/Lot ...

Name of Owner M. ... Last Name ... F.I. ... M.I. ... Mailing Address ... Zip Code ...

- Type of Construction: 1. New, 2. Remodeling, 3. Addition, 4. Remodeling & Addition, 5. Replacement of Hot Water Heater, 6. Hook-up of Mobile Home, 7. Minor Change, 8. Other (Specify) 1
- Plumbing to Serve: 1. Single (Res), 2. Multi-Fam (Res), 3. Mobile Home, 4. Mobile Home without Seal, 5. Commercial, 6. School, 7. Other (Specify) 1

SCHEDULE OF "FEES"
(See Sect. 1.12 of the Part I Code)

1-10 Fixtures	\$2.00 each
11-20 Fixtures	\$1.00 each
21 Fixtures on up	\$.50 each
Hook-ups	\$2.00 each

Note: Hotwater Heater (tank or tankless) is considered a fixture!

Fixture	#	Fixture	#	Fixture	#
Sinks	1	Toilets	1	Hot Water Heaters	1
Urinals	1	Floor Drains	1		
Bathtubs	1	Clothes Washers	1	Other	
Lavatories	1	Dish-Washers	1	Hook-ups	

Quantity Fee
Fixtures 11 11.00
Hook-ups 1 2.00
Administrative fee 3 0 0
Total or Double Fee 17 0 0
Double Fee 1. Yes

Date Received _____ Receipt Number _____ Money Received _____
Administrative Code

Signature of LPI _____

This "Internal Plumbing Permit" is invalid if work is not commenced within six(6) months from date of issuance. Upon completion of work a "Certificate of Approval" must be obtained.
Original—To be sent to: Department of Human Services, Division of Health Engineering 221 State Street, Augusta, Maine 04333



R3 RESIDENCE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure _____
Portland, Maine, July 2, 1971

PERMIT 1599-21

JUL 13 1971
837

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 16 Mona Road, Portland, Maine Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Frank Boyce Telephone 797-4129
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Maine Shawnee Step Co., Inc., Auburn Telephone _____
 Architect _____ Specifications _____ Plans _____ No. of sheets _____
 Proposed use of building dwelling No. families 1
 Last use _____ No. families _____
 Material _____ No. stories 1 1/2 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 411.00 Fee \$ 3.00

General Description of New Work

FRONT Shawnee step 5' wide, 4 risers, 42" platform. Ht=30", Proj=72".
To replace old wood step approximate same size.
Foundation - concrete pads and angle irons.

According to standard Shawnee plan. Approved by R. I. Perry,
Structural Engineer filed in the building department 8/15/57.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber-Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

R.I.B. 7/12/71

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

CS 301

INSPECTION COPY

Signature of owner

Richard L. Druwe

MAINE SHAWNEE STEP CO., INC.
1022 MINOT AVENUE
AUBURN, MAINE 04210

RL

NOTES

Permit No. 71/1937

Location 116 Shuman Road

Owner Frank Justice

Date of permit 2/13/71

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

LSO: LAUNA

Nothing yet. H
Installed H
2/19/71
8/8/71

~~Empty lined area with a large handwritten X across it.~~

PERMIT TO INSTALL PLUMBING

Address **Lot 12 Hona Road** PERMIT NUMBER **665**

Installation For: _____

Owner of Bldg **Alnat Corp., 34, Preble St.**

Owner's Address: _____

Plumber **William Miles** Date **8/18/70**

Date Issued **8/18/70**
 Portland Plumbing Inspector
 By **ERNOLD R GOODWIN**

App. First Insp. _____
 Date _____
 By _____
 App. Final Insp. _____
 Date **ERNOLD R. GOODWIN**
 By _____

- Type of Bldg.
- Commercial
 - Residential
 - Single
 - Multi Family
 - New Construction
 - Remodeling

NEW	REPL		NO	FEE
1		SINKS	1	2.00
1		LAVATORIES	1	2.00
1		TOILETS	1	2.00
1		BATH TUBS	1	2.00
1		SHOWERS	1	2.00
		DRAINS FLOOR SURFACE	1	2.00
1		HOT WATER TANKS		
		TANKLESS WATER HEATERS	1	.60
		GARBAGE DISPOSALS		
		SEPTIC TANKS		
		HOUSE SEWERS		
1		ROOF LEADERS		
		AUTOMATIC WASHERS	1	.60
		DISHWASHERS		
		OTHER		
			TOTAL	11.20

Building and Inspection Services Dept.: Plumbing Inspection

Addition on house. Move meter to end of house.

