Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

B... INSPECTION

PERMIT ISSUED

Permit Number: 030894

SEP 11 2003

PERMIT

Please Read Application And Notes, If Any, Attached

This is to certify that Wescott & Payson Ii/Chris B...rd

has permission to Construct 2424 s.f. Single fa...y dwelli...w/2 ca...rage

CITY OF PORTLAND

AT 36-38 Yale St (Lot #2 University Park) ...L 436 A012001

provided that the person or persons, ...m or ...poration ...epting this permit shall comply with all of the provisions of the Statutes of ...ne and of th... ...nces of the City of Portland regulating the construction, maintenance and u... of buildings and st...tures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

N...ication ... inspec... must g... and w... permi... procu... b... this b...ding o...t thereo... la...d or c... closed-in. H... NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

Jeanie Bonke 9/11/03
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 36 Yale St **CBL** 436 A012001

Issued to Westcott & Payson Ii/Chris Ballard Date of Issue 04/01/2004

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 03-0894, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES	APPROVED OCCUPANCY
Entire	Single Family Dwelling w/rear deck Use Group: R-3 Type: 5 B BOCA 1999

Limiting Conditions:
Temporary Certificate Expires 6-1-04. All sitework must be completed by 6-1-04

This certificate supersedes certificate issued

Approved:

4-1-04 (Date) Michael Libby Inspector

4/1/04 Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or ~~874-8693~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

✓ **Footing/Building Location Inspection:** Prior to pouring concrete

N/A **Re-Bar Schedule Inspection:** Prior to pouring concrete

✓ **Foundation Inspection:** Prior to placing ANY backfill

✓ **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

✓ **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a $75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

✓ **If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

PA **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[signature] 9/11/03
Signature of applicant/designee Date

Jeanne Bonk 9/11/03
Signature of Inspections Official Date

CBL: 436-A-12 Building Permit #: 03-0894

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Issue Date:	CBL:
03-0894	SEP 11 2003	436 A012001 13 (R26)

Location of Construction:	Owner Name:	Owner Address:	Phone:
36-38 Yale St (Lot #2 University Park)	Wescott & Payson Ii	240 Harvard St CITY OF PORTLAND	207-797-4380
Business Name:	**Contractor Name:**	**Contractor Address:**	**Phone**
	Chris Ballard	7 Terra Way Falmouth	2078383800
Lessee/Buyer's Name	**Phone:**	**Permit Type:**	**Zone:**
		Single Family	R-3

Past Use:	Proposed Use:	Permit Fee:	Cost of Work:	CEO District:
vacant land	Single family dwelling: 2424 s.f.l.s. On Lot #2 University Park	$1,356.00	$140,000.00	

FIRE DEPT: ☐ Approved ☐ Denied — Signature:

INSPECTION: Use Group: R3 BOCA 1999 Type: 5B — Signature: JMB 9/11/03

Proposed Project Description:
Construct 2424 s.f. Single family dwelling w/2 car garage

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: ☐ Approved ☐ Approved w/Conditions ☐ Denied
Signature: Date:

Permit Taken By:	Date Applied For:
kwd	07/25/2003

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Zoning Approval

Special Zone or Reviews	Zoning Appeal	Historic Preservation
☐ Shoreland ok per revised plans Dated 9/2/03	☐ Variance	☑ Not in District or Landmark
☐ Wetland	☐ Miscellaneous	☐ Does Not Require Review
☐ Flood Zone Panel 7 Zone X	☐ Conditional Use	☐ Requires Review
☐ Subdivision	☐ Interpretation	☐ Approved
☒ Site Plan 2003-0162	☐ Approved	☐ Approved w/Conditions
Maj ☐ Minor ☐ MM ☒ ok with conditions	☐ Denied	☐ Denied
Date: 9/3/03	Date:	Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT | ADDRESS | DATE | PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE | DATE | PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
03-0894	07/25/2003	436 A012001

Location of Construction:	Owner Name:	Owner Address:	Phone:
36-38 Yale St (Lot #2 University Par	Wescott & Payson Ii	240 Harvard St	207-797-4380
Business Name:	**Contractor Name:**	**Contractor Address:**	**Phone**
	Chris Ballard	7 Terra Way Falmouth	(207) 838-3800
Lessee/Buyer's Name	**Phone:**	**Permit Type:**	
		Single Family	

Proposed Use:	Proposed Project Description:
Single family dwelling: 2424 s.f.l.s. On Lot #2 University Park	Construct 2424 s.f. Single family dwelling w/2 car garage

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 09/03/2003

Note: 8/19/03 The developer/contractor assumed that the garage was 1-1/2 stories for purposes of setbacks. My calculations on the area above the garage (based on data that isn't complete) shows it to be over 2/3 of the garage below. It is considered to be 2 sotries for setbacks. See letter
9/3/03 received revised plans
9/8/03 received revised plans showing a partial daylight basement in the rear - not enough to be considered another floor for setback purposes - re approved for zoning 9/10/03

Ok to Issue: ☑

1) The revised plans dated 9/8/03 show a partial daylight basement on the rear. Less than one half of the floor to ceiling height is above grade. Scaled 32' from lowest given grade level to 1/2 way point on roof line.
2) Separate permits shall be required for future decks, sheds, pools, and/or garages. PLEASE NOTE: NO REAR DECKS are shown as part of this permit application, therefore NO REAR DECKS are being approved. The plans only reference a PATIO (patio blocks or pavers only) which is not a structure and does not require a permit.
3) This permit is being approved on the basis of plans submitted and received on 9/3/03. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 09/11/2003

Note:

Ok to Issue: ☑

1) Per contractor the main carrying girder will be LVL's and the design specs will be submitted to this office
2) Separate permits are required for any electrical or plumbing work.
3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approrval prior to work.

Comments:

07/25/2003-kwd: site plan information not specific to lot; Gayle called, will bring it in.

08/05/2003-gg: received site plan and $353.00 money owed. /gg

36-38 Yale ct Lot #2
03-0894 436-A-12

Soil type/Presumptive Load Value (Table 401.4.1)	Ledge / Sandy gravel	5000 – 12,000
STRUCTURAL **Footing Dimensions/Depth** **(Table 403.1.1 & 403.1.1(1),** **Section 403.1.2)**	10" x 18"	OK
Foundation Drainage Dampproofing **(Section 406)**	OK	
Ventilation (Section 409.1) **Crawls Space ONLY**	partial Daylight	OK
AnchorBolts/Straps (Section 403.1.4)	OK	
Lally Column Type, **Spacing and footing sizes (Table 502.3.4(2))**	3 1/2" 2x2x8 8'1"	OK
Built-Up Wood Center Girder **Dimension/Type** **(Table 502.3.4(2))**	3-2x12 max allowed 7'7"	will do LVL's * Specs
Sill/Band Joist Type & Dimesions	2x6 PT 2x10 Rim	OK
First Floor Joist Species **Dimensions and Spacing** **(Table 503.3.1(1) & Table 503.3.2(1))**	2x10 16 o-c.	OK

Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))	2x10 16.0C	Ok	
Attic or additional Floor Joist Species Dimensions and Spacing(Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	2x8 2x4 collar	Ok	
Roof Rafter;Pitch, Span, Spacing& Dimension(Table 802.3.2(7))	8:12, 5:12, 2x10 or Truss 2x8 on Dormer	Ok	
Sheathing; Floor, Wall and roof (Table 503.2.1(1)	3/4 Advantk, 7/16 OSB, 1/2 CDX	Ok	
Fastener Schedule (Table 602.3(1) & (2))		Ok	

Stairs		
Number of Stairways	2	
Interior	2	
Exterior	none shown	
Treads and Risers (Section 314)	7 1/2" R, 10" Tread	OK
Width	3'2" clear	OK
Headroom		
Guardrails and Handrails (Section 315)	36" HR 34-38 w/Return 4" MAX	OK
Private Garage		
Section 309 and Section 407 1999 BOCA)		
Living Space ?		
(Above or beside)		OK
Fire separation	5/8 all around	
Fire rating of doors to living space	45 min Door	OK
Door Sill elevation (407.5 BOCA)		
Egress Windows (Section 310)	Listed in BR's	OK

Roof Covering (Chapter 9)	25 yr shingle 3 tab ice & water	ok
Safety Glazing (Section 308)	2nd Fl Baths ok	
Attic Access (BOCA 1211.1)	~~Bedrooms~~ & 22x30 Rear BR	ok
Draft Stopping around chimney	Direct Vend	ok
Header Schedule	Kitchen Beam 7"x9 1/2 x 14' versa lam Garage 3-11 7/8 x 13/4 LVL	& Steel W12x30 ok
Type of Heating System		ok
Smoke Detectors Location and type/Interconnected	ok	

See Chimney Summary Checklist

TABLE 1003.1
SUMMARY OF REQUIREMENTS FOR MASONRY FIREPLACES AND CHIMNEYS

NOTE: This table provides a summary of major requirements for the construction of masonry chimneys and fireplaces. Letter references are to Figure 1003.1, which shows examples of typical construction. This table does not cover all requirements, nor does it cover all aspects of the indicated requirements. For the actual mandatory requirements of the code, see the indicated section of text.

ITEM	LETTER	REQUIREMENTS	
		Summary	See Section
Hearth and hearth extension thickness	A	4-inch minimum thickness for hearth. 2-inch minimum thickness for hearth extension.	1003.9.1 1003.9.2
Hearth extension (each side of opening)	B	8 inches for fireplace opening less than 6 square feet. 12 inches for fireplace opening greater than or equal to 6 square feet.	1003.10
Hearth extension (front of opening)	C	16 inches for fireplace opening less than 6 square feet. 20 inches for fireplace opening greater than or equal to 6 square feet.	1003.10
Hearth and hearth extension reinforcing	D	Reinforced to carry its own weight and all imposed loads.	1003.9
Firebox dimensions	E	20-inch minimum firebox depth. 12-inch minimum firebox depth for Rumford fireplaces.	1003.11
Thickness of wall of firebox	F	10 inches solid masonry or 8 inches where firebrick lining is used.	1003.5
Distance from top of opening to throat	G	8 inches minimum.	1003.7
Smoke chamber Wall thickness Dimensions	H	6 inches lined; 8 inches unlined. Not taller than opening width; walls not inclined more than 45 degrees from vertical for prefabricated smoke chamber linings or 30 degrees from vertical for corbeled masonry.	1003.8 1003.8.1
Chimney vertical reinforcing[a]	I	Four No. 4 full-length bars for chimney up to 40 inches wide. Add two No. 4 bars for each additional 40 inches or fraction of width, or for each additional flue.	1003.3.1
Chimney horizontal reinforcing[a]	J	$^1/_4$-inch ties at each 18 inches, and two ties at each bend in vertical steel.	1003.3.2
Fireplace lintel	K	Noncombustible material with 4-inch load-bearing length of each side of opening.	1003.7
Chimney walls with flue lining	L	4-inch-thick solid masonry with liner. $^1/_2$-inch grout or airspace between liner and wall.	1001.7; 1001.9
Effective flue area (based on area of fireplace opening and chimney)	M	See Section 1001.12.	1001.12
Clearances From chimney From fireplace Combustible trim or materials Above roof	N	 2 inches interior, 1 inch exterior. 2 inches front, back or sides. 6 inches from opening. 3 feet above roof penetration, 2 feet above part of structure within 10 feet.	 1001.15 1003.12 1003.13 1001.6
Anchorage[a] Strap Number Embedment into chimney Fasten to Bolts	O	 $^3/_{16}$ inch by 1 inch. Two. 12 inches hooked around outer bar with 6-inch extension. Four joists. Two $^1/_2$-inch diameter.	1003.4
Footing Thickness Width	P	 12-inch minimum. 6 inches each side of fireplace wall.	1003.2

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 square foot = 0.0929 m^2, 1 degree = 0.01745 rad.

[a] Required only in Seismic Zones 3 and 4.

03-0894

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

36-38 Yale St ~~240 Harvard St~~

Location/Address of Construction: Lot #2 Yale St. University Park

Total Square Footage of Proposed Structure ~~2400~~ 2424 sq ft 30 x 50 ~~sq ft~~

Square Footage of Lot 7500 sf +/-

Tax Assessor's Chart, Block & Lot
Chart# 153A Block# 4 Lot# ~~A-12~~ 002

Owner: Wescott + Payson

Telephone: [redacted] 797-4380 office

Lessee/Buyer's Name (If Applicable)

Applicant name, address & telephone: Wescott + Payson 240 Harvard st Portland, Me. 04103

Cost Of Work: $ 140,000

Fee: [redacted]

Current use: Vacant

If the location is currently vacant, what was prior use: Raw land [redacted]

Approximately how long has it been vacant: [redacted]

Proposed use: University Park Hous lots.

Project description: New SF 28' x 34' w/ 24'x24' two car garage

Contractor's name, address & telephone: Chris Ballard 838-3800

Who should we contact when the permit is ready: 838-3800 chris Ballard + Cell

Mailing address: 87 terra way Falmouth, Me. 04105

We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a $100.00 fee if any work starts before the permit is picked up. **PHONE:**

