

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED
MAY 27 2004
Permit Number: 040558
CITY OF PORTLAND

BUILDING INSPECTION PERMIT

This is to certify that Mks Development Inc /Chris Ballard
has permission to Build 2,292 s.f.l.s. dwelling - car garage, 8 x12 rear deck, covered front porch.
AT 40 Yale St (Lot #3) City 436 A014001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lashed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Jaime Bonke 5/27/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

SCANNED



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 44 Yale St (Lot #3) CBL 436 A014001

Issued to MKs Development Inc /Chris Ballard Date of Issue 10/04/2004

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 04-0558, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES APPROVED OCCUPANCY
Single Family Dwelling w/ 2 Car Garage and 8x12 rear deck Use Group R3 Type 5B
(Boca 1999)

Limiting Conditions: None

This certificate supersedes certificate issued

Approved: *[Signature]*
10/14/04

(Date) Inspector *[Signature]*

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE

Department of Building Inspections

May 5 2004

Received from

Location of Work

Cost of Construction \$

Permit Fee \$

Building (IL) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other

CBL:

Check #:

Total Collected \$ 1600.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
Permit Copy

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection: Prior to pouring concrete

MA **Re-Bar Schedule Inspection:** Prior to pouring concrete

Foundation Inspection: Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature] _____
Signature of Applicant/Designee Date

[Signature] _____
Signature of Inspections Official Date

CBL: 436-A-14 Building Permit #: 04-0538

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 04-0558	Issue Date: MAY 27 2004	CBL: 436 A014001
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Location of Construction: 40 Yale St (Lot #3)	Owner Name: Mks Development Inc	Owner Address: 7 Terra Way	Phone: CITY OF PORTLAND
Business Name:	Contractor Name: Chris Ballard	Contractor Address: 7 Terra Way Falmouth	Phone: 2078383800
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R3

Past Use: Vacant Land	Proposed Use: Single Family: 2,199 s.f.l.s. dwelling + 2 car garage, 8'x12' rear deck, covered front porch on Lot #3	Permit Fee: \$1,302.00	Cost of Work: \$134,000.00	CEO District: 4
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Proposed Project Description: Build 2,199 s.f.l.s. dwelling + 2 car garage, 8'x12' rear deck, covered front porch.	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: R3 Type: SB BOCA 1999 Signature: JMB 5/27/04
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

Permit Taken By: kwd	Date Applied For: 05/06/2004	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 7 Zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 2004-0089 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>ok with conditions</i> Date: <i>5/17/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

6/8/04 Setbacks OK. Strings + Pins in place JN

7/13⁰⁴ Did framing. Electrical
Plumbing OK
to Close in

10/4/04 Final inspection met on site w/ CHRIS BAILLARD. All work
complete in accordance with plans. OK. Fair c/o subject to
DRC inspection/memo. JN

6/8/16/04 Checked Backfill. all tile fabric is in place. ON SITE w/
CHRIS BAILLARD. OK to BACKFILL JN

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0558	Date Applied For: 05/06/2004	CBL: 436 A014001
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Location of Construction: 44 Yale St (Lot #3)	Owner Name: Mks Development Inc	Owner Address: 7 Terra Way	Phone:
Business Name:	Contractor Name: Chris Ballard	Contractor Address: 7 Terra Way Falmouth	Phone (207) 838-3800
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family: 2,292 s.f.l.s. dwelling + 2 car garage, 8'x12' rear deck, covered front porch on Lot #3	Proposed Project Description: Build 2,292 s.f.l.s. dwelling + 2 car garage, 8'x12' rear deck, covered front porch.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 05/17/2004

Note: **Ok to Issue:**

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages. Your submitted plans show a rear daylight basement which is approved with the issuance of this permit. Your submitted plans show a rear 8' x 12' deck which is approved with the issuance of this permit. Your submitted plans show a front bay window which extends forward 2'. This bay window may not extend into you required front setback.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 05/27/2004

Note: **Ok to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

04-0558

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

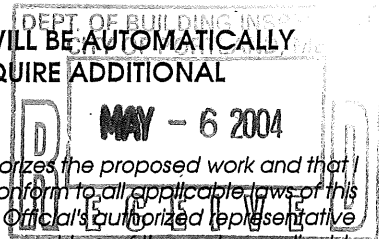
Location/Address of Construction: <u>Lot 3 Yale St. Portland, Me.</u>		
Total Square Footage of Proposed Structure <u>2159 SF</u>	Square Footage of Lot <u>7.7035 SF.</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>430</u> Block# <u>A</u> Lot# <u>14</u>	Owner: <u>MKS Development, Inc. Falmouth, Me.</u>	Telephone: <u>781-8822</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>Christopher J. Ballard, Inc. 7 Terra Way, Falmouth</u>	Cost Of Work: <u>\$134,000.00</u> Fee: <u>\$1,602.00</u>
Current use: <u>vacant land</u>		State Fee <u>300.00</u>
If the location is currently vacant, what was prior use: <u>N/A</u>		City <u>75.00</u>
Approximately how long has it been vacant: <u>N/A</u>		<u>TOTAL \$ 1,602.00</u>
Proposed use: <u>single family home</u> Project description: <u>colonial style home w/ 2 car garage</u>		
Contractor's name, address & telephone: <u>(same)</u>		
Who should we contact when the permit is ready: <u>Chris Ballard 781-8822</u>		
Mailing address: <u>7 Terra Way Falmouth, Me. 04105</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>738-3800</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Chris Ballard Date: 5-6-04

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Building Copy**

2004-0089
Application I. D. Number

5/6/2004
Application Date

40 Yale Street
Project Name/Description

Mks Development Inc
Applicant
7 Terra Way , Falmouth , ME 04105
Applicant's Mailing Address

Consultant/Agent
Agent Ph: _____ **Agent Fax:** _____
Applicant or Agent Daytime Telephone, Fax

40 - 40 Yale St , Portland, Maine
Address of Proposed Site
436 A014001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

2292 s.f.l.s. _____ **r-3** _____
Proposed Building square Feet or # of Units _____ Acreage of Site _____ Zoning _____

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Pla \$250.00 Subdivision _____ Engineer Review \$50.00 Date 5/6/2004

Building Approval Status:

Reviewer _____

Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

04-0538

436-A-14

Lot # 3 40 Yale St.

