

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

## BUILDING INSPECTION

### PERMIT ISSUED

# PERMIT

Permit Number: 031308  
NOV 03 2003

Please Read Application And Notes, if Any, Attached

This is to certify that Wescott & Payson II /Chris Ballard

has permission to Amendment to Permit # 03-024 Bona fide work CITY OF PORTLAND

AT 24 Yale St Lot #2 University Park CBL 436 A009001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is latched or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

#### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*Jeanne Bourke* 11/03/03  
Director - Building & Inspection Services

### PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1308	Issue Date: NOV 28 2003	CBL: 012 436 A009001
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Location of Construction: 24 Yale St Lot #2	Owner Name: Wescott & Payson II	Owner Address: 240 Harvard St	Phone: 781-8822
Business Name: University Park	Contractor Name: Chris Ballard	Contractor Address: 7 Terra Way Falmouth	Phone: 2078383800
Lessee/Buyer's Name:	Phone:	Permit Type: Amendment to Single Family	Zone: R3

Past Use: New Single Family	Proposed Use: New Single Family wideck	Permit Fee: \$48.00	Cost of Work: \$3,000.00	CEO District: 3
Proposed Project Description: Amendment to Permit # 03-0894 Single Family w/12' x 12' Deck 10'		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 50 BOLA #99 Signature: JMB 11/03/03	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: gad	Date Applied For: 10/21/2003	<b>Zoning Approval</b>		
<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>		<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: JMB 11/03/03	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: JMB
		approved orig permit #03-894 SF Home		

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

03-1308

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

36-38

Location/Address of Construction: <u>Lot # 2 Yale St</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot <u>7500</u>	
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>436      A      012</u>	Owner: <u>MKS Development</u>	Telephone: <u>781-8822</u> <u>838-3800</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:	Cost Of Work: \$ <u>3000</u> Fee: \$ <u>48</u>
Current use: <u>N/A SFR</u>		
If the location is currently vacant, what was prior use: <u>N/A</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>Residential Home w/ 12x12 deck</u> Project description: <u>Amendment to permit #03-0894</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Chris Ballard</u>		
Mailing address:		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>838-3800</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

DEPT. OF BUILDING INSPECTION  
**D** OCT 2 | 2003  
 APPROVED

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>10/28/03</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



# CITY OF PORTLAND, MAINE

Department of Building Inspections

10/21 20 03

Received from Chris Ballard

36-38 Yale St

Cost of Construction \$ \_\_\_\_\_

Permit Fee \$ 48.00

Building (IL)  Plumbing (I5) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 436 A 012