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
JUL 25 2003
RECEIVED

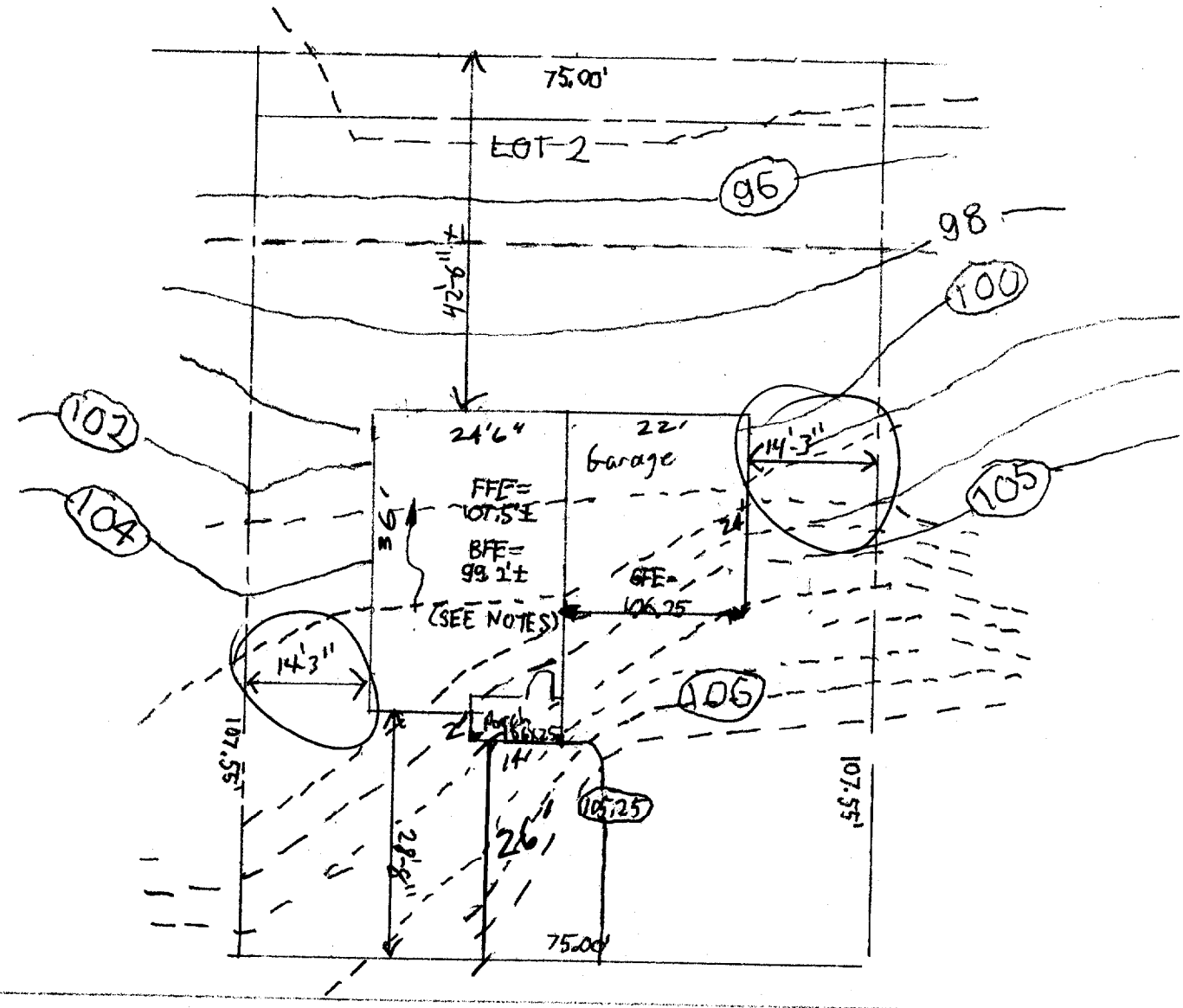
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorized the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [signature] for Fac Date: 7/24/03

This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Owes $33.00



Revised site plan
which reduces the size of the
Building

Applicant: Chris Ballard Date: 8/18/03

Address: 36-38 ~~Yale St~~ (Lot #2) University Park C-B-L: 436-A-12 & 13
(10 lot subdivision)

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Subdivision permit Appl #03-0891

Zone Location - R-3

Interior or corner lot - revised plans 9/3/03 24'6" X 36'

Proposed Use/Work - Construct New Sngle Dwelling with Attached 2 car garage ~~24 x 24~~ 22

Sewage Disposal - City

Lot Street Frontage - 50' req min - 75' shown 26' scaled

Front Yard - 25' min - ~~25~~ exactly

Rear Yard - 25' min - ~~42~~ 54' scaled

Side Yard - 14' req - ~~8' & 15'~~ shown 14'3" & 14'3" shown
2 stories shown both sides
see revised plans dated 9/3/03 OK revised

Projections - patio (not a deck) on rear - front porch 4' x 14'

Width of Lot - 75' req min - 75' shown

Height - 35' MAX - 24' scaled

Lot Area - 6,500 ☐' min - 8,066 ☐' shown

Lot Coverage/ Impervious Surface - 25% = 2016.5 ☐' MAX

Area per Family - 6,500 ☐'

Off-street Parking - 2 pkg spaces req - 2 car garage shown OK

Loading Bays - N/A

Site Plan - minor/minor 2003-0162

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 7 - Zone X

24.5 x 36 = 882
~~22 x 24~~ = ~~528~~
22 x 24 = 528
2 x 14 = 28
1556 ☐'
OK
1438 ☐'

Department of Planning & Development
Lee D. Urban, Director

CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

September 4, 2003

Christopher Ballard, Inc.
7 Terra Way
Falmouth, ME 04105

RE: Request to Excavate and Blast
Lot 2, Yale Court Subdivision

Dear Mr. Robinson,

Thank you for your written request to excavate and blast on your lot (#2), prior to issuance of the building permit.

Please consider this letter your approval to excavate and blast your lot. This approval is based on the submitted plan. As part of this approval, all erosion control measures shall be installed prior to any soil disturbance.

Sincerely,

Jay Reynolds
Development Review Coordinator

CC: Sarah Hopkins, Development Review Services Manager
Todd Merkle, Public Works Department
√ Mike Nugent, Inspection Services Manager
Marge Schmuckal, Zoning Administrator

O:\drc\yalelot2a.doc

389 Congress Street • Portland, Maine 04101 • (207) 874-8721 • FAX 756-8258 • TTY 874-8936

Zoning Division
Marge Schmuckal
Zoning Administrator

Department of Planning & Development
Lee Urban, Director

CITY OF PORTLAND

August 19, 2003

See revised site Plans (Building narrowed) dated 9/3/03

Chris Ballard
7 Terra Way
Falmouth Maine 04105

RE: 36-38 Yale Street (lot #2 University Park) – 436-A-012 &1/2 of 13 – R-3 Zone
Permit application #03-0894

Dear Chris,

I am in receipt of your permit application to construct a new single family dwelling with an attached garage. Your permit has been denied because your proposal does not have the required setbacks as denoted within the R-3 residential zone.

Under section 14-47 the definition of "story" states, "That portion of a building included between the surface of any floor and the surface of the floor, or the roof, next above. A half story is a story situated under a sloping roof, the area which at a height of four (4) feet above the floor does not exceed two-thirds of the floor area of the story immediately below it....". Although you have not submitted full plans to show where the height of four feet hits under the sloping roof on the area above the garage, I used the open area with the front dormer as clear open space. This open area calculated to over 2/3 of the garage area immediately below it. The garage with the floor above is considered to be two (2) stories in height by definition. You are required to show fourteen (14) feet on both sides of this structure (section 14-90). Currently your plans show eight (8) feet and fifteen (15) feet. Your permit has been denied.

If you wish to resubmit additional plans to correct this violation of the ordinance, you will have thirty (30) days from the date of this letter in which to do so. Please note that complete plans showing where the four (4) foot under the sloped roof is located shall be required for a complete and accurate review. If this office does not receive revised plans within the thirty day period, your permit application will be void. Any further applications shall require a separate permit application.