CITY OF PORTLAND, MAINE
Application for Permit to Install Wires

Permit No. *54705*
Issued *8/11/70*
Portland, Maine *Aug 10*, 19*70*

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

(This form must be completely filled out - Minimum Fee, \$1.00)

Owner's Name and Address *Frank Boyd* Tel.
Contractor's Name and Address *Paul Beaune* Tel. *4-3678*
Location *16 Moore Rd* Use of Building *Dwelling*
Number of Families *1* Apartments Stores Number of Stories *one*
Description of Wiring: New Work Additions Alterations
1.50 Amp Service Cable - Same Disconnect at Present
Pipe Cable Metal Molding BX Cable Plug Molding (No. of feet)
No. Light Outlets Plugs Light Circuits Plug Circuits
FIXTURES: No. Fluor. or Strip Lighting (No. feet)
SERVICE: Pipe Cable Underground No. of Wires *3* Size *2-2-4*
METERS: Relocated Added Total No. Meters
MOTORS: Number Phase H. P. Amps Volts Starter
HEATING UNITS: Domestic (Oil) No. Motors Phase H.P.
Commercial (Oil) No. Motors Phase H.P.
Electric Heat (No. of Rooms)
APPLIANCES: No. Ranges Watts Brand Feeds (Size and No.)
Elec. Heaters Watts
Miscellaneous Watts Extra Cabinets or Panels
Transformers Air Conditioners (No. Units) Signs (No. Units) *will call*
Will commence *Aug 11*, 19*70* Ready to cover in 19 Inspection *W*, 19*70*
Amount of Fee \$ *2.00*
Signed *Paul Beaune*

DO NOT WRITE BELOW THIS LINE

SERVICE METER GROUND
VISITS: 1 2 3 4 5 6
7 8 9 10 11 12

REMARKS:

INSPECTED BY *JW Hester*
(OVER)

LOCATION *Monz Rd 16*
 INSPECTION DATE *8/31/70*
 WORK COMPLETED *8/31/70*
 TOTAL NO. INSPECTIONS *1*
 REMARKS:

FEEES FOR WIRING PERMITS EFFECTIVE JULY 31, 1968

WIRING

1 to 30 Outlets \$ 2.00
 31 to 60 Outlets 3.00
 Over 60 Outlets, each Outlet05
 (Each twelve feet or fraction thereof of fluorescent lighting or
 any type of plug molding will be classed as one outlet).