*Amendment to permit # 03-0894*

Check #: 3734

Total Collected \$ 48.00

## THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy

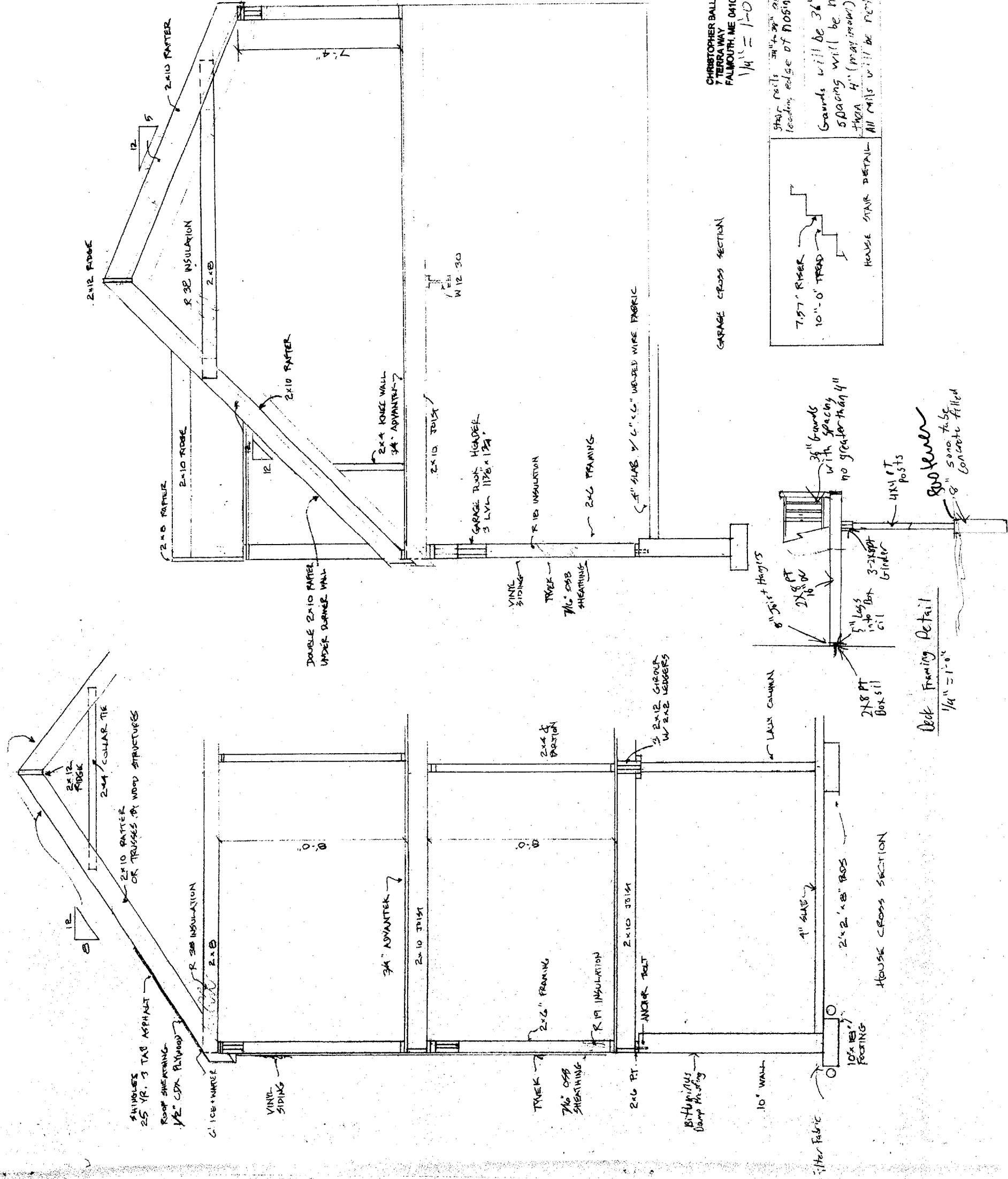
11/12/03 Some tubes, set backs ok. A Rowe

3-31-04 checked  
deck height 36"  
of spacing less than  
4" opening OK  
AW



lot 2  
yale ct

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
NOV - 3 2003  
**RECEIVED**



CHRISTOPHER BALLARD INC  
7 TERRA WAY  
FALMOUTH, ME 04105  
1/4" = 1'-0"