Soil type/Presumptive Load Value (Table 401.4.1)	Plan Reviewer	Inspection/Date/Findings
Component	Plan Reviewer	Inspection/Date/Findings
STRUCTURAL Footings Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	10" x 18" 4' min	OK
Foundation Drainage Dampproofing (Section 406)	Bituminous/Filter	OK
Ventilation (Section 409.1) Crawls Space ONLY	Partial Daylight	OK
Anchor Bolts/Straps (Section 403.1.4)	1/2" 6' O.C. 12" Corners / subj 3 1/2"	OK
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	24 x 24 x 8"	OK
Built-Up Wood Center Girder Dimension/Type	3-2x12 Max Span. 6' 8" 2 PL.	One Fl carry OK
(Table 502.3.4(2))	8' → 6'	
Sill/Band Joist Type & Dimensions	2x6 PT	OK
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2x10 16 O.C.	OK
Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))	2x10 16 O.C.	OK

18" Footing

Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	2x8 16 O.C. 2x4 collars ties	OK
Roof Rafter; Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	2x10 or trusses 8:12	OK
Sheathing; Floor, Wall and roof (Table 503.2.1(1))	3/4 Adv, 7/16 OSB, 1/2 CDX	OK
Fastener Schedule (Table 602.3(1) & (2))	BOCA 1999	OK
Private Garage Section 309 and Section 407 1999 BOCA) Living Space? (Above or beside)	7 Fire Rating	walls ceiling OK
Fire separation		
Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	45 min.	OK
Egress Windows (Section 310)	ALL Bedrooms	OK
Roof Covering (Chapter 9)	Asphalt	OK
Safety Glazing (Section 308)	? both 2nd Floor Baths	60" above
Attic Access (BOCA 1211.1)	22" x 30"	OK
Draft Stopping around chimney	N/A	OK

LVL Garage Header Spec
~~Steel Garage w/ 12x30 Spec~~

Header Schedule	2-2x10 under 3-2x10 over 48" carrying beam NO LVL'S OK
Type of Heating System	Oil Furnace Direct OK
Stairs	
Number of Stairways	2
Interior	2
Exterior	0
Treads and Risers (Section 314)	max 7 3/4" min 10"
Width	3' + scaled
Headroom	6'8"
Guardrails and Handrails (Section 315)	36" - 34" - 38"
Smoke Detectors Location and type/Interconnected	? 2nd Fl.
Plan Reviewer Signature	JJB

ALL BR - inter OK

See Chimney Summary Checklist

Deck Framing OK

**TABLE 1003.1
SUMMARY OF REQUIREMENTS FOR MASONRY FIREPLACES AND CHIMNEYS**

NOTE: This table provides a summary of major requirements for the construction of masonry chimneys and fireplaces. Letter references are to Figure 1003.1, which shows examples of typical construction. This table does not cover all requirements, nor does it cover all aspects of the indicated requirements. For the actual mandatory requirements of the code, see the indicated section of text.

ITEM	LETTER	REQUIREMENTS	
		Summary	See Section
Hearth and hearth extension thickness	A	4-inch minimum thickness for hearth.	1003.9.1
		2-inch minimum thickness for hearth extension.	1003.9.2
Hearth extension (each side of opening)	B	8 inches for fireplace opening less than 6 square feet.	1003.10
		12 inches for fireplace opening greater than or equal to 6 square feet.	
Hearth extension (front of opening)	C	16 inches for fireplace opening less than 6 square feet.	1003.10
		20 inches for fireplace opening greater than or equal to 6 square feet.	
Hearth and hearth extension reinforcing	D	Reinforced to carry its own weight and all imposed loads.	1003.9
Firebox dimensions	E	20-inch minimum firebox depth.	1003.11
		12-inch minimum firebox depth for Rumford fireplaces.	
Thickness of wall of firebox	F	10 inches solid masonry or 8 inches where firebrick lining is used.	1003.5
Distance from top of opening to throat	G	8 inches minimum.	1003.7
Smoke chamber	H	6 inches lined; 8 inches unlined.	1003.8
Wall thickness Dimensions		Not taller than opening width; walls not inclined more than 45 degrees from vertical for prefabricated smoke chamber linings or 30 degrees from vertical for corbeled masonry.	1003.8.1
Chimney vertical reinforcing ^a	I	Four No. 4 full-length bars for chimney up to 40 inches wide. Add two No. 4 bars for each additional 40 inches or fraction of width, or for each additional flue.	1003.3.1
Chimney horizontal reinforcing ^a	J	1/4-inch ties at each 18 inches, and two ties at each bend in vertical steel.	1003.3.2
Fireplace lintel	K	Noncombustible material with 4-inch load-bearing length of each side of opening.	1003.7
Chimney walls with flue lining	L	4-inch-thick solid masonry with liner.	1001.7;
		1/2-inch grout or airspace between liner and wall.	1001.9
Effective flue area (based on area of fireplace opening and chimney)	M	See Section 1001.12.	1001.12
Clearances	N	2 inches interior, 1 inch exterior.	1001.15
From chimney		2 inches front, back or sides.	1003.12
From fireplace		6 inches from opening.	1003.13
Combustible trim or materials		3 feet above roof penetration, 2 feet above part of structure within 10 feet.	1001.6
Above roof			
Anchorage ^a	O	3/16 inch by 1 inch.	1003.4
Strap		Two.	
Number		12 inches hooked around outer bar with 6-inch extension.	
Embedment into chimney		Four joists.	
Fasten to		Two 1/2-inch diameter.	
Bolts			
Footing	P	12-inch minimum.	1003.2
Thickness		6 inches each side of fireplace wall.	
Width			

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 square foot = 0.0929 m², 1 degree = 0.01745 rad.

^a Required only in Seismic Zones 3 and 4.

Applicant: Chris Ballard

Date: 5/17/04

Address: 40 Yale St (lot 43)

C-B-L: 436-A-K

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Dev. lot permit # 04-0558

Zone Location - R-3

Interior or corner lot -

24.5 x 36

22 x 24

Proposed Use/Work - construct New single family Dwelling with attached garage

Rear Deck 8' x 12'
with daylight basement

Sewage Disposal - City

Lot Street Frontage - 50' min req

Front Yard - 25' min req - 26' shown

Rear Yard - 25' min req - 29' shown

Side Yard - 14' min - 13.5' & 15' shown ok
OK can reduce one side and add to

Projections - 2 story 8' x 12' rear Deck - front porch - front bay window
4' x 8' extends 2'

Width of Lot - 75' min req - 75' given

Height - 35' MAX - ~~27'~~ 32' scaled in rear

Lot Area - 6,500 sq ft min - 7,703 sq ft given

Lot Coverage/Impervious Surface - 25% MAX or 1925.75 sq ft MAX

Area per Family - 6,500 sq ft min

Off-street Parking - 2 req - 2 car garage ok

Loading Bays - N/A

Site Plan - memo/notes #2004-0089

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 7 - Zone X

24.5	x	36	=	882
22	x	24	=	528
8	x	12	=	96
2	x	8	=	16
4	x	8	=	32

1554 sq ft

Book 20376
Page 314
Recorded 10/10/03

QUITCLAIM DEED WITH COVENANT

(Maine Statutory Short Form)