You have the right to appeal my decision. If you wish to exercise your right to appeal, you have

thirty (30) days from the date of this letter in which to appeal. If you should fail to do so, my decision is binding and not subject to appeal. Please contact this office for the necessary paperwork that is required to file an appeal.

Please also note that your permit is on hold until such time that revised plans have been received or after thirty days have expired. Your permit has not yet been reviewed for submitted structurals and compliance with the building codes.

Very truly yours,

Marge Schmuckal
Zoning Administrator

Cc: Wescott & Payson
240 Harvard Street
Portland, ME 04103

Jay Reynolds, Development Review Coordinator
File

Storm water retention area: A pond or basin used for the permanent storage of stormwater runoff.

Story: That portion of a building included between the surface of any floor and the surface of the floor, or the roof, next above. A half story is a story situated under a sloping roof, the area which at a height four (4) feet above the floor does not exceed two-thirds of the floor area of the story immediately below it and which does not contain an independent apartment or dwelling unit. A story which exceeds eighteen (18) feet in height shall be counted as two (2) stories. A basement shall be counted as a story for the purpose of height measurement where more than one-half of its height is above the average level of the adjoining ground.

Stream: A free-flowing body of water from the outlet of the confluence of two (2) perennial streams as depicted on the most recent edition of a United States Geological Survey 7.5-minute series topographic map, or if not available, a 15-minute series topographic map, to the point where the body of water becomes a river or flows to another water body or wetland within a shoreland area, or any stream designated within a Stream Protection Zone.

Stream, tributary: A channel between defined banks created by the action of surface water, whether intermittent or perennial, and which is characterized by the lack of upland vegetation or presence of aquatic vegetation and by the presence of a bed devoid of topsoil containing waterborne deposits on exposed soil, parent material or bedrock, and which flows to a water body or wetland. This definition does not include the term "stream" as defined in this section, and only applies to that portion of the tributary stream located within the shoreland zone of the receiving water body or wetland.

Street: A public way established by or maintained under public authority, or a way dedicated to the use of the public and appearing on the official map of the city.

Street line: The line of demarcation between a street and the abutting land.

Structure: Anything constructed or erected of more than one (1) member which requires a fixed location on the ground or

From: Mark Adelson
To: Jay Reynolds; Marge Schmuckal; Mike Nugent
Date: Mon, Aug 25, 2003 4:21 PM
Subject: 36 Yale Street

Permit Appl.# 03-0894
The applicant will be submitting a revised plot plan showing a bld. of different dimensions that meet the set back requirements. They will be requesting a foundation only permit. Like many others, they have an excavator waiting for the green light. If everything else is resolved, please proceed with the foundation permit. Thanks, Mark A.

CC: Karen Dunfey

CWS ARCHITECTS
434 Cumberland Avenue Portland ME 04101-2325
www.CWSarch.com
Phone: 207.774.4441
Fax: 207.774.4016

FAX TRANSMITAL

To: Marge Schmuckal

Company: City of Portland

Fax Number: 874-8716

Date:

Project No. 36-38 Yale Street

From: George Lavigne

Copy to:

Message:

In order to revise the ½ story "Bonus Room" over the garage, I will need clarification on these points of the code:

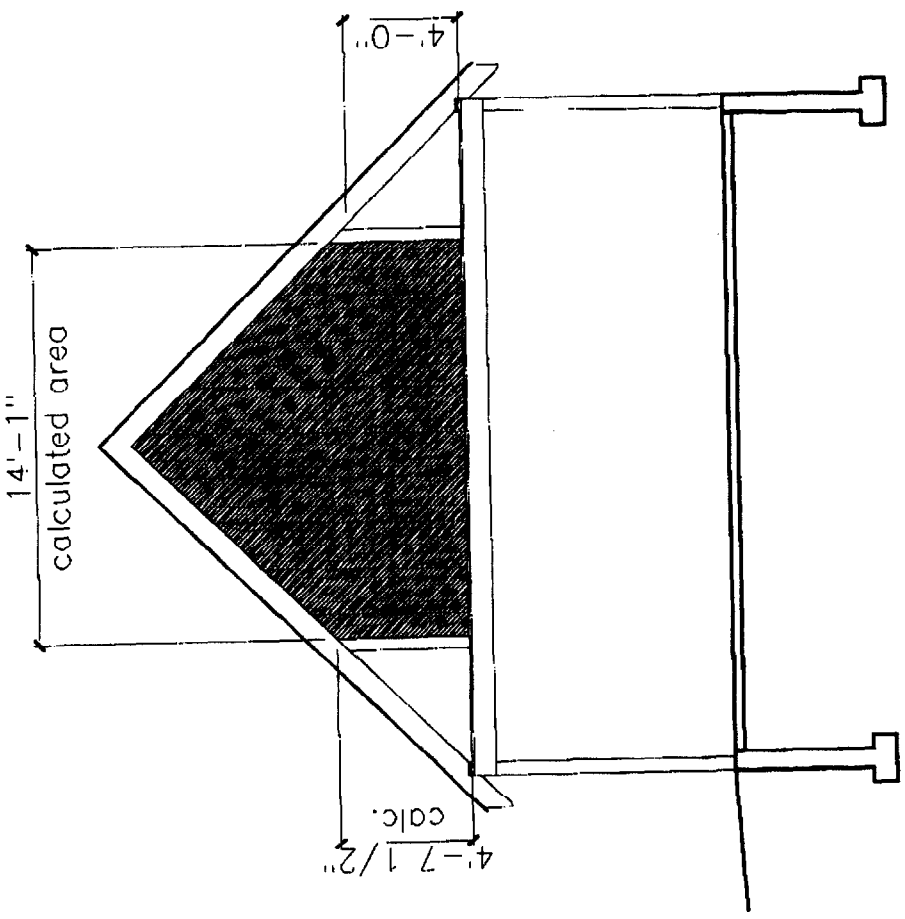
1) **Is the AREA of the ½ story measured *only* within an occupied space, or does it include unoccupied space?**
2) **Is the AREA of the ½ story calculated by measuring 'gross', to the outside of walls, or 'net' to the inside of the walls?**
3) **Is the story below calculated by measuring 'gross', to the outside of walls, or 'net' to the inside of the walls?**
4) **Is the 4'-0" height measurement taken from the top of floor sheathing to the underside of the structure, or from top of floor sheathing to the top of the roof sheathing?**