SERVICES

Single Phase 2.00
 Three Phase 4.00

MOTORS

Not exceeding 50 H.P. 3.00
 Over 50 H.P. 4.00

HEATING UNITS

Domestic (Oil) 2.00
 Commercial (Oil) 4.00
 Electric Heat (Each Room)75

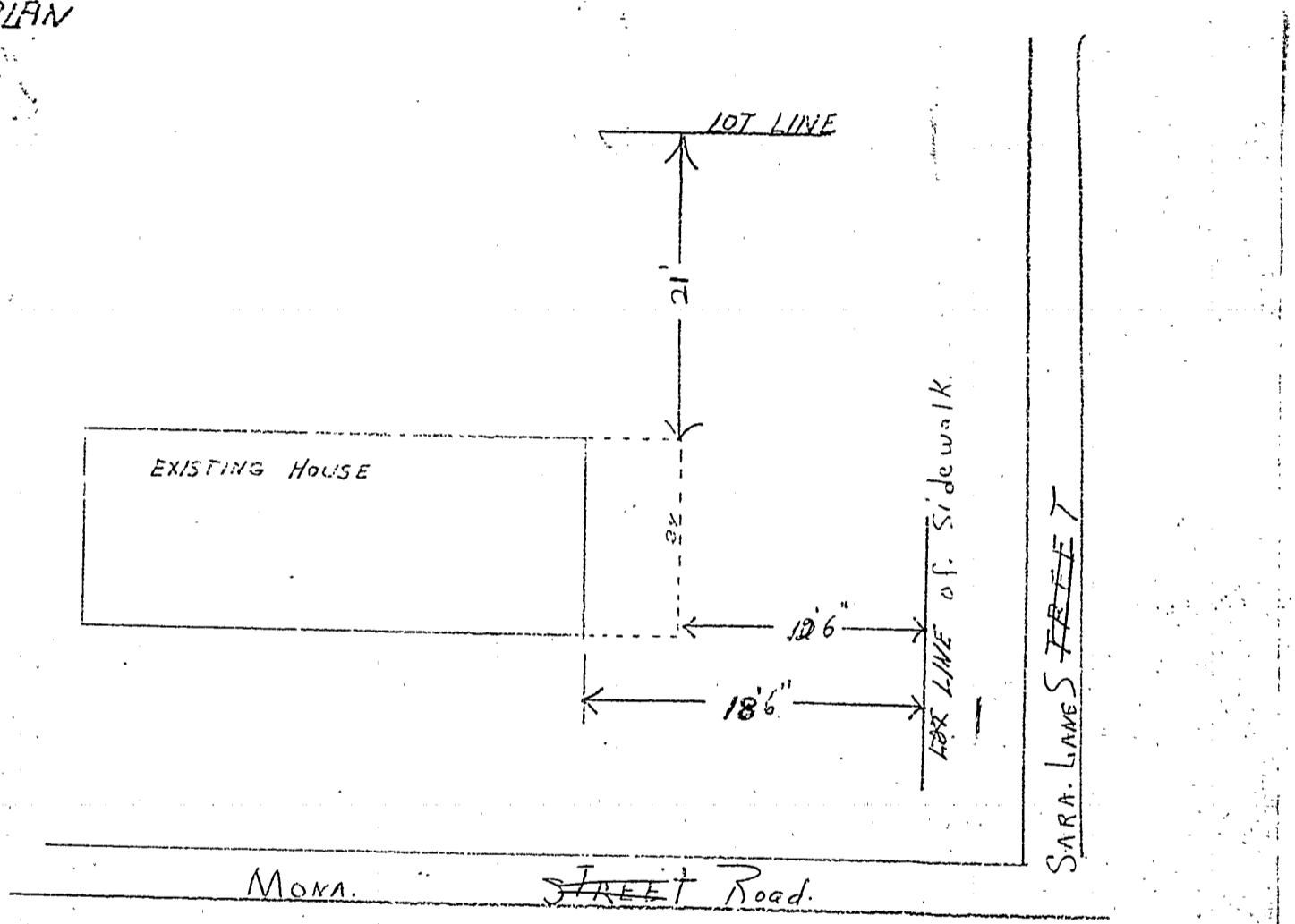
APPLIANCES

Ranges, Cooking Tops, Ovens, Water Heaters, Disposals, Built-in
 Dishwashers, Dryers, and any permanent built-in appliance — each
 unit 1.50

MISCELLANEOUS

Temporary Service, Single Phase 1.00
 Temporary Service, Three Phase 2.00
 Circuses, Carnivals, Fairs, etc.

