

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-0689	Issue Date: JUN 28 2001	City: 437 A087001
-----------------------	-----------------------------------	----------------------

Location of Construction: 63 Mona Rd	Owner Name: McLellan Cynthia L &	Owner Address: 63 Mona Rd Portland, ME 04101	Phone: 207-97-9052
Business Name: n/a	Contractor Name: no contractor/self	Contractor Address: n/a n/a	Phone: n/a
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Additions - Dwellings	Zone: R-3

Past Use: Single Family	Proposed Use: Same: Build New 206 SqFt Deck. Call Ralph at 797-9092 when ready.	Permit Fee: \$30.00	Cost of Work: \$800.00	CEO District: 3
----------------------------	---	------------------------	---------------------------	--------------------

Proposed Project Description:
Build New 206 SqFt Deck. 11' X 6' on Side and 10' X 14' on Back of House.

FIRE DEPT: Approved Denied

INSPECTION:
Use Group: **9-3**

PERMIT ISSUED WITH REQUIREMENTS
11/29/99

Signature: *[Signature]*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.):

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: cjh	Date Applied For: 06/12/2001	Zoning Approval	
-------------------------	---------------------------------	------------------------	--

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>panel 7 zone N outside of Flood Zone</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>of with conditions</i> Date: <i>6/27</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>9</i>
---	--	---	---

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
------------------------	---------	------	-------

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
---	------	-------

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <i>63 Mona Rd</i>		
Total Square Footage of Proposed Structure <i>206</i> 65 sq ft	Square Footage of Lot <i>6500</i> sq ft	
Tax Assessor's Chart, Block & Lot Number Chart# <i>437</i> Block# <i>A</i> Lot# <i>87</i>	Owner: <i>Ralph W. McLellan</i>	Telephone#: <i>797-9092</i>
Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address:	Cost Of Work: <i>800</i> Fee: <i>400/c</i> \$ <i>430.00</i>
Current use: <i>Back Steps S/F</i>		
If the location is currently vacant, what was prior use: <i>was back steps.</i>		
Approximately how long has it been vacant:		
Proposed use: <i>new deck 11' x 6'</i>		
Project description: <i>new deck 2 sections 6' by 11' on side of house, 10' by 14' on back of house</i>		
Contractor's Name, Address & Telephone: <i>Ralph W. McLellan OWNER</i>		
Applicants Name, Address & Telephone: <i>Ralph W. McLellan 63 Mona Rd Portland ME 04103</i>		
Who should we contact when the permit is ready: <i>Ralph</i>		
Telephone: <i>797-9092</i> <i>Call +</i>		
If you would like the permit mailed, what mailing address should we use:		
Rec'd By: <i>6/12/01</i> <i>Gayle</i>		

BUILDING PERMIT REPORT

DATE: 14 June 2001 ADDRESS: 63 Mona Rd. CBL: 437-A-08Z

REASON FOR PERMIT: To Construct a 6'x11' deck / 10'x14' deck

BUILDING OWNER: Cynthia McEllan

PERMIT APPLICANT: /CONTRACTOR SAO

USE GROUP: A-3 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: \$800.00 PERMIT FEES: \$30.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

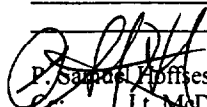
CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *2, *11, *13
*30, *32, *33, *35, *36, *38, *39, *40

- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
*2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) "ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
*11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
*13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
17. Each apartment shall have access to two (2) separate, remote and approved means of egress.
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

6/12

20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. **No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.**
29. All requirements must be met before a final Certificate of Occupancy is issued.
- X 30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
32. Please read and implement the attached Land Use Zoning report requirements. *Any steps off the rear deck shall meet all the required setbacks, there shall be an amendment showing steps prior to construction.*
- X 33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- X 34. Bridging shall comply with Section 2305.16.
- X 35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- X 36. All flashing shall comply with Section 1406.3.10.
- X 37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
- X 38. ~~2x8's @ 16" O.C. MAX. SPAN 13'6"~~
- X 39. ~~All wood in contact with the earth shall be P.T.~~
- X 40. ~~Fasteners shall be used between structural elements from footing to guardrails.~~