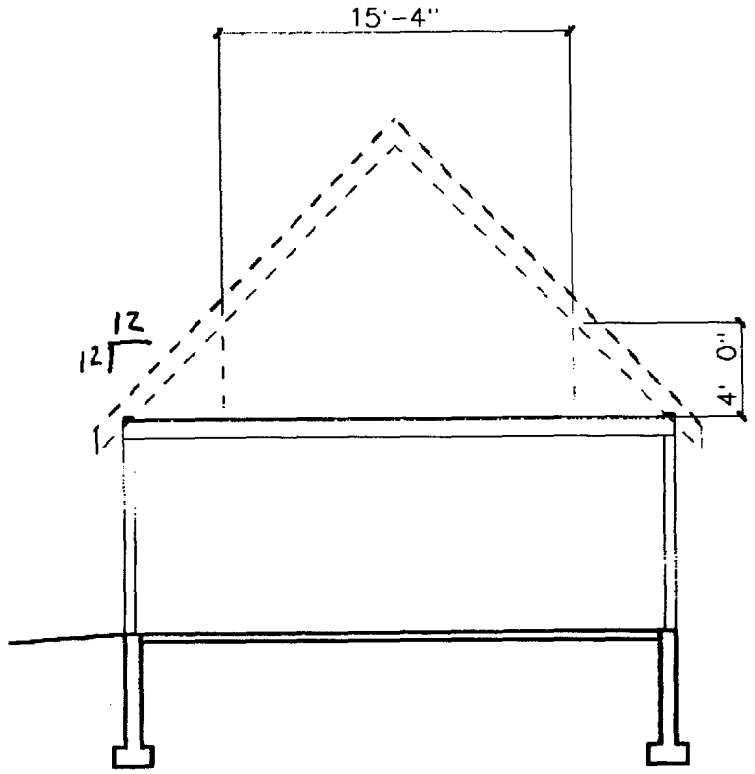
Clearly, all of the initial discussions assumed that the interior of the finished space was the only area to be counted. If this does not hold true, then in order to maintain the architectural integrity of the dormer design, we will have to lower the roof pitch from 12/12 to 12/9.

Please notify CWS if received in error.

Pages Following: 1

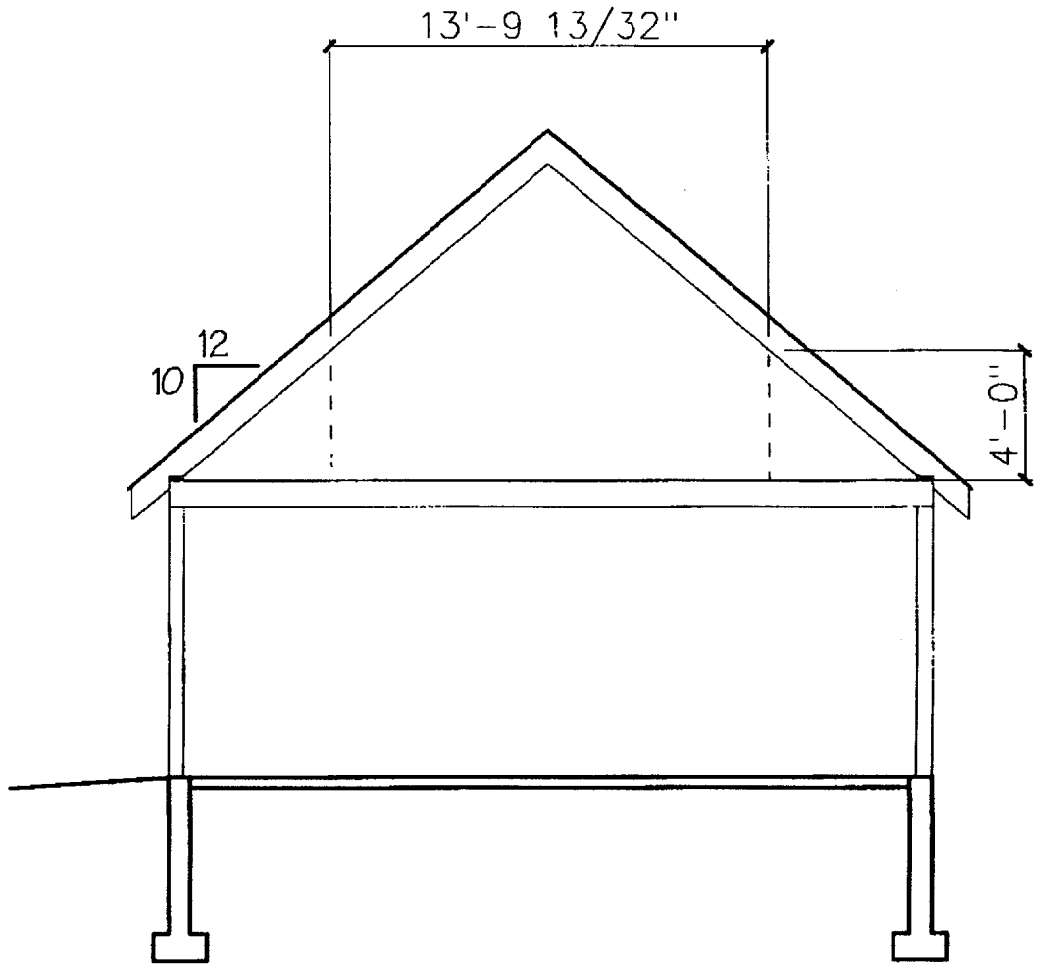
SCHEMATIC GARAGE SECTION





SCHEMATIC GARAGE SECTION

(SUBMITTED DESIGN) 1/8" = 1'-0"



SCHEMATIC GARAGE SECTION

(POSSIBLE REVISION)

N.T.S.

CWS ARCHITECTS
434 Cumberland Avenue Portland ME 04101-2325
www.CWSarch.com
Phone: 207.774.4441
Fax: 207.774.4016

FAX TRANSMITAL

To: Marge Schmuckal

Company: City of Portland

Fax Number: 874-8716

Date:

Project No. 36-38 Yale Street

From: George Lavigne

Copy to:

Message:

I have developed a revised building section with a 10/12 roof pitch which will bring the entire garage within the 1 ½ story guidelines as we have discussed. (See attached.)

It has occurred to me, however, that the 1 ½ story requirement might apply only to the area of the garage being constructed inside of the 15' setback? Thus, we would consider only the 7' of the garage width, and bonus room width, in the calculation:

Garage: 24' x 7' = 168 s.f. x 2/3 = 112 s.f.
Bonus room at 48" with 12/12 pitch: 15'-4" x 7' = 107.3 s.f.
(See attached)

Thank you for working with us on this issue.
George

Please notify CWS if received in error.