PLAN

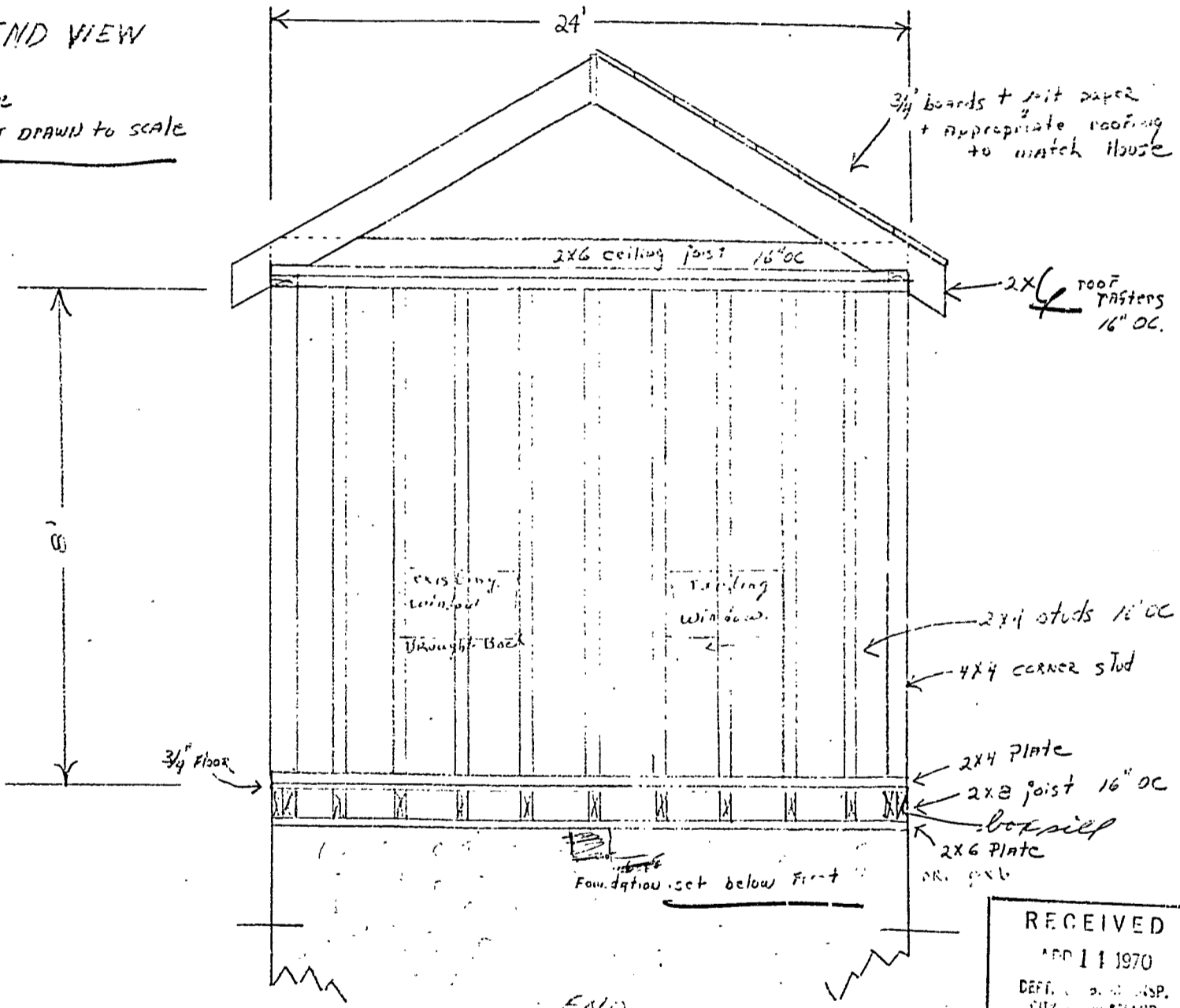


RECEIVED
APR 11 1970
DEPT. OF PLAN. INSP.
CITY OF PORTLAND

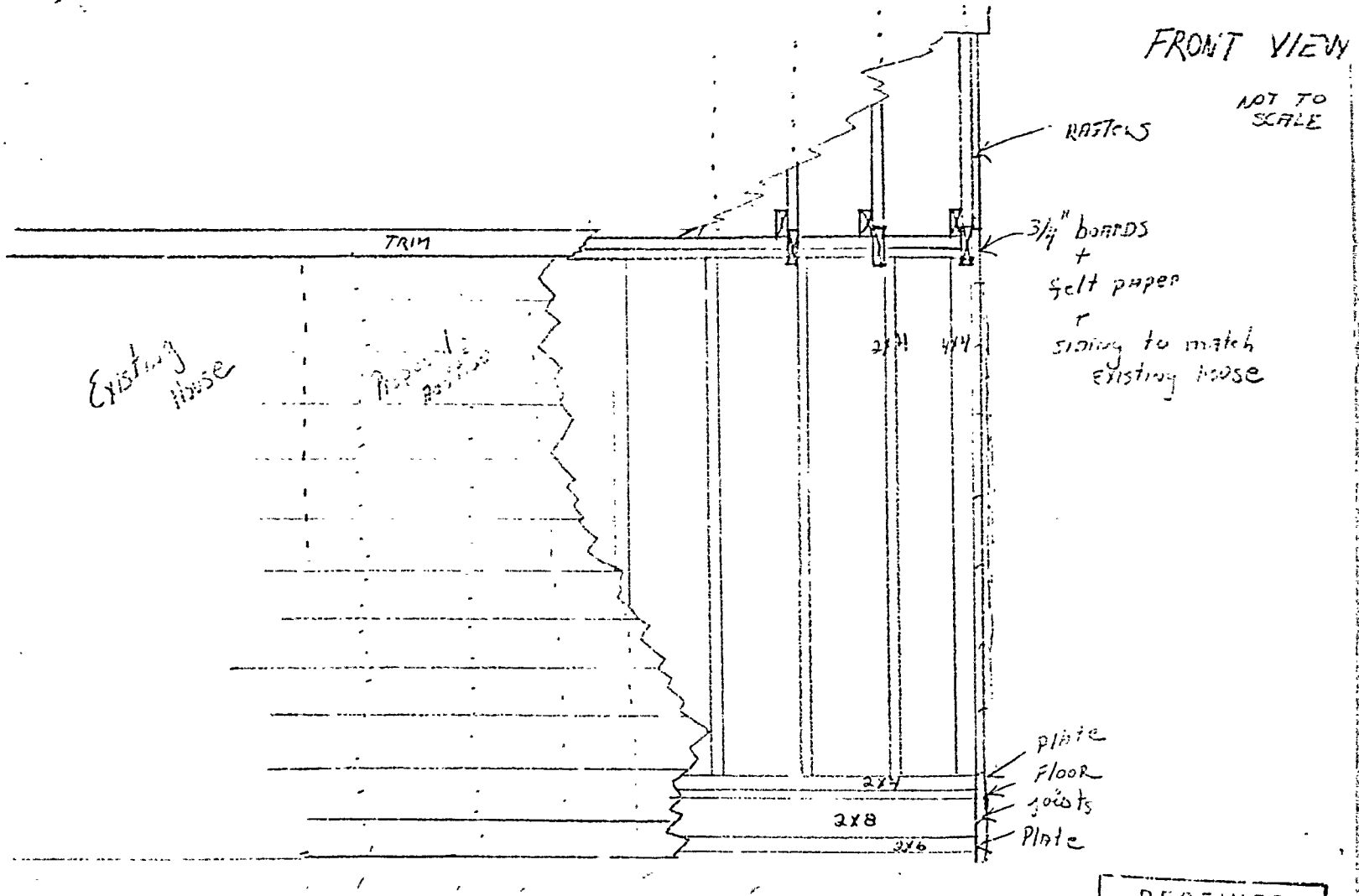
NOT TO SCALE

END VIEW

* NOTE
- NOT DRAWN TO SCALE



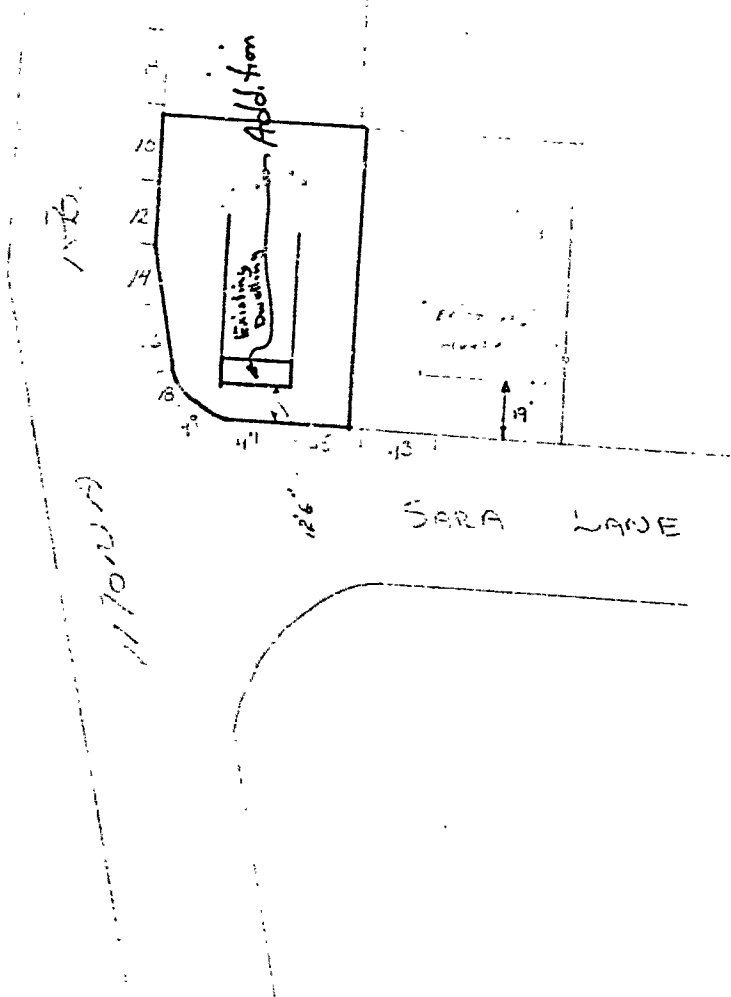
RECEIVED
APR 11 1970
DEPT. OF PLANNING
CITY OF PORTLAND



FRONT VIEW

NOT TO SCALE

RECEIVED
 APR 11 1970
 DEPT. OF PUBLIC WORKS
 CITY OF PORTLAND





R3 RESIDENCE ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
JUL 1 1970
CITY of PORTLAND

Class of Building or Type of Structure Third Class
Portland, Maine, April 14, 1970

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE Completed 6/30/70

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 16 Mona Road Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Frank A & Frances L. Boyce, 16 Mona Road Telephone 797-4129
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Leonard J. Guimond, 318 High Ave. So. Portland Telephone 799-2057
 Architect _____ Land _____ Telephone _____
 Proposed use of building Dwelling Specifications _____ Plans yes No. of sheets 3
 Last use _____ " _____ No. families 1
 Material frame No. stories 1 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 3000. Fee \$ 9.00
 paid 6/30/70

General Description of New Work

To construct 1-story frame addition 6' x 24' on right side of dwelling.

This application is preliminary to get settled the question of zoning appeal. In event the appeal is sustained the applicant will furnish complete information estimated cost and pay legal fee.

Appeal sustained 4/30/70

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO ~~owner~~ contractor**

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? yes
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? yes
 Height average grade to top of plate 10' Height average grade to highest point of roof 15'
 Size, front _____ depth _____ No. stories 1 solid or filled land? solid earth or rock? earth