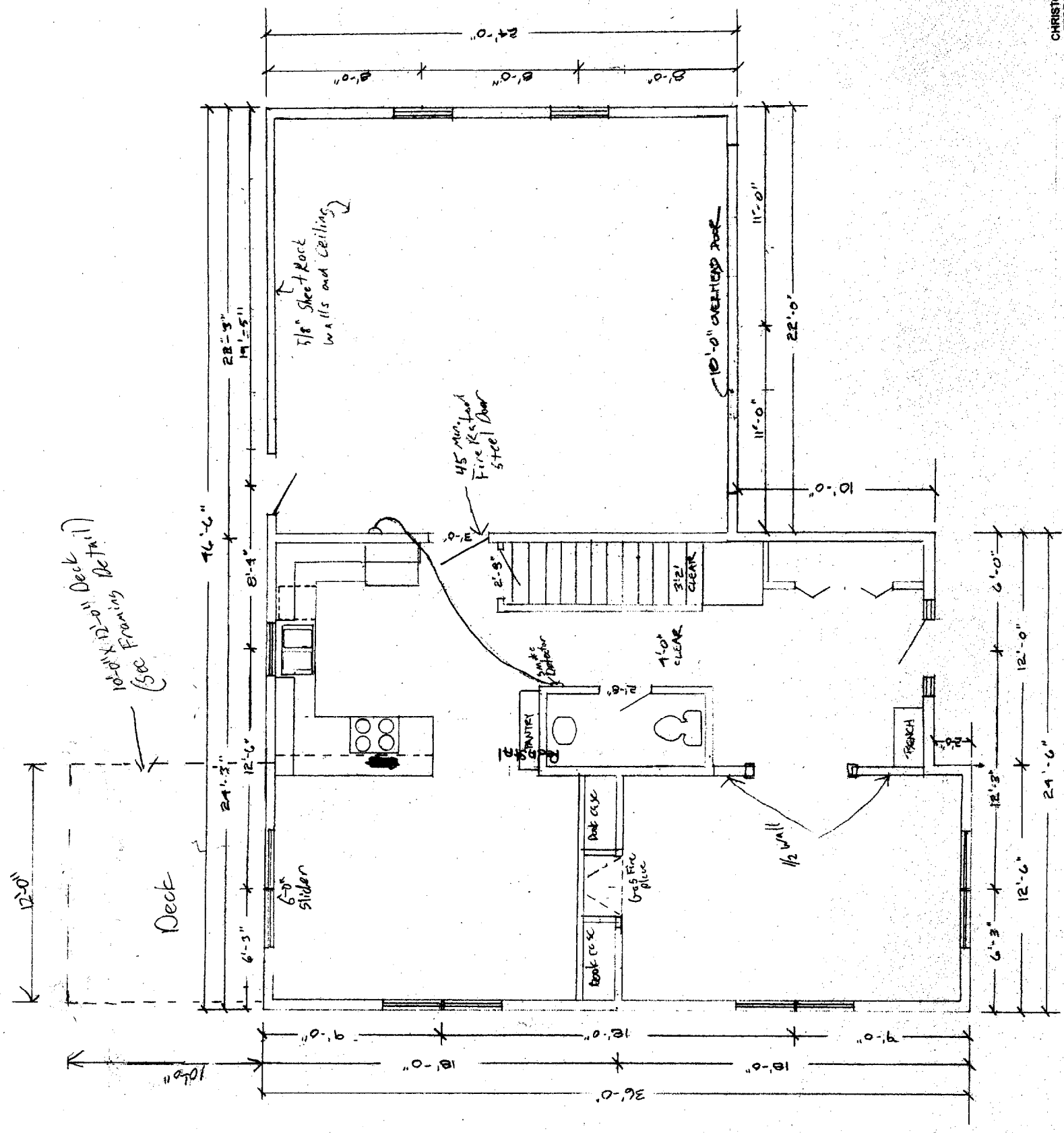
Stair rails 3/4" x 4" above  
leading edge of nosing  
Grounds will be 36" in Ht.  
Spacing will be no more  
than 4" (maximum)  
All nails will be removed

7.57' RISER  
10'-0" TREAD  
HOUSE STAIR DETAIL

Deck Framing Detail  
1/4" = 1'-0"

Lot 2  
Yale Ct

Future  
Lines For  
Machine



10'-0" x 12'-0" Deck  
(500 Framing Detail)

Deck

3/8" Sheet Rock  
walls and ceiling

45 min. Fire  
Steel Door

10'-0" OVERHEAD DOOR

2'-5"

3'-2" CLEAR

1'-0" CLEAR

60" SINK

60" SINK

60" SINK

60" SINK

60" SINK

60" SINK

60" SINK

60" SINK

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DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
NOV - 3 2003  
RECEIVED

CHRISTOPHER BALLARD INC  
7 TERRA WAY  
FALMOUTH, ME 04105

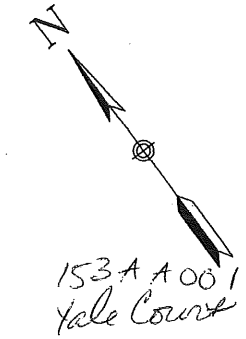
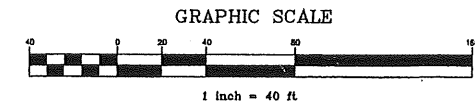
1/4" = 1'-0"