WESCOTT & PAYSON II, LLC, a Maine limited liability company, whose mailing address is in Portland, Maine, hereinafter referred to as the Grantor, for consideration paid grants to MKS DEVELOPMENT, INC., a Maine corporation, with a mailing address of 7 Terra Way, Falmouth, Maine 04105, hereinafter referred to as the Grantee, with QUITCLAIM COVENANTS, a certain lot or parcel of land situated in the Portland, County of Cumberland, and State of Maine, and described as follows:

SEE EXHIBIT A ATTACHED HERETO

IN WITNESS WHEREOF, the Grantor, Wescott & Payson II, LLC, has caused this instrument to be signed and sealed this 9 day of October, 2003.

Signed, Sealed and Delivered
in presence of:

[Signature]
Witness

WESCOTT & PAYSON II, LLC

By: [Signature]
Michael H. Payson, Jr.
Its: Manager and Member

STATE OF MAINE
CUMBERLAND, SS.

October 9, 2003

Then personally appeared the above named Michael H. Payson, Jr., in his capacity as Manager and Member of Wescott & Payson II, LLC, and acknowledged the foregoing instrument to be his free act and deed and the free act and deed of Wescott & Payson II, LLC.

Before me,
[Signature]
Attorney-at-Law/Notary Public

EXHIBIT A:

Certain parcels of land situated on or about Yale Street in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

A certain lot or parcel of land located on the northeast side of Yale Street in the City of Portland, County of Cumberland, State of Maine, bounded and described as follows:

Beginning at a point on the northeasterly sideline of Yale Street and the southerly corner of land now or formerly of the Maine Conference of Seventh Day Adventists as described in a deed recorded in the Cumberland County Registry of Deeds in Book 4488, Page 191. Thence:

Thence N 35° 49' 00" E by said land of the Maine Conference of Seventh Day Adventists a distance of One Hundred and 00/100 (100.00) feet to a point and land now or formerly of Wescott & Payson II as described in a deed recorded in said Registry in Book 18226, Page 260.

Thence N 35° 49' 00" E across said land of Wescott & Payson II a distance of Seven and 55/100 (7.55) feet to a point and land now or formerly of the Allen Avenue Housing Associates as described in a deed recorded in said Registry in Book 9037, Page 328.

Thence S 54° 11' 00" E by said land of the Allen Avenue Housing Associates a distance of Two Hundred Thirty-Seven and 95/100 (237.95) feet to a 1" iron pipe found and other land now or formerly of Wescott & Payson II as described in a deed recorded in said Registry in Book 17365, Page 293 and land now or formerly of Wescott & Payson II as described in a deed recorded in said Registry in Book 18226, Page 260.

Thence S 35° 49' 00" W across said land of Wescott & Payson II (Book 18226, Page 260) a distance of Seven and 55/100 (7.55) feet to a point.

Thence S 54° 11' 00" E by said land of Wescott & Payson II a distance of Five Hundred Seventy-Three and 05/100 (573.05) feet to a point and other land now or formerly of Wescott & Payson II as described in a deed recorded in said Registry in Book 17365, Page 289 and Book 17365, Page 291.

Thence S 35° 49' 00" W across said land of Wescott & Payson II a distance of Ninety and 00/100 (90.00) feet to a point of curvature.

Thence Westerly across said land of Wescott & Payson II, following a curve to the right having a radius of Ten and 00/100 (10.00) feet, an arc distance of Fifteen and 71/100 (15.71) feet to a point of tangency and the northeasterly side of said Yale Street, said point of tangency lying S 80° 49' 00" W a distance of Fourteen and 14/100 (14.14) feet from the last mentioned point.

Thence N 54° 11' 00" W by said Yale Street a distance of Seven Hundred Seventy-Six and 00/100 (776.00) feet to the point of beginning.

The above described parcel contains 80,375 square feet. Bearings are referenced to magnetic north 1983.

Reference is herein made to a Standard Boundary Survey made for Wescott & Payson II by Titcomb Associates dated June 12, 2002 as recorded in the Cumberland County Registry of Deeds in Plan Book 202, Page 693.

The foregoing property may also be described as Lots number 1 through 10 located on Yale Street in Portland, Maine as shown on the plan entitled "Subdivision Recording Plat - Amendment to 'Plan of Lots' at University Park" prepared for Wescott & Payson II by Land Use Consultants revised through September 30, 2002 and approved by the City of Portland on January 14, 2003, recorded in the Cumberland County Registry of Deeds in Plan Book 203 Page 262 (the "Plat"), subject to the easements, restrictions and obligations set forth in the Plat.

Subject to a Drainage Easement Deed from Wescott & Payson II to the City of Portland of even or recent date to be recorded in the said Registry of Deeds for Drainage Easements "A," "B" and "C" as shown on the Plat.

Together with an easement for access and utilities from the subject property in and over Yale Street to Harvard Street, a public way, until such time as Yale Street is accepted by the City of Portland as a public way.

Together with the benefit of a 50 foot by 50 foot Turnaround Easement as described in an Easement Deed for Turnaround from Wescott & Payson II, LLC to the City of Portland of even or recent date to be recorded in the said Registry of Deeds.

Being a portion of the property conveyed to Wescott & Payson II, LLC, formerly known as Wescott & Payson II by deed recorded in the Cumberland County Registry of Deeds in Book 17365, Page 289, Book 17365, Page 291 and Book 18226, Page 260. Reference is made to the Recorded Certificate from the Maine Secretary of State evidencing the transformation of Wescott & Payson II, a Maine General Partnership, into Wescott & Payson II, LLC, a Maine limited liability company.

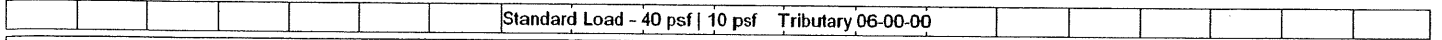
Single 3 1/2" x 9 1/2" VERSA-LAM® 3080 DF

Job Name:
 Address:
 City, State, Zip: ,
 Customer:
 Code reports: ICBO 5663, NER 442

File Name: BC CALC Project : RB01
 Description:
 Specifier:
 Designer: MB
 Company: Hancock Lumber
 Misc:



Liv. Room



1440 lbs LL
 411 lbs DL

1440 lbs LL
 411 lbs DL

Total Horizontal Length - 12-00-00

General Data

Version: US Imperial
 Member Type: Roof Beam
 Number of Spans: 1
 Left Cantilever: No
 Right Cantilever: No
 Slope: 0/12
 Tributary: 06-00-00

Live Load: 40 psf
 Dead Load: 10 psf
 Partition Load: 0 psf
 Duration: 115

Disclosure

The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)232-0788 before beginning product installation.