Pages Following: 2

City of Portland
INSPECTION SERVICES

Room 315
389 Congress Street
Portland, Maine 04101

Telephone: 207-874-8703 or 207-874-8693
Facsimile: 207-874-8716

FACSIMILE TRANSMISSION COVER SHEET

TO: George Levine
FROM: Marge Schmuckal
FAX NUMBER: 774-4016
NUMBER OF PAGES, WITH COVER: 4
TELEPHONE:
RE: 36-38 Yale St
8/21/03 2:30pm

Comments: The Area measured is from the 4' height per the ordinance Definition. — If on the Garage floor plan that was original submitted, the walls are AT the 4' level (I thought you said differently during our last phone conversation) And there is No dormer, Then your proposal would work.
Please confirm — Marge

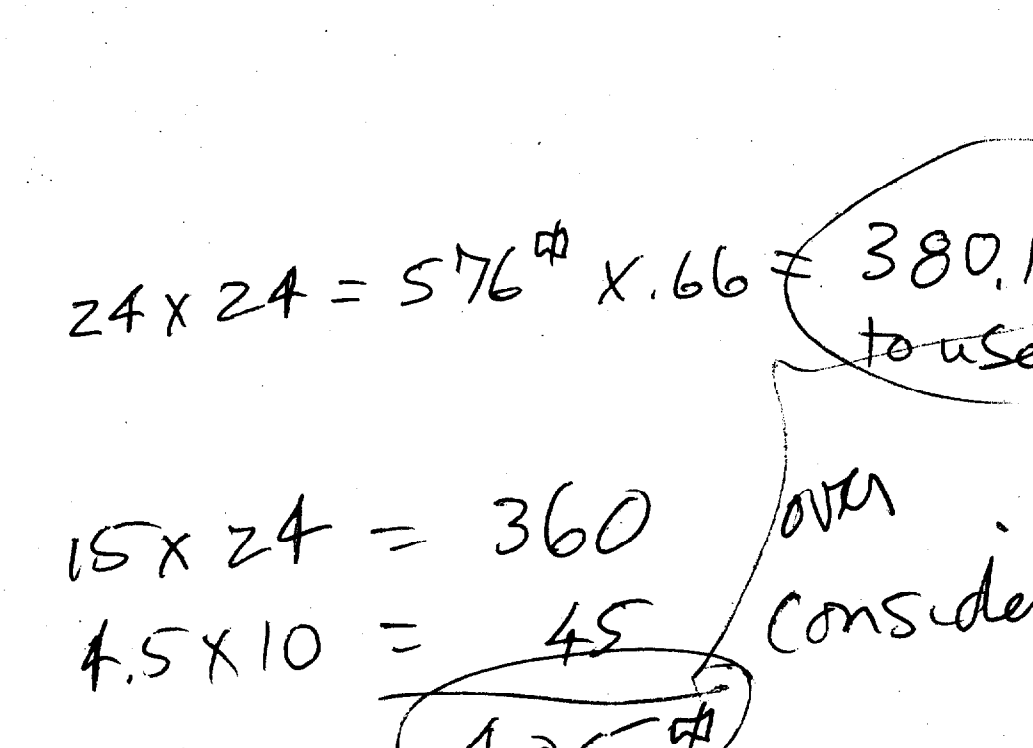
$24 \times 24 = 576^{\#} \times .66 = 380.16^{\#}$ MAX on 2nd floor to use 1½ Story setbacks

$15 \times 24 = 360$

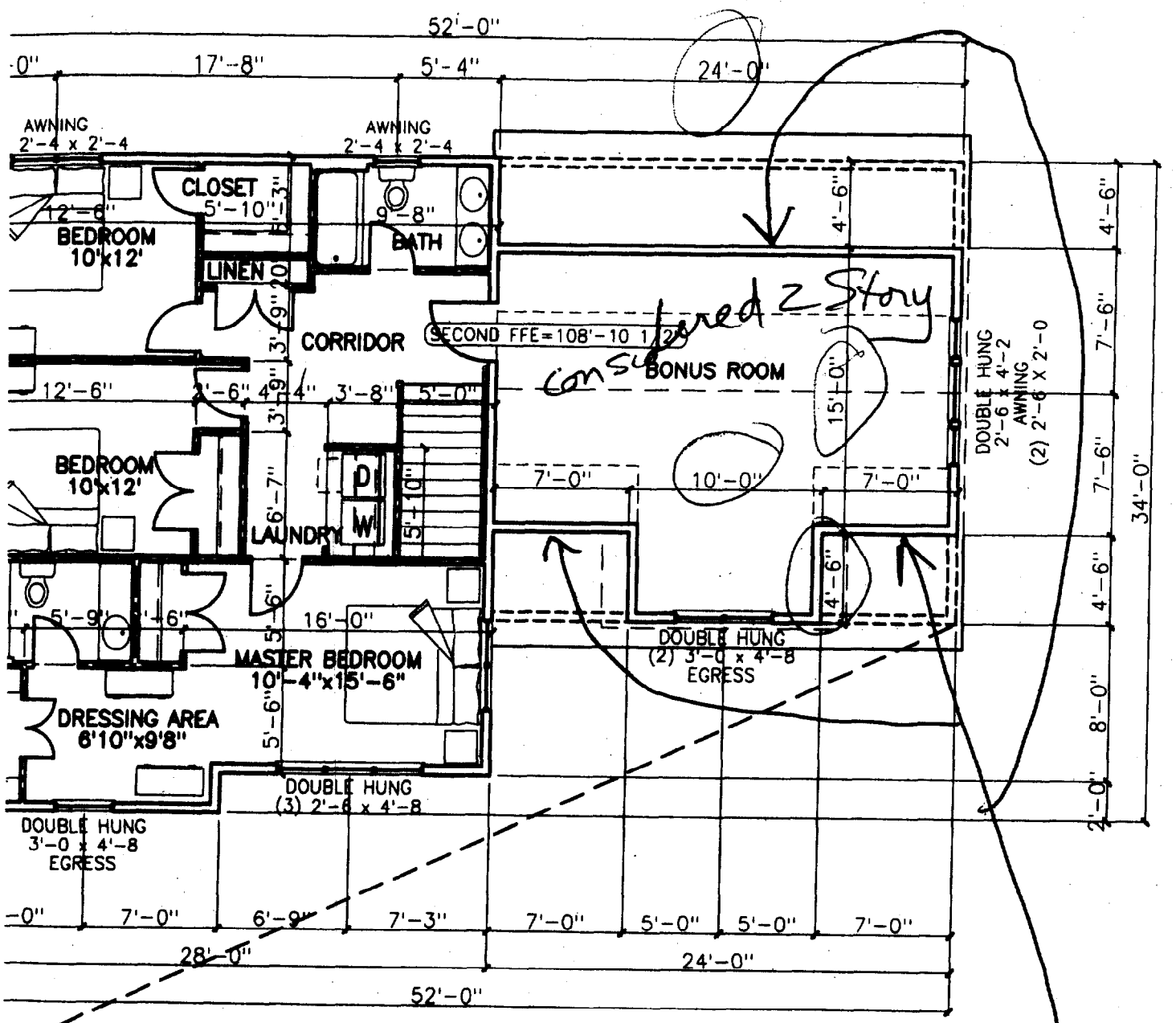
$4.5 \times 10 = 45$

$405^{\#}$ over considered 2 Stories

my CALCS.