1ST FLOOR PLAN

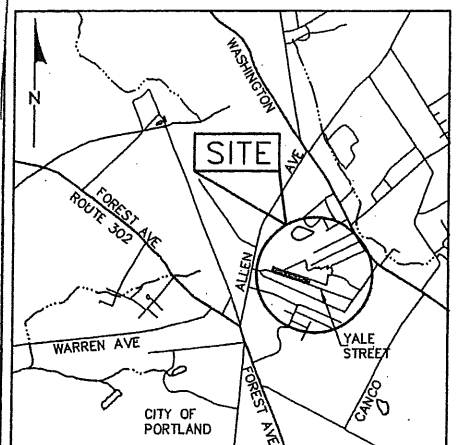
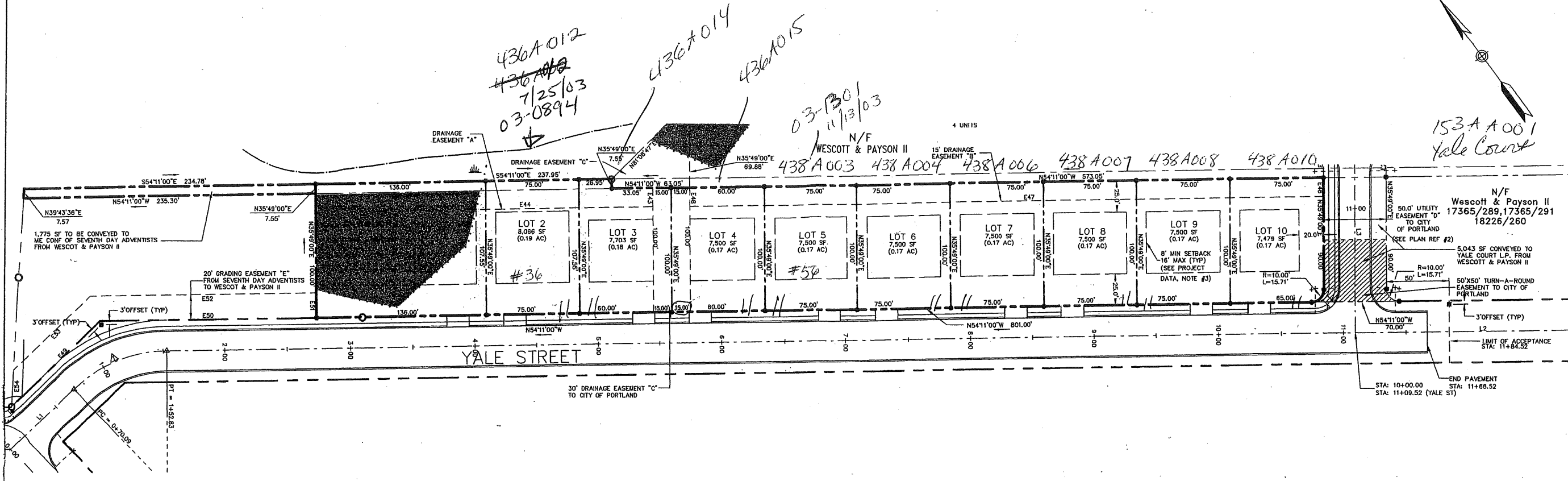




# UNIVERSITY PARK SITE PLAN



666 RIVERSIDE STREET  
PORTLAND, MAINE 04103  
Tel: (207) 878-2321  
Fax: (207) 878-0100  
www.tuc.com  
TUC  
Land Use Consultants, Inc.