 Material of foundation concrete at least 4' below grade Thickness, top 10" bottom 10" cellar no
 Kind of roof pitch Rise per foot 7" Roof covering asphalt roofing Class C Und. Lab.
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind hemlock; Dressed or full size? dressed Corner posts xxx Sills xxx box
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2x8, 2nd _____, 3rd _____, roof 2x6
 On centers: 1st floor 16", 2nd _____, 3rd _____, roof 16"
 Maximum span: 1st floor 6', 2nd _____, 3rd _____, roof 12'
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:
B. Coole O.K., E.S.S 7/1/70

Miscellaneous
 Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

CS 501
 INSPECTION COPY
 Signature of owner by: Frances L. Boyce
 Frank A & Frances L. Boyce

Permit No. 701723
Location 16 Maxwell Park
Owner Bruce & Debra Bennett, Bayes
Date of permit 7/11/70
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn.
Cert. of Occupancy issued
Staking Out Notice
Form Check Notice

NOTES

10/5/70 - no order
[Signature]

[Large handwritten 'X' mark across the notes section]

CITY OF PORTLAND, MAINE
IN THE BOARD OF APPEALS

MISCELLANEOUS APPEAL

Fee paid \$500

4/14/70

Granted 4/30/70

70/32

Frank A. & Francis L. Boyce, owner of property at 16 Mona Road
under the provisions of Section 24 of the Zoning Ordinance of the City of Portland,
hereby respectfully petitions the Board of Appeals to permit: construction of a 1-story
frame addition 6' x 24' on right side of dwelling. This permit is presently not
issuable under the Zoning Ordinance because the side yard on the side street will only
be 12'6" instead of the 20' required under the Zoning Ordinance (Section 602.4b.3)
pertaining to the R-3 Residential Zone in which the property is located.

LEGAL BASIS OF APPEAL: Such permit may be granted only if the Board of Appeals find
that enforcement of the terms of the Ordinance would result in undue hardship and
desirable relief may be granted without substantially departing from the intent and
purpose of the Ordinance.