 P. Samuel Apfites, Building Inspector
 Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator
 Michael Nugent, Inspection Service Manager

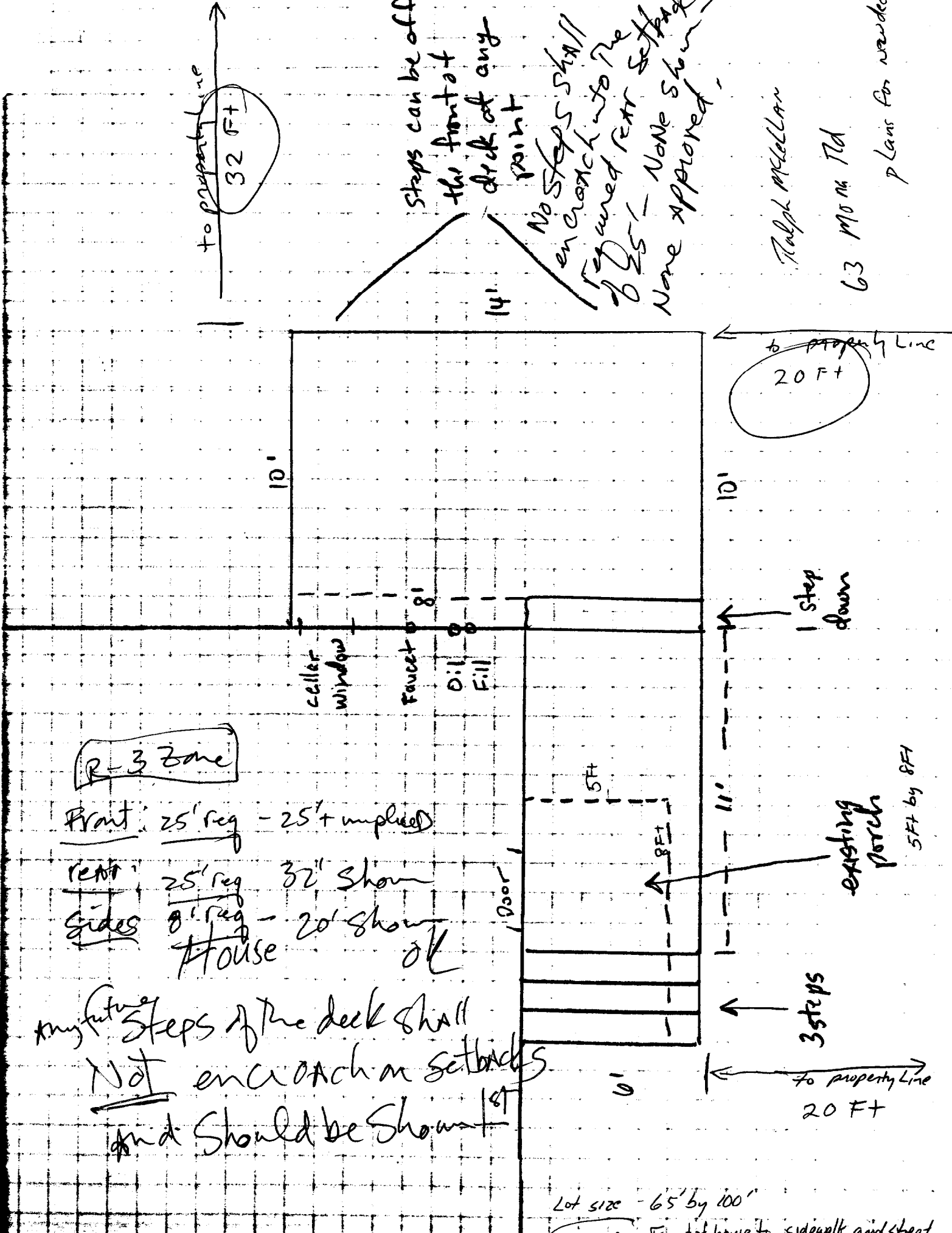
PSH 10/1/00

****This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

*****THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)**

******ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

*******CERTIFICATE OF OCCUPANCY FEE \$50.00**



to property line
32 FT

Steps can be off the front of the deck at any point

No steps shall encroach into the required rear setback of 25' - None shown - None approved