typical right side elevation

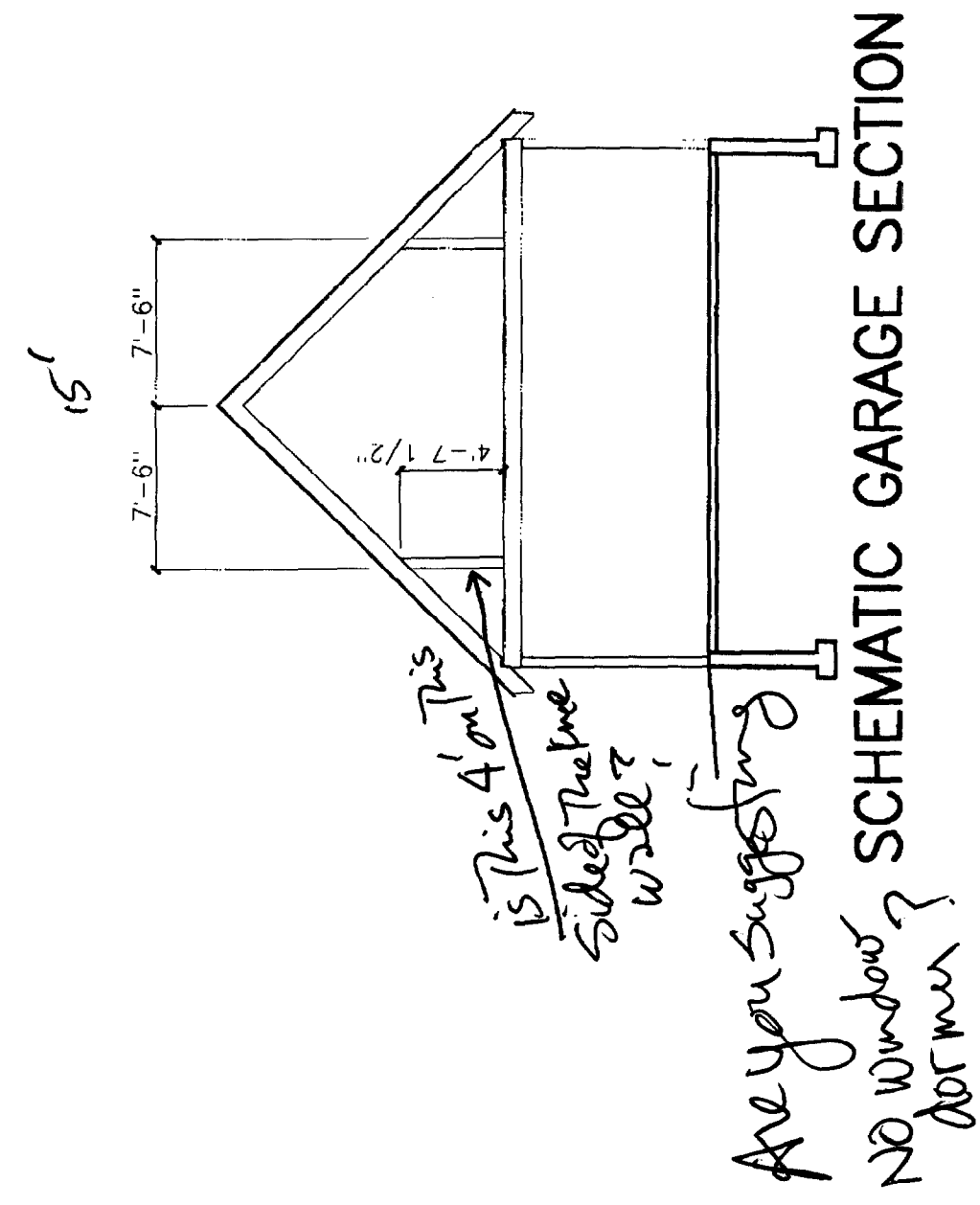


COND FLOOR PLAN

Are you saying that these walls are at the 4ft level?

ERAL NOTES:

ARCHITECTURAL DRAWING REPRESENTS THE DESIGN INTENT OF THE



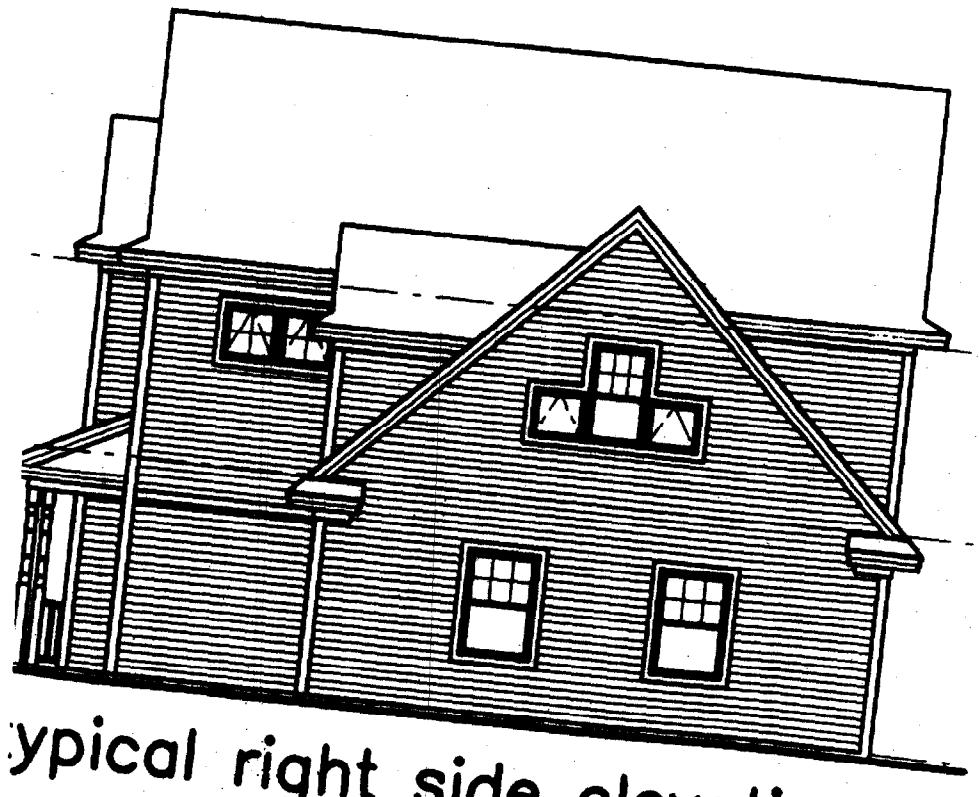
SCHEMATIC GARAGE SECTION

$24 \times 24 = 576^{\#} \times .66 = 380.16^{\#}$ MAX on 2nd floor to use 1½ Story setbacks

$15 \times 24 = 360$

$4.5 \times 10 = 45$ considered 2 Stories

$405^{\#}$



Typical right side elevation

CWS ARCHITECTS
434 Cumberland Avenue Portland ME 04101-2325
www.CWSarch.com

FAX TRANSMITAL

Phone: 207.774.4441
Fax: 207.774.4016

To: Marge Schmuckal

Company: City of Portland

Fax Number: 874-8716

Date:

Project No. 36-38 Yale St

Copy to:

From: George Lavigne

Message:

Attached is a schematic building section of the University Park House which has been submitted for permitting. I was able to reach Ben Walter, who indicated that his discussions with you concluded that the FINISHED space under the roof would be the area considered 1 ½ story. Including the dormer area, the finished bonus room space is 372.4 net s.f., which is less than 2/3 of the 576 g.s.f. garage area. The Zoning Ordinance does not appear to address unoccupied space.

Please let me know if this addresses your concerns.

Please notify CWS if received in error.