BC CALC®, BC FRAMER®, BCI®, BC RIM BOARD™, BC OSB RIM BOARD™, BOISE GLULAM™, VERSA-LAM®, VERSA-RIM®, VERSA-RIM PLUS®, VERSA-STRAND™, VERSA-STUD®, ALLJOIST® and AJS™ are trademarks of Boise Cascade Corporation.

Load Summary

ID	Description	Load Type	Ref.	Start	End	Type	Value	Trib.	Dur.
S	Standard Load	Unf. Area	Left	00-00-00	12-00-00	Live	40 psf	06-00-00	115%
						Dead	10 psf	06-00-00	90%

Controls Summary

Control Type	Value	% Allowable	Duration	Load Case	Span Location
Moment	5554 ft-lbs	34.8%	115%	2	1 - Internal
Neg. Moment	0 ft-lbs	n/a	100%		
End Shear	1607 lbs	22.1%	115%	2	1 - Left
Total Load Defl.	L/500 (0.288")	36.0%		2	1
Live Load Defl.	L/643 (0.224")	37.3%		2	1
Max Defl.	0.288"	14.4%		2	1

Notes

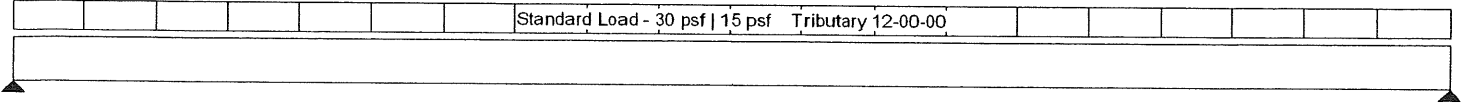
Design meets Code minimum (L/180) Total load deflection criteria.
 Design meets Code minimum (L/240) Live load deflection criteria.
 Design meets arbitrary (2") Maximum load deflection criteria.
 Minimum bearing length for B0 is 1-1/2".
 Minimum bearing length for B1 is 1-1/2".
 Member Slope = 0, consider drainage.
 Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

Single 5 1/4" x 9 1/2" VERSA-LAM® 3080 DF

Job Name:
 Address:
 City, State, Zip: ,
 Customer:
 Code reports: ICBO 5663, NER 442

File Name: BC CALC Project : FB01
 Description:
 Specifier:
 Designer: MB
 Company: Hancock Lumber
 Misc:

Kitchen



2520 lbs LL
 1350 lbs DL

2520 lbs LL
 1350 lbs DL

Total Horizontal Length - 14-00-00

General Data

Version: US Imperial
 Member Type: Floor Beam
 Number of Spans: 1
 Left Cantilever: No
 Right Cantilever: No
 Slope: 0/12
 Tributary: 12-00-00

Live Load: 30 psf
 Dead Load: 15 psf
 Partition Load: 0 psf
 Duration: 100

Disclosure

The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)232-0788 before beginning product installation.

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Load Summary

ID	Description	Load Type	Ref.	Start	End	Type	Value	Trib.	Dur.
S	Standard Load	Unf. Area	Left	00-00-00	14-00-00	Live	30 psf	12-00-00	100%
						Dead	15 psf	12-00-00	90%

Controls Summary

Control Type	Value	% Allowable	Duration	Load Case	Span Location
Moment	13544 ft-lbs	65.1%	100%	2	1 - Internal
Neg. Moment	0 ft-lbs	n/a	100%		
End Shear	3432 lbs	36.2%	100%	2	1 - Left
Total Load Defl.	L/264 (0.637")	91.0%		2	1
Live Load Defl.	L/405 (0.415")	88.9%		2	1

Notes

Design meets Code minimum (L/240) Total load deflection criteria.
 Design meets Code minimum (L/360) Live load deflection criteria.
 Minimum bearing length for B0 is 1-1/2".
 Minimum bearing length for B1 is 1-1/2".
 Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

Single 14" AJS™ 25 MSR

Job Name: ~~CARAGE DOOR HEADER~~

Address: Garage
 City, State, Zip: Joist
 Customer: Joist

Code reports: BOCA 22-09, SBCCI 9707D, ICBO PFC-5504

File Name: BC CALC Project : J01

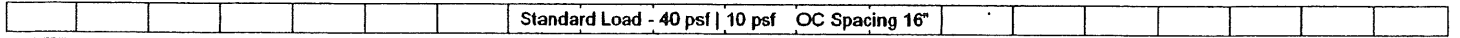
Description:

Specifier:

Designer: MB

Company: Hancock Lumber

Misc:



587 lbs LL
 147 lbs DL

587 lbs LL
 147 lbs DL

Total Horizontal Length - 22-00-00

General Data

Version: US Imperial

Member Type: Joist
 Number of Spans: 1
 Left Cantilever: No
 Right Cantilever: No

Slope: 0/12
 OC Spacing: 16"
 Repetitive: Yes
 Construction Type: Glued

Live Load: 40 psf
 Dead Load: 10 psf
 Partition Load: 0 psf
 Duration: 100

Disclosure

The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)232-0788 before beginning product installation.

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Load Summary

ID	Description	Load Type	Ref.	Start	End	Type	Value	OCS	Dur.
S	Standard Load	Unf. Area	Left	00-00-00	22-00-00	Live	40 psf	16"	100%
						Dead	10 psf	16"	90%