Francis L. Boyce
APPELLANT

DECISION

After public hearing held April 30, 1970, the Board of Appeals finds that
enforcement of the terms of the Ordinance would result in undue hardship and
desirable relief may be granted without substantially departing from the intent
and purpose of the Ordinance.

It is, therefore, determined that such permit may be issued.

BOARD OF APPEALS

Franklin G. Hilday
Harry M. [Signature]
Robert [Signature]

DATE: April 30, 1970

HEARING ON APPEAL UNDER THE ZONING ORDINANCE OF Frank A. & Frances L. Boyce

AT 16 Mona Road, Portland, Maine

Public Hearing on the above appeal was held before the Board of Appeals.

BOARD OF APPEALS

	YES	VOTE	NO
Franklin G. Hinckley	(x)		()
Ralph L. Young	(x)		()
Harry M. Shwartz	(x)		()

Record of Hearing

16 Mona Road
corner Sarah Lane

April 15, 1970

Frank A & Francis L. Boyce
16 Mona Road

cc to: Leonard J. Guimond
318 Highland Ave. So. Portland
cc to: Corporation Counsel

Dear Mr. & Mrs. Boyce:

Permit to construct 1-story frame addition 6' x 24' on right side of dwelling at the above named location in the R-3 Residential Zone in which this property is located is presently not issuable because the side yard on the side street will only be 12'6" instead of the 20' required under Section 602.4b.3 of the Zoning Ordinance.

We understand that you would like to exercise your appeal rights in this matter. Accordingly you or your authorized representative should come to this office in Room 113, City Hall to file the appeal on forms which are available here. A fee of \$5.00 shall be paid at the time the appeal is filed.

Very truly yours,

A. Allan Soule
Assistant Director Building Inspection Dept.

AAS:m

April 27, 1970

Mr. Frank Boyce
16 Mona Road

Dear Mr. Boyce:

April 30, 1970

CITY OF PORTLAND, MAINE
IN THE BOARD OF APPEALS

April 27, 1970

TO WHOM IT MAY CONCERN:

The Board of Appeals will hold a public hearing in the Council Chamber at City Hall, Portland, Maine on Thursday, April 30, 1970 at 4:00 p.m. to hear the appeal of Frank A. and Francis L. Boyce requesting an exception to the Zoning Ordinance to construct a one-story frame addition 6' x 24' on right side of dwelling at 16 Mona Road.

This permit is presently not issuable under the Zoning Ordinance because the addition will be only 12'6" from the side street instead of the 20' required under the Zoning Ordinance (Section 502.4b.3) pertaining to the R-3 Residential Zone in which the property is located.

All persons interested either for or against this appeal will be heard at the above time and place.