Ralph McCallan
63 Mo No Tld
Plans for new deck

to property line
20 FT

R-3 Zone

Front: 25' req - 25' + implied

rear: 25' req - 32" shown

Sides: 8' req - 20' shown
House OK

any future steps of the deck shall Not encroach on setbacks and should be shown

step down

existing porch
5 FT by 8 FT

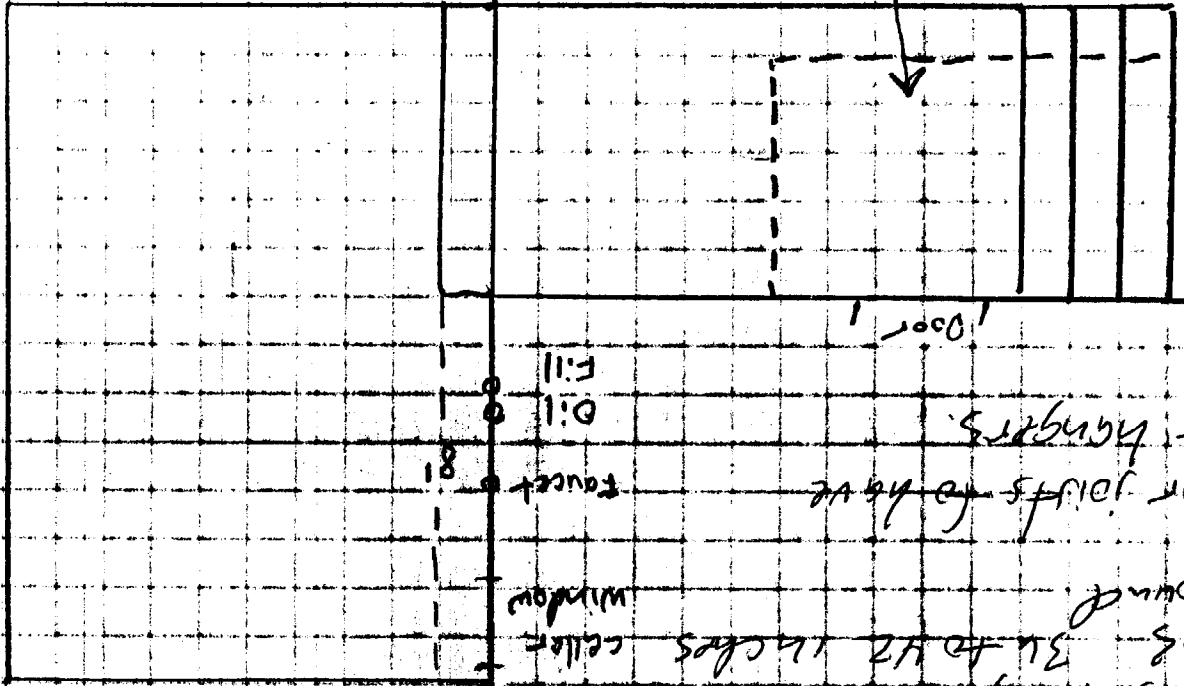
3 steps

to property line
20 FT

Lot size - 65' by 100'
20 FT from front of house to sidewalk and street

1. Allwood pressure treated
 2. All framing and floor joists to be 2x8
 3. Deck supported by 4x4 posts sitting on cement footings 36 to 42 inches in ground.
 4. All floor joists to have 1/2" joist hangers.
 5. Floor boards to be 5/4 decking to spacing on railing spindles 3 1/2"

Steps can be off the front of deck at any point



Faucet
 Oil
 Fill

Window
 cellar

Deck supported by 4x4 posts sitting on cement footings 36 to 42 inches in ground.

All framing and floor joists to be 2x8

All floor joists to have 1/2" joist hangers.

Floor boards to be 5/4 decking to spacing on railing spindles 3 1/2"