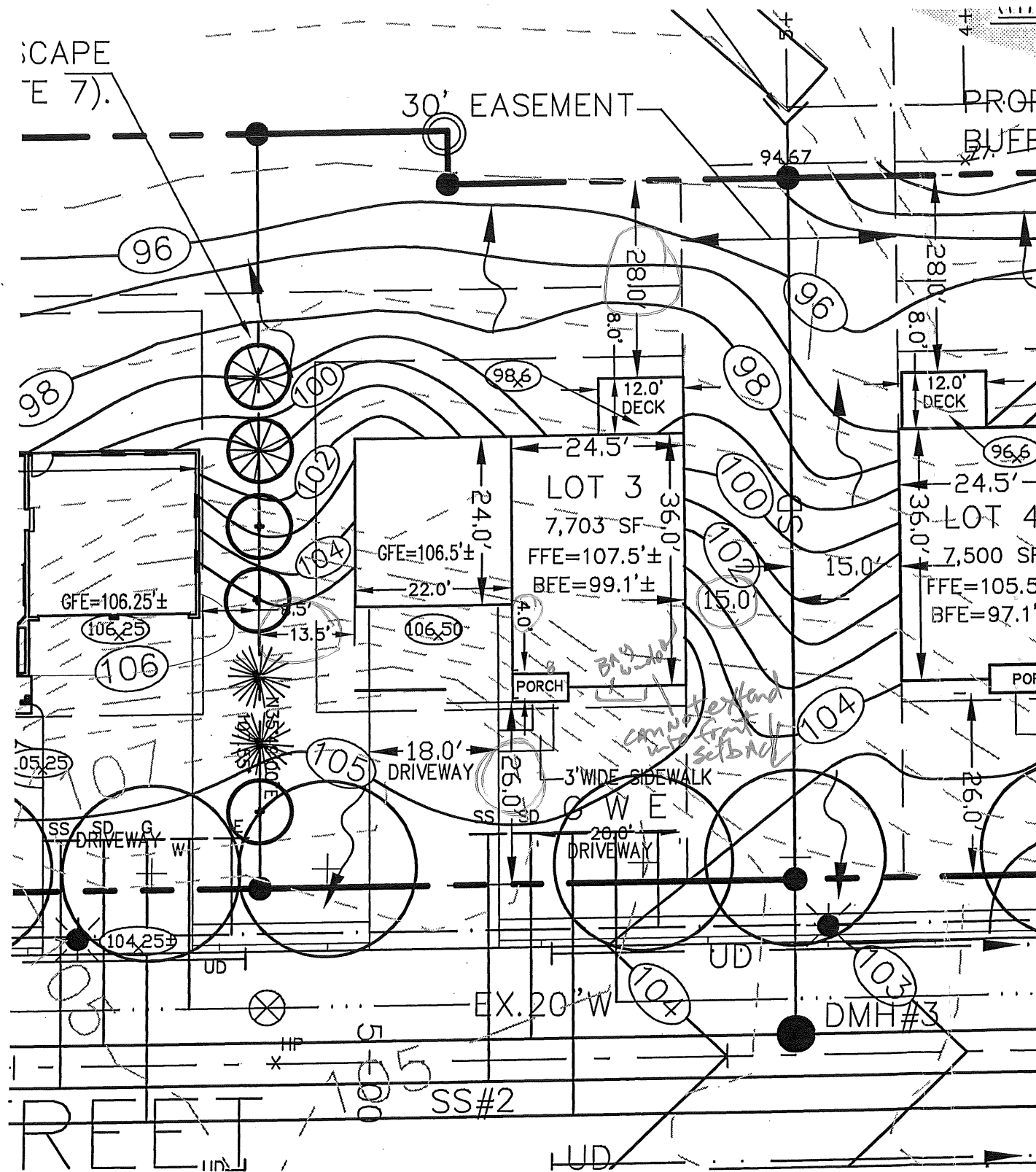
Controls Summary

Control Type	Value	% Allowable	Duration	Load Case	Span Location
Moment	4033 ft-lbs	56.3%	100%	2	1 - Internal
Neg. Moment	0 ft-lbs	n/a	100%		
End Reaction	733 lbs	64.1%	100%	2	1 - Left
Total Load Defl.	L/573 (0.461")	41.9%		2	1
Live Load Defl.	L/717 (0.368")	67.0%		2	1
Max Defl.	0.461"	46.1%		2	1
Span / Depth	18.9	n/a			1

Notes




Design meets Code minimum (L/240) Total load deflection criteria.
 Design meets User specified (L/480) Live load deflection criteria.
 Design meets arbitrary (1") Maximum load deflection criteria.
 Minimum bearing length for B0 is 1-3/4".
 Minimum bearing length for B1 is 1-3/4".
 Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

REFERENCE:



NOTES:

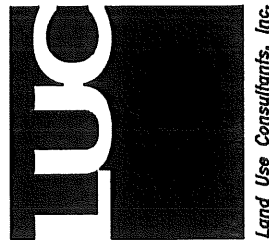
1. GRADING ON LOTS IS CONCEPTUAL BASED ON SHEET C-9, GRADING, DRAINAGE & EROSION CONTROLS PLAN OF "YALE COURT PRUD SITE PLANS AND SHEET 2, CONCEPTUAL GRADING & DRAINAGE PLAN OF AMENDED SUBDIVISION PLAN OF LOTS AT UNIVERSITY PARK" AS APPROVED BY CITY OF PORTLAND.
2. DRIVEWAYS, UTILITY CONNECTIONS, LIGHT POLES, AND STREET TREES SHOWN ARE AS SHOWN ON SHEET C-9 OF APPROVED PLANS. NO AS-BUILT INFORMATION FOR THESE IMPROVEMENTS ON YALE STREET IS AVAILABLE.
3. BUILDING FOOTPRINT AND LAYOUT SHOWN IS BASED ON FLOOR PLAN PROVIDED BY OWNER.
4. SITE ADAPTATION FOR LOT 3 AS SHOWN ON THIS PLAN BY LAND USE CONSULTANTS IS BASED ON INFORMATION DESCRIBED IN NOTES #1 TO #3.
5. OWNER SHALL BE RESPONSIBLE FOR ALL LAYOUT AND FOR CONFORMANCE TO ZONING AND ALL APPROVED PLANS AND PERMITS.
6. EROSION CONTROLS SHALL BE INSTALLED BY CONTRACTOR PRIOR TO CONSTRUCTION, AS REQUIRED. EROSION CONTROLS SHOWN ARE CONCEPTUAL AND SHALL BE PLACED BASED ON ACTUAL FIELD CONDITIONS.
7. LANDSCAPE BUFFER BETWEEN LOTS SHALL BE PLANTED BY DEVELOPER UPON FINAL GRADING OF BOTH LOTS AS SHOWN.

-  6' WHITE PINE
-  2' RHODODENDRON
-  6' ARBORVITAE

engineers
planners
landscapers
architects

966 RIVERSIDE STREET
PORTLAND, MAINE 04103

Voice (207) 878 - 3313
Fax (207) 878 - 0201
landuse@landuseinc.net



Land Use Consultants, Inc.