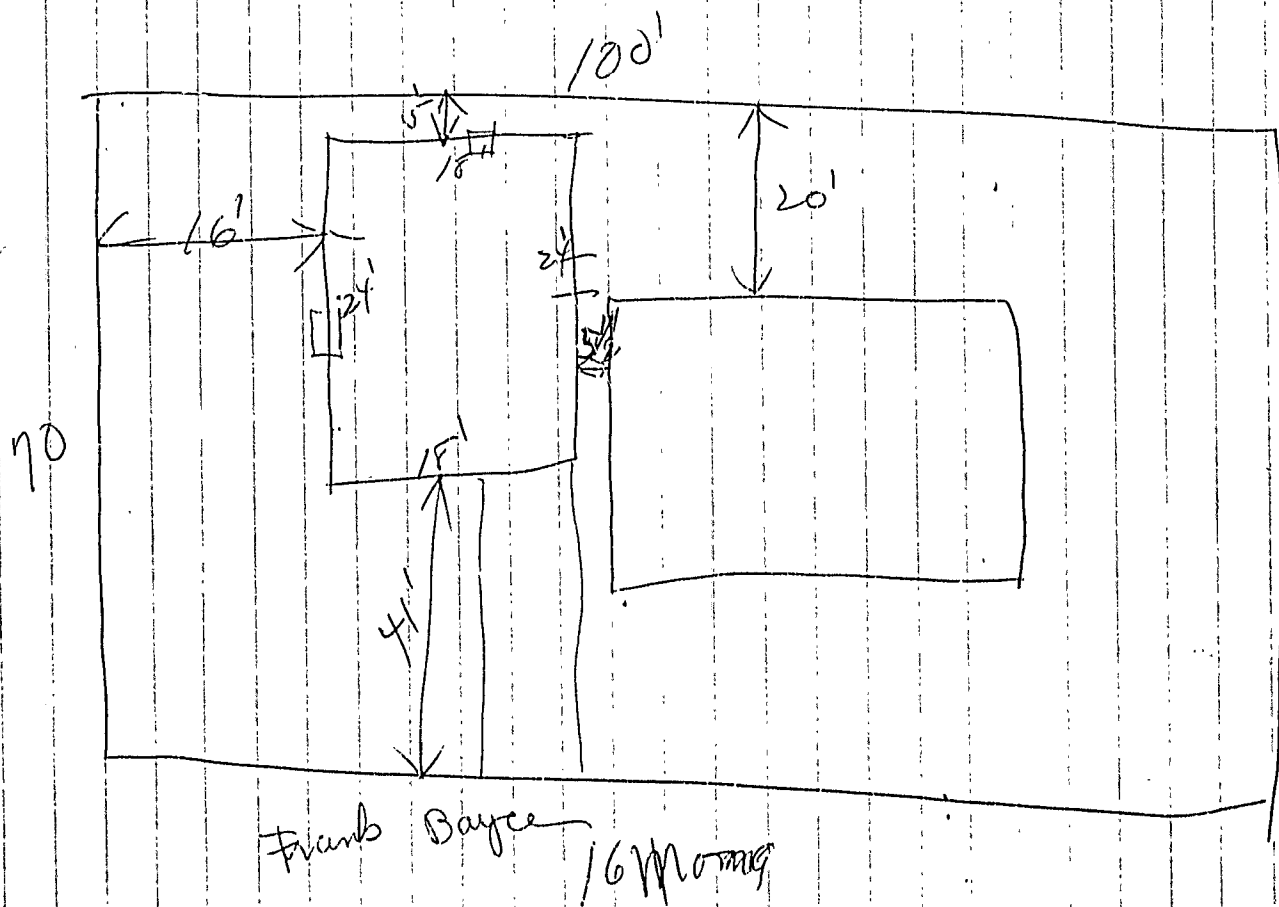
BOARD OF APPEALS

Franklin G. Hinkley

Chairman

h
cc: Douglas T. & Hilda E. Chapman
41 Sara Lane

Ruth H. Kenny
221 Valley St.





P-3

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, May 2, 1968

PERMIT ISSUED
MAY 6 1968 **388**
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 16 Mona Road Within Fire Limits? _____ Dist. No. _____
Owner's name and address Frank Boyce, 16 Mona Road Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address Harvey S. McLaughlin, 335 Falmouth Rd. Telephone 781-2686
Architect _____ Specifications Falmouth Plans yes No. of sheets 1
Proposed use of building 1-car garage No. families _____
Last use _____ No. families _____
Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot dwelling
Estimated cost \$ 1400. Fee \$ 6.00

General Description of New Work

To construct 1-car frame garage 18'x24'

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate 8' Height average grade to highest point of roof 12'
Size, front 18' depth 24' No. stories 1 solid or filled land? solid earth or rock? earth
Material of foundation concrete at least 4' below grade Thickness, top 10" bottom 10" cellar no
Material of underpinning _____ Height _____ Thickness from water table
Kind of roof pitch Rise per foot 5" Roof covering asphalt roofing Class C Und. Lab. _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind hemlock Dressed or full size? dressed
Corner posts 4x6 Sills 4x6 Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-24" O. C. Bridging in every floor and flat roof span over 8 feet L.C.
Joists and rafters: 1st floor concrete, 2nd _____, 3rd _____, roof truss Andrew
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot 0, to be accommodated 1 number commercial cars to be accommodated 0.
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

APPROVED:
04-576148 - 0266

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Frank Boyce

INSPECTION COPY

Signature of owner

By:

Harvey S. McLaughlin

PH

NOTES

5/2/68 - Foundation O.K. *SR*

5/23/68 - Rough excavation E.S.S. *SR*

6/17/68 - Framed up - roof lower. *E.S.S.*

7/9/68 - Same, little fancy
masonry. *SR*

10/10/68 - walls done E.S.S.!

Permit No. *1019*

Location *1601 13th St*

Owner *Frank & Joyce*

Date of permit *5/2/68*

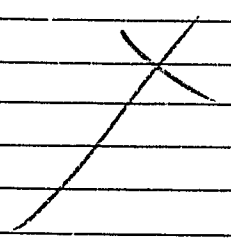
Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued



(COPY)

CITY OF PORTLAND, MAINE
Department of Building Inspection



Certificate of Occupancy

LOCATION Lot 40¹⁹⁻¹⁶ Mona Road

Issued to Clement Edgecomb

Date of Issue Aug. 21, 1956

This is to certify that the building, premises, or part thereof, at the above location, built—~~altered~~
~~changed or use~~ under Building Permit No. 56/328, has had final inspection, has been found to conform
substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for
occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

One-family Dwelling House

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

8/20/56
(Date)

Carel Smith
Inspector

Warren [Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from
owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

BOUNDARY MARKINGS AND STREET
GRADES ARE BASED ON SURVEY BY
CARL EMERY AND SURVEY PLAN
IS AVAILABLE.