**LOCUS**  
SCALE: 1"=2000'

**PROJECT DATA:**

- PROPERTY IS LOCATED IN THE R-3 RESIDENTIAL ZONE WHICH PERMITS MEDIUM DENSITY SINGLE FAMILY DWELLINGS ON INDIVIDUAL LOTS AND PLANNED RESIDENTIAL UNIT DEVELOPMENTS (PRUD) OF HORIZONTALLY ATTACHED DWELLING UNITS.
- PARCEL ACREAGE: 1.90 AC
- SPACE & BULK REGULATIONS: R-3 RESIDENTIAL ZONE - SINGLE FAMILY
 

REQUIRED	PROVIDED
MIN LOT AREA	6,500 SF
MIN STREET FRONTAGE	50'
MIN FRONT & REAR YARD	25'
MIN SIDE YARD	1.5 STORY = 8'
	2 STORY = 14'
	2.5 STORY = 16'

(REFER TO ZONING ORDINANCE FOR ACCESSORY STRUCTURES & SWIMMING POOLS)

  - MAX BUILDING HEIGHT: 35'
  - MAX LOT COVERAGE: 85%
  - MIN LOT WIDTH: 75'
- NO PART OF THIS PROJECT FALLS WITHIN THE F. E. H. A. 100 YEAR FLOOD HAZARD ZONE.

**PLAN REFERENCES:**

- THIS PLAN REFERENCES PLAN ENTITLED "STANDARD BOUNDARY SURVEY, YALE STREET, BERRY AVENUE AND CHESLEY AVENUE, PORTLAND, MAINE", MADE FOR WESCOTT & PAYSON II, BY TITCOMB ASSOCIATES, DATED 6/12/02, RECORDED 11-22-02, PLAN BOOK 202, PAGE 693.
- REFER TO PLAN ENTITLED "SUBDIVISION RECORDING PLAN (PRUD), YALE COURT, YALE STREET, PORTLAND, MAINE", MADE FOR YALE COURT L.P., BY LAND USE CONSULTANTS, INC., DATED 9/30/02 AND REVISED 12/20/02.

**OWNERSHIP RECORD:**

NOW OR FORMERLY WESCOTT & PAYSON II, PLAN BOOK/PAGE 17365/289, 17365/291 AND 18226/260.

**CERTIFICATION:**

THIS SURVEY CONFORMS TO THE CURRENT STANDARDS OF THE MAINE STATE BOARD OF LICENSURE FOR LAND SURVEYORS EXCEPT AS NOTED.

- EXCEPTIONS:
- NO PINS SET AS OF PLAN DATE
  - NO REPORT WRITTEN
  - NO DESCRIPTION WRITTEN

REX J. CROTEAU, PLS #2273

**WAIVERS:**

APPLICANT HAS REQUESTED A WAIVER FOR CONSTRUCTION OF SIDEWALK ON SOUTH SIDE OF YALE STREET.

**LEGEND**

EXISTING	PROPOSED
CONTOUR	CONTOUR
SPOT GRADE	SPOT GRADE
ROW	ROW
PROPERTY LINE	PROPERTY LINE
ROADWAY CENTERLINE	ROADWAY CENTERLINE
BUILDING SETBACK	BUILDING SETBACK
EDGE OF PAVEMENT	EDGE OF PAVEMENT
BIT CURB	BIT CURB
VERTICAL GRANITE CURB	VERTICAL GRANITE CURB
CAPE COD BIT CURB	CAPE COD BIT CURB
BUILDING	BUILDING
SANITARY SEWER	SANITARY SEWER
STORM DRAIN	STORM DRAIN
WATER MAIN	WATER MAIN
GAS SERVICE	GAS SERVICE
ETTV	ETTV
CATCH BASIN	CATCH BASIN
MANHOLE	MANHOLE
HYDRANT	HYDRANT
GATE VALVE	GATE VALVE
SIDEWALK RAMP	SIDEWALK RAMP
POLE LIGHT - 'B' TYPE	POLE LIGHT - 'B' TYPE
POLE LIGHT - 'A' TYPE	POLE LIGHT - 'A' TYPE
UTILITY POLE	UTILITY POLE
IRON PIN FOUND	IRON PIN FOUND
FOUND GRANITE MONUMENT	FOUND GRANITE MONUMENT
TO BE SET REBAR W/ CAP	TO BE SET REBAR W/ CAP
WETLANDS	WETLANDS