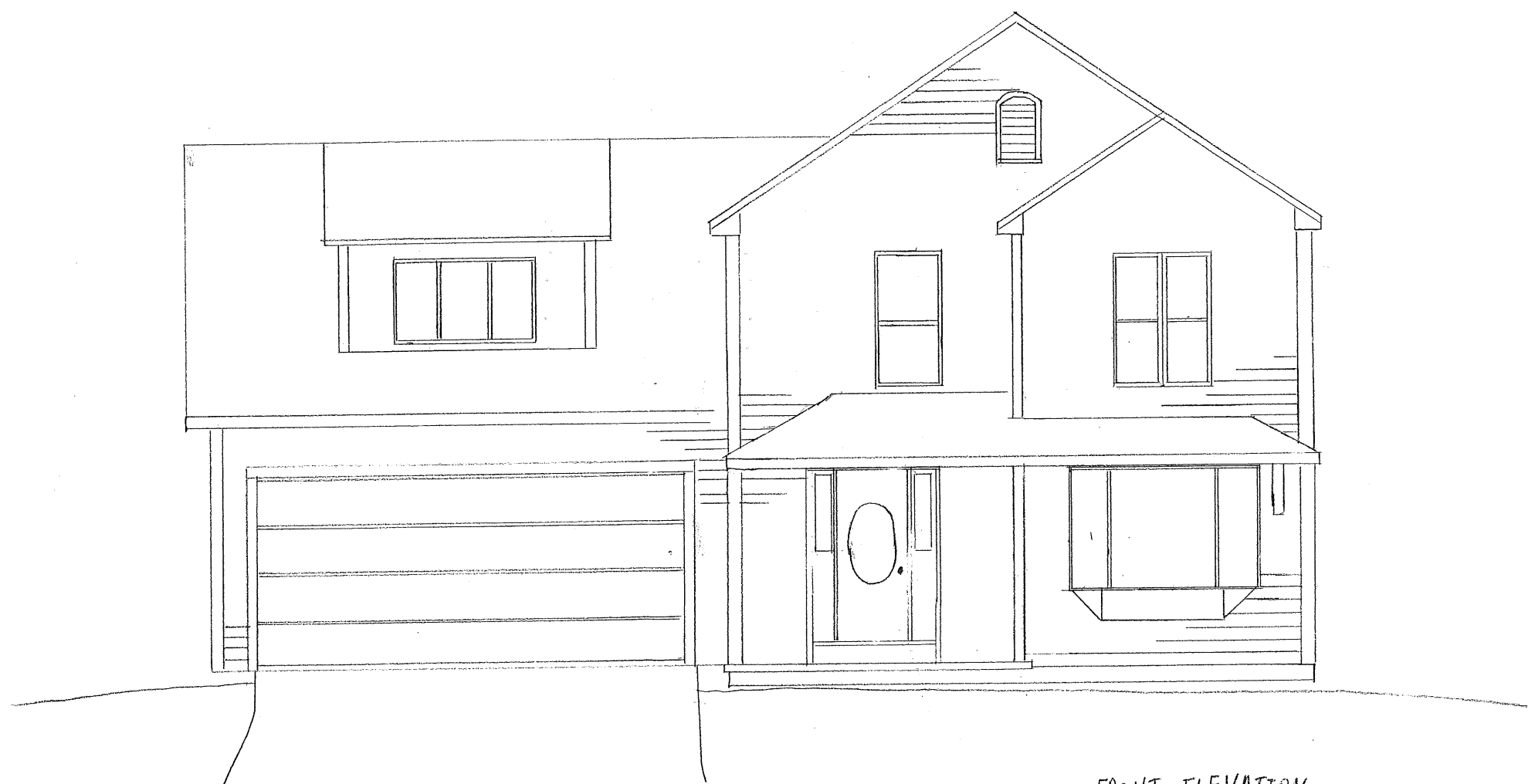
PREPARED FOR:

CHRISTOPHER J. BALLARD, INC.
FALMOUTH, MAINE

TITLE:
LOT 3
UNIVERSITY PARK
YALE STREET
BUILDING SITE LAYOUT

SCALE: 1" = 20'
DATE: 05-04-04

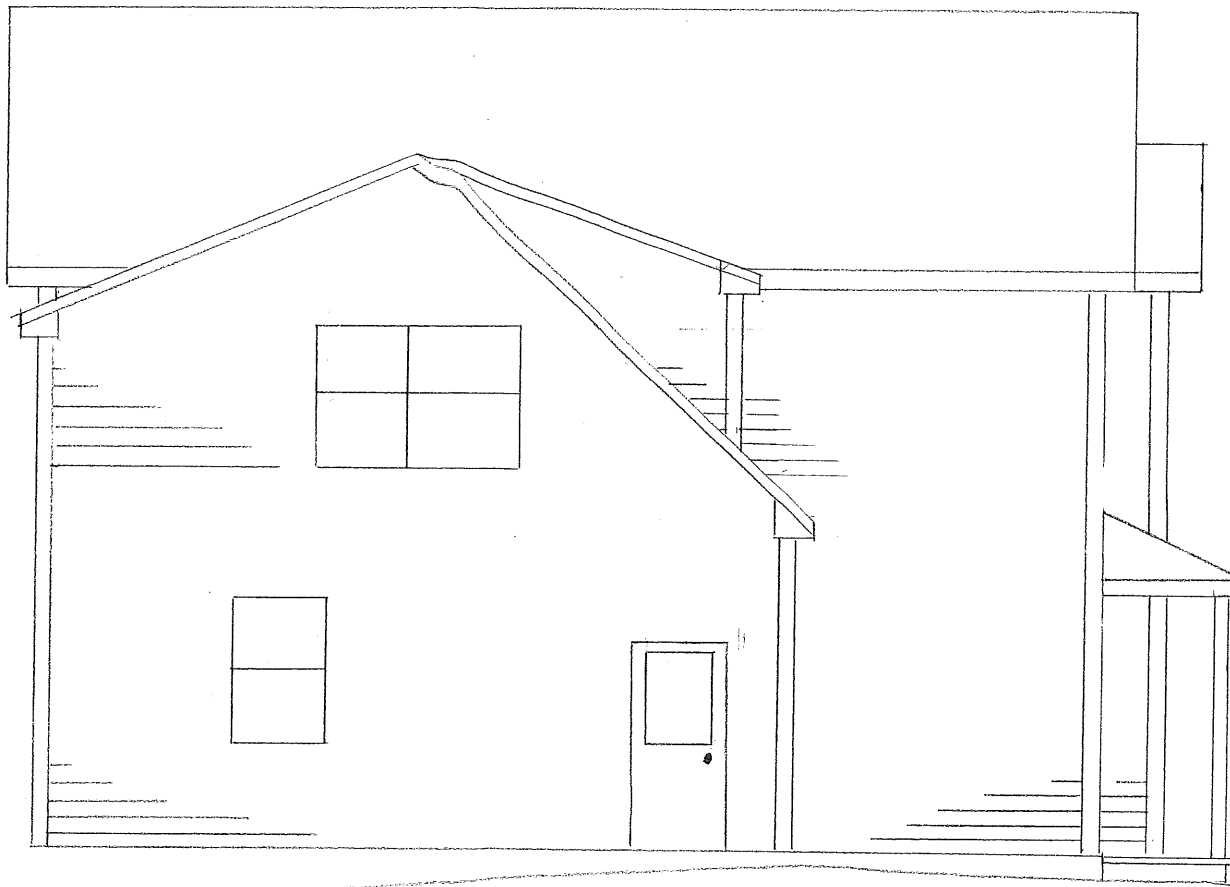
JOB #: 4251



FRONT ELEVATION
 $\frac{1}{4}'' = 1'-0''$

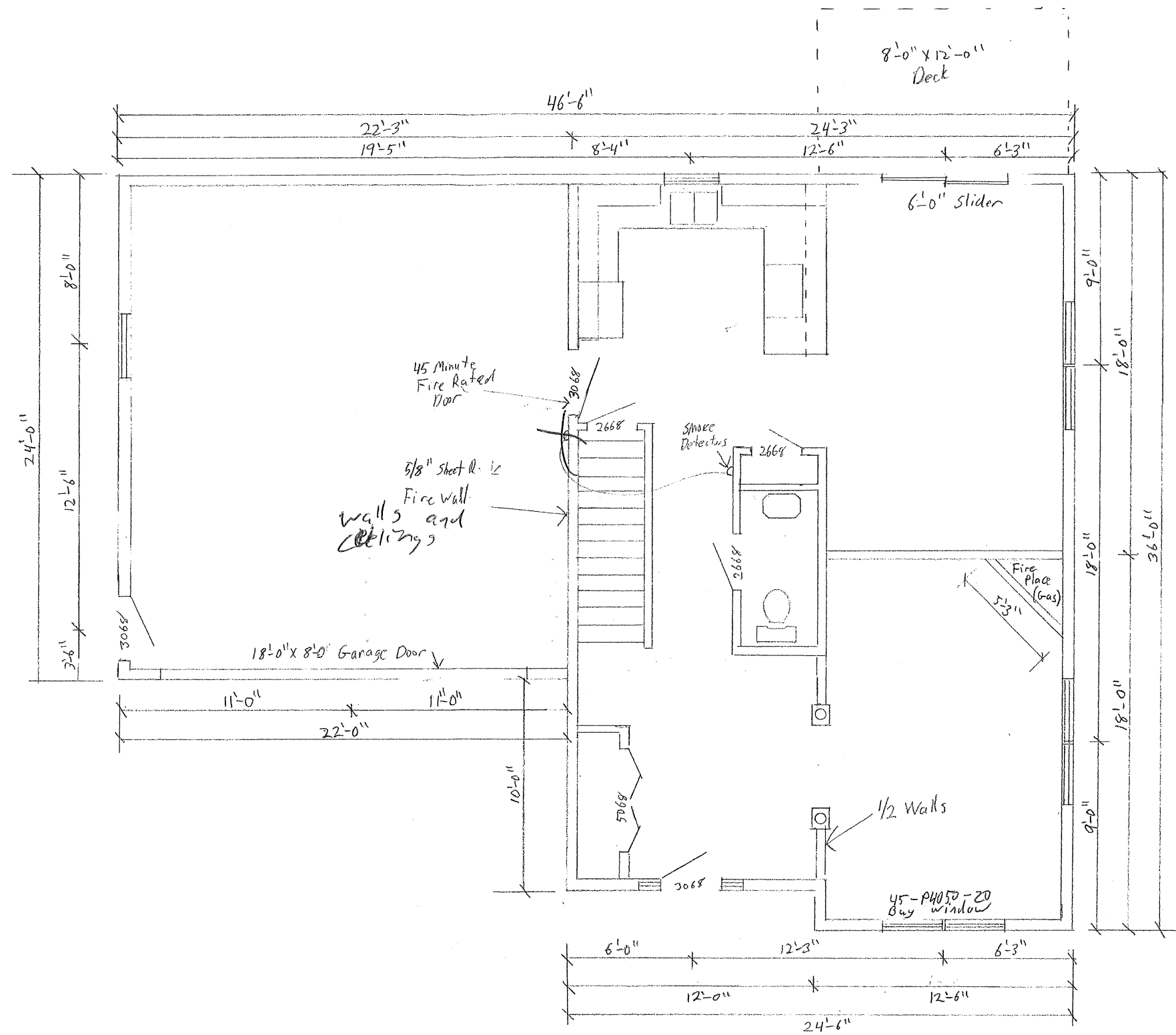


RIGHT ELEVATION
1/4" = 1'-0"