PROPOSED DWELLING
AT
LOT 40 MONA ROAD
SCALE: 1"=30'

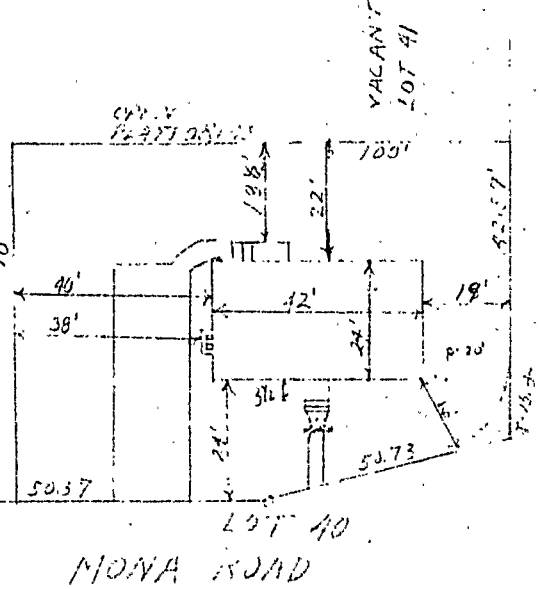
*This distance is 21'
on plot plan for this dwelling*

OWNER: THE MINAT CORP
CONTRACTOR: SAME
PLAN MAKER: A COPE

EXISTING
DWELLING



100' WASHINGTON AVE



SARA LANE

LOT 40
MONA ROAD



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, March 20, 1956

PERMIT ISSUED

00328
MAR 23 1956

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~alter or repair~~ demolish ~~instead~~ the following building ~~structure~~ dwelling in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location (10-16) Mona Road Lot 40 Within Fire Limits? no Dist. No. _____
 Owner's name and address The Minat Corp., 34 Preble St. Telephone 4-8013
 Lessee's name and address _____ Telephone _____
 Contractor's name and address owner Telephone _____
 Architect _____ Specifications _____ Plans yes No. of sheets 2
 Proposed use of building dwelling house No. families 1
 Last use _____ No. families _____
 Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 10,000. Fee \$ 10.00

General Description of New Work

To construct 1-story frame dwelling house 42' x 24'.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owner

Details of New Work

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes
 Is connection to be made to public sewer? yes If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent?
 Height average grade to top of plate 11' Height average grade to highest point of roof 16'
 Size, front 42' depth 24' No. stories 1 1/2 solid or filled land? solid earth or rock? earth
 Material of foundation concrete at least 4' below grade Thickness, top 10" bottom 12" cellar yes
 Material of underpinning " to sill _____ Height _____ Thickness _____
 Kind of roof pitch-gable Rise per foot 5" Roof covering Asphalt Class C Und Lab
 No. of chimneys 1 Material of chimneys brick of lining tile Kind of heat h. water fuel oil
 Framing lumber—Kind hemlock Dressed or full size? dressed
 Corner posts 1x6 Sills box Girt or ledger board? _____ Size _____
 Girders yes Size 6x8 Columns under girders lally Size 3 1/2" Max. on centers 7'
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2x8, 2nd 2x8, 3rd _____, roof 2x8
 On centers: 1st floor 16", 2nd 16", 3rd _____, roof 24"
 Maximum span: 1st floor 12', 2nd 12', 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

O.R.-3/23/56-agg

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

The Minat Corp.

Signature of owner by: [Signature]

SECTION COPY

Clemens Edgcomb
NOTES

4-11-56 Forms OK 7.70

4/11/56 - Left C. T. to
close in E. S. S.

8/20/56: W. D. C. C. C.
Certificate to be issued
E. S. S.

Blank lined area with a large 'X' drawn across it.

Permit No. 56/328
Location: 1400 M. W. C. Road
Owner: J. W. C. C. C.
Date of permit: 3/23/56
Notif. closing-in: 4/11/56
Inspn. closing-in: 6/11/56
Final Notif.: 8/17/56
Final Inspn.: 12/30
Cert. of Occupancy issued: 8/21/56
Staking Out Notice
Form Check Notice: 4/10/56

47-57-613-4
47-57-613-4

Blank lined area for notes or additional information.

REGISTRATION COPY



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Aug. 3, 1956

PERMIT NO. 01193 AUG 6 1956 CITY OF PORTLAND ME

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Lot 10 Lona Road (10-16) Use of Building 1-family dwelling No. Stories 1 New Building Existing
Name and address of owner of appliance The Linat Corp., 34 Preble St.
Installer's name and address Pallotta Oil Co., 112 Exchange St. Telephone 6-2671

General Description of Work

To install forced hot water heating system and oil burning equipment

IF HEATER, OR POWER BOILER

Location of appliance basement Any burnable material in floor surface or beneath? no
If so, how protected? Kind of fuel? oil
Minimum distance to burnable material, from top of appliance or casing top of furnace over 15"
From top of smoke pipe over 15" From front of appliance over 4" From sides or back of appliance over 3"
Size of chimney flue 8x12 Other connections to same flue none
If gas fired, how vented? Rated maximum demand per hour
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

IF OIL BURNER

Name and type of burner Fluid Heat Labeled by underwriters' laboratories? yes
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom
Type of floor beneath burner concrete Size of vent pipe 1 1/2"
Location of oil storage basement Number and capacity of tanks 1-275 gal.
Low water shut off Make No.
Will all tanks be more than five feet from any flame? yes How many tanks enclosed?
Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of Legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

O.K. E.P.P. 8/6/56

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Pallotta Oil Co.

Signature of Installer by: [Signature]

C17 108 1M MAINE PRINTING CO.

INSPECTION COPY