**SPECIAL NOTES:**

- PER CITY OF PORTLAND, MAINE CODE OF ORDINANCES, SECTION 14-493, LAND USE CHAPTER 14, REV. 2-21-01: "A SUBDIVISION SHALL MEAN THE DIVISION OF A LOT, TRACT, OR PARCEL OF LAND, INTO THREE (3) OR MORE LOTS, INCLUDING LOTS OF FORTY (40) ACRES OR MORE, WITHIN ANY FIVE-YEAR PERIOD WHETHER ACCOMPLISHED BY SALE, LEASE, DEVELOPMENT, BUILDINGS OR OTHERWISE AND AS FURTHER DEFINED IN 30-A M.R.S.A. SECTION 4401. THE TERM SUBDIVISION SHALL ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OF STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD AND THE DIVISION OF AN EXISTING STRUCTURE OR STRUCTURES PREVIOUSLY USED FOR COMMERCIAL OR INDUSTRIAL USE INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSES OF THIS PARAGRAPH. A DWELLING UNIT SHALL INCLUDE ANY PART OF A STRUCTURE WHICH, THROUGH SALE OR LEASE, IS INTENDED FOR HUMAN HABITATION, INCLUDING SINGLE-FAMILY AND MULTIFAMILY HOUSING CONDOMINIUMS, TIME-SHARE UNITS AND APARTMENTS."
  - BUILDING WINDOWS SHOWN ON THIS PLAN FOR LOTS 1 THROUGH 10 REPRESENT THE MAXIMUM BUILDING AREA WINDOW FOR HOUSES. SIDE YARD SETBACKS MAY NEED TO BE INCREASED PER ZONING REQUIREMENTS FOR R-3 RESIDENTIAL ZONE BASED UPON PROPOSED CONSTRUCTION AND SHALL BE APPROVED BY CITY OF PORTLAND CODE ENFORCEMENT OFFICE.
  - EACH LOT SHALL REQUIRE THE SUBMISSION OF A SITE PLAN FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, AND SHALL BE SUBJECT TO REVIEW PURSUANT TO ARTICLE V OF CHAPTER 14 OF THE PORTLAND CITY CODE.
  - A MINIMUM OF TWO TREES SHALL BE CONSERVED OR PLANTED BY THE DEVELOPER ON EACH LOT IN ACCORDANCE WITH THE CITY OF PORTLAND ARBORIST SPECIFICATIONS, LOCATED IN THE FRONT OF EACH LOT. LOCATION AND SPECIES MAY VARY, BUT SHALL BE APPROVED BY THE CITY OF PORTLAND ARBORIST. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN ULTIMATELY LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH THE CITY ORDINANCES AND APPROVALS. SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVERABLE BY THE DEVELOPER.
  - MINIMUM ELEVATIONS FOR THE PROPOSED BUILDING SILL SHALL BE AS DEPICTED ON THIS PLAN. THE LOWEST BUILDING SILL ELEVATION SHALL BE CALCULATED AS AN ELEVATION DETERMINED TO BE A MINIMUM OF TWO FEET ABOVE THE ROAD CENTERLINE ELEVATION. THE LOWEST BUILDING OR FOUNDATION OPENING SHALL BE CALCULATED AS AN ELEVATION A MINIMUM OF SIX INCHES ABOVE THE ROAD CENTERLINE ELEVATION AND SHALL BE AS DEPICTED ON THIS PLAN. MODIFICATIONS TO THE MINIMUM BUILDING SILL ELEVATIONS OR MINIMUM BUILDING OPENING ELEVATIONS AS INDICATED ON THIS PLAN SHALL BE APPROVED BY THE CITY OF PORTLAND PLANNING AUTHORITY UNDER SITE PLAN REVIEW PRIOR TO ISSUANCE OF A BUILDING PERMIT. THE MINIMUM BUILDING SILL AND BUILDING OPENING ELEVATIONS FOR LOTS 1 THROUGH 10 AS HEREBY RECORDED ON THIS PLAN ARE AS FOLLOWS:
- | LOT NO. | SILL ELEV. | LOWEST BLDG. ELEV. | LOT NO. | SILL ELEV. | LOWEST BLDG. ELEV. |
|---------|------------|--------------------|---------|------------|--------------------|
| 1       | 105.0      | 103.5              | 6       | 102.0      | 100.5              |
| 2       | 106.5      | 105.0              | 7       | 102.5      | 101.0              |
| 3       | 106.5      | 105.0              | 8       | 103.0      | 101.5              |
| 4       | 104.5      | 103.0              | 9       | 103.5      | 102.0              |
| 5       | 102.5      | 101.0              | 10      | 104.1      | 102.6              |
- PRIVATE DRAINAGE EASEMENTS: BUILDINGS, STRUCTURES, ACCESSORY STRUCTURES, REGRADING, FILLING, EXCAVATING, STORAGE OR PLACEMENT OF ANY MATERIALS AND OBSTRUCTIONS OR SOIL OR VEGETATIVE DISTURBANCE WITHIN PRIVATE DRAINAGE EASEMENTS SHALL BE PROHIBITED, UNLESS APPROVED IN WRITING BY THE CITY OF PORTLAND UNDER SITE PLAN REVIEW. PLACEMENT OF FENCES AND LANDSCAPE SCREENING IS PERMITTED ALONG THE REAR PROPERTY LINE PROVIDED IT DOES NOT OBSTRUCT FLOW WITHIN THE EASEMENT. EACH INDIVIDUAL DEED FOR LOTS 1 - 10 WILL INCLUDE A REFERENCE TO THIS EASEMENT AND WILL BE RECORDED AT THE CORD.
  - LOT 1 CONTAINS WETLANDS WHICH ARE SUBJECT TO FEDERAL AND STATE REGULATIONS. ANY DISTURBANCE OF FILLING SHOULD BE AVOIDED AND/OR MINIMIZED. IF TOTAL DISTURBANCE EXCEEDS 4,300 SF, A STATE AND FEDERAL PERMIT IS REQUIRED.