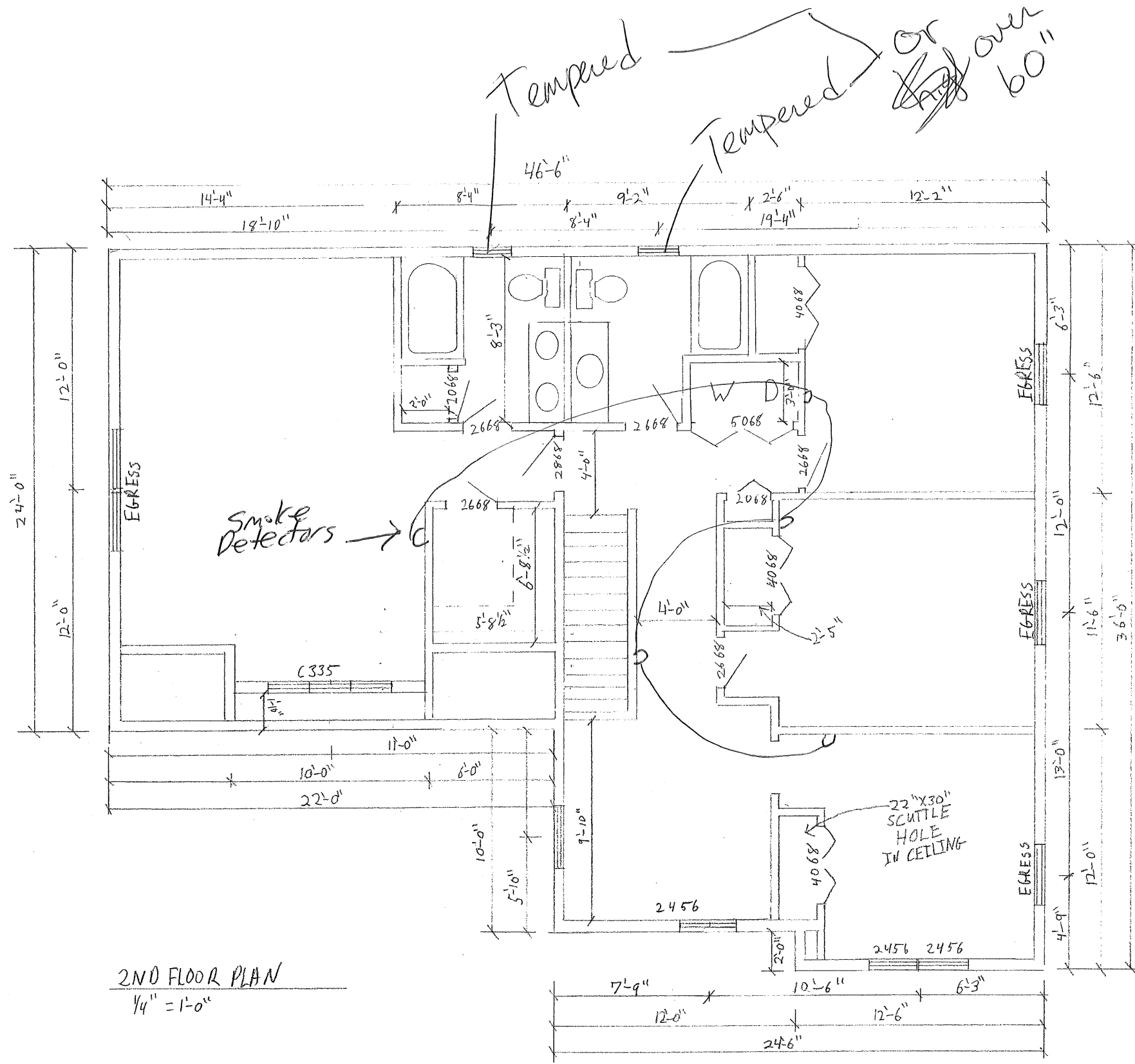
LEFT ELEVATION
 $\frac{1}{4}'' = 1'-0''$

CHRISTOPHER BALLARD INC
7 TERRA WAY
FALMOUTH, ME 04105



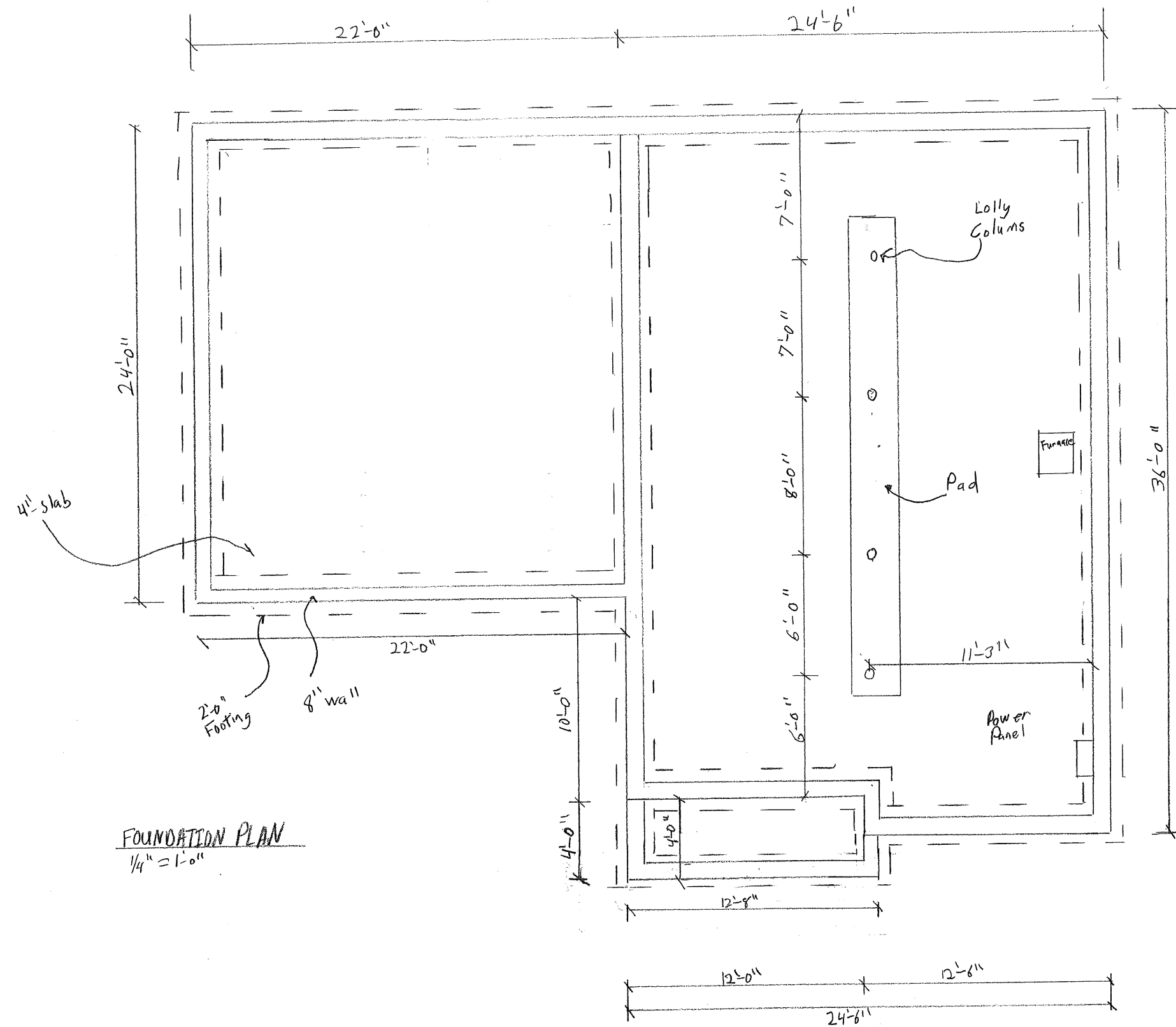
CHRISTOPHER BALLARD INC
 7 TERRA WAY
 FALMOUTH, ME 04105
 1/4" = 1'-0"

1st FL



2ND FLOOR PLAN
 1/4" = 1'-0"

ZAD



FOUNDATION PLAN
 1/4" = 1'-0"

CHRISTOPHER BALLARD INC
 7 TERRA WAY
 FALMOUTH, ME 04105