**CURVE TABLE**

CHORD	BEARING	DELTA
1 110.00	82.75	43.44
80.00	82.3511°W	43.5000°

**CENTERLINE LINE TABLE**

LINE LENGTH	BEARING
L1 70.00	S83°09'11"V
L2 205.32	S88°09'11"V
L3 165.00	N00°30'49"V

FOR REGISTRY OF DEEDS

Date	Revision
11-15-02	ISSUE FOR FINAL REVIEW
12-20-02	FINAL REVISIONS
1-09-03	NO REVISIONS THIS SHEET

APPROVED BY CITY OF PORTLAND  
PLANNING BOARD: \_\_\_\_\_ (DATE)

**EASEMENT 'A' LINE TABLE**

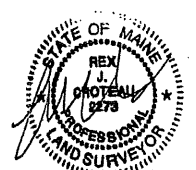
LINE	LENGTH	BEARING
E43	15.00	S35°49'00"W
E44	271.00	N54°11'00"W
E45	22.55	N35°49'00"E

**EASEMENT 'B' LINE TABLE**

LINE	LENGTH	BEARING
E46	15.00	S35°49'00"W
E47	510.00	N54°11'00"W
E48	15.00	N35°49'00"E

**EASEMENT 'C' LINE TABLE**

LINE	LENGTH	BEARING
E49	99.00	N82°40'20"E
E50	174.00	S54°11'00"E
E51	20.00	N35°49'00"E
E52	181.91	N54°11'00"W
E53	85.55	S82°40'20"W
E54	29.26	S39°32'54"W



AMENDED SUBDIVISION PLAN  
TO PLAN OF LOTS AT UNIVERSITY PARK  
PORTLAND, MAINE  
PREPARED FOR RECORD OWNER  
WESCOTT & PAYSON II  
240 HARVARD STREET, PORTLAND, ME 04103

Subdivision Recording Flat  
(Amendment to "Plan of  
Lots" at University Park")

Job No. 4080  
Sheet  
1 of 1