Pages Following: 1

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy

2003-0162
Application I. D. Number

08/06/2003
Application Date

Lot #2 University Park
Project Name/Description

Wescott & Payson II
Applicant

240 Harvard St, Portland, ME 04103
Applicant's Mailing Address

Consultant/Agent

Agent Ph: **Agent Fax:**
Applicant or Agent Daytime Telephone, Fax

Yale St, Portland, Maine
Address of Proposed Site

~~103A A002001~~ 436-A-12 & 1/2 of 13
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): ☑ New Building ☐ Building Addition ☐ Change Of Use ☑ Residential ☐ Office ☐ Retail
☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☐ Other (specify)

2424 sf
Proposed Building square Feet or # of Units

Acreage of Site

R-3
Zoning

Check Review Required:

☑ Site Plan (major/minor)
☐ Subdivision # of lots
☐ PAD Review
☐ 14-403 Streets Review
☐ Flood Hazard
☐ Shoreland
☐ HistoricPreservation
☐ DEP Local Certification
☐ Zoning Conditional Use (ZBA/PB)
☐ Zoning Variance
☐ Other

Fees Paid: Site Plan **$50.00** Subdivision Engineer Review **$250.00** Date **08/06/2003**

[redacted]pproval Status: Reviewer **Jay Reynolds**

☐ **Approved**
[redacted]
See Attached
☐ **Denied**
9/3/03 Jay received revised plans

[redacted]
Approval Expiration **08/11/2004** Extension to ☑ Additional Sheets Attached

☑ Condition Compliance **Jay Reynolds** **08/11/2003**
signature date

Performance Guarantee ☐ **Required*** ☑ **Not Required**

* No building permit may be issued until a performance guarantee has been submitted as indicated below

☐ Performance Guarantee Accepted	date	amount	expiration date
☐ Inspection Fee Paid	date	amount	
☐ Building Permit Issue	date		
☐ Performance Guarantee Reduced	date	remaining balance	signature
☐ Temporary Certificate of Occupancy	date	☐ Conditions (See Attached)	expiration date
☐ Final Inspection	date	signature	
☐ Certificate Of Occupancy	date		
☐ Performance Guarantee Released	date	signature	
☐ Defect Guarantee Submitted	submitted date	amount	expiration date
☐ Defect Guarantee Released	date	signature	

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

2003-0162
Application I. D. Number

08/06/2003
Application Date

Lot #2 University Park
Project Name/Description

Wescott & Payson II
Applicant

240 Harvard St, Portland, ME 04103
Applicant's Mailing Address

Consultant/Agent

Agent Ph: **Agent Fax:**
Applicant or Agent Daytime Telephone, Fax

Yale St, Portland, Maine
Address of Proposed Site

~~[illegible]~~ 436-A-12 Yale St
Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

1 STEET LIGHT AND STREET TREE WILL HAVE TO BE RELOCATED IN ORDER TO FACILITATE THE DRIVEWAY/CURB CUT LOCATION.

2 SILT FENCE SHALL BE INSTALLED ALONG THE REAR PROPERTY LINE/DRAINAGE EASEMENT.

3 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

4 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

5 Your new street address HAS NOT BEEN ASSIGNED (8/11), however, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

6 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822.The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

7 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

8 The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.

9 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Building Copy

2003-0162
Application I. D. Number

8/6/2003
Application Date 36-38 Yale St

Wescott & Payson II
Applicant

240 Harvard St, Portland, ME 04103
Applicant's Mailing Address

Lot #2 University Park
Project Name/Description

Consultant/Agent

240 - 240 Harvard St, Portland, Maine
Address of Proposed Site

Agent Ph: **Agent Fax:**
Applicant or Agent Daytime Telephone, Fax

153A A002001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): ☑ New Building ☐ Building Addition ☐ Change Of Use ☑ Residential ☐ Office ☐ Retail
☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☐ Other (specify)

2424 sf | Proposed Building square Feet or # of Units
Acreage of Site
R-3 | Zoning

Check Review Required:

☑ Site Plan (major/minor)
☐ Subdivision # of lots
☐ PAD Review
☐ 14-403 Streets Review
☐ Flood Hazard
☐ Shoreland
☐ HistoricPreservation
☐ DEP Local Certification
☐ Zoning Conditional Use (ZBA/PB)
☐ Zoning Variance
☐ Other

Fees Paid: Site Pla **$50.00** Subdivision Engineer Review **$250.00** Date **8/6/2003**

Building Approval Status:

Reviewer

☐ **Approved**
☐ **Approved w/Conditions** See Attached
☐ **Denied**

Approval Date Approval Expiration Extension to ☐ Additional Sheets Attached

☐ Condition Compliance
signature date

Performance Guarantee ☐ **Required*** ☐ **Not Required**

* No building permit may be issued until a performance guarantee has been submitted as indicated below

☐ Performance Guarantee Accepted	date	amount	expiration date
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City of Portland
INSPECTION SERVICES

Room 315
389 Congress Street
Portland, Maine 04101

Telephone: 207-874-8703 or 207-874-8693
Facsimile: 207-874-8716

FACSIMILE TRANSMISSION COVER SHEET

TO: George Levine
FROM: Marge Schmuckal
FAX NUMBER: 774-4016
NUMBER OF PAGES, WITH COVER: 4
TELEPHONE:
RE: 36-38 Yale St
8/20/03

Comments:

If you can fax me revised details that show the area above the garage to meet the ½ story definition, I can sign off on Zoning & PASS the permit on to Building Code review.

Marge

Storm water retention area: A pond or basin used for the permanent storage of stormwater runoff.

Story: That portion of a building included between the surface of any floor and the surface of the floor, or the roof, next above. A half story is a story situated under a sloping roof, the area which at a height four (4) feet above the floor does not exceed two-thirds of the floor area of the story immediately below it and which does not contain an independent apartment or dwelling unit. A story which exceeds eighteen (18) feet in height shall be counted as two (2) stories. A basement shall be counted as a story for the purpose of height measurement where more than one-half of its height is above the average level of the adjoining ground.

Stream: A free-flowing body of water from the outlet of the confluence of two (2) perennial streams as depicted on the most recent edition of a United States Geological Survey 7.5-minute series topographic map, or if not available, a 15-minute series topographic map, to the point where the body of water becomes a river or flows to another water body or wetland within a shoreland area, or any stream designated within a Stream Protection Zone.

Stream, tributary: A channel between defined banks created by the action of surface water, whether intermittent or perennial, and which is characterized by the lack of upland vegetation or presence of aquatic vegetation and by the presence of a bed devoid of topsoil containing waterborne deposits on exposed soil, parent material or bedrock, and which flows to a water body or wetland. This definition does not include the term "stream" as defined in this section, and only applies to that portion of the tributary stream located within the shoreland zone of the receiving water body or wetland.

Street: A public way established by or maintained under public authority, or a way dedicated to the use of the public and appearing on the official map of the city.

Street line: The line of demarcation between a street and the abutting land.

Structure: Anything constructed or erected of more than one (1) member which requires a fixed location on the ground or

L & L STRUCTURAL
ENGINEERING SERVICES, INC.
Six Q Street
South Portland, ME 04106
Phone: (207) 767-4830
Fax: (207) 799-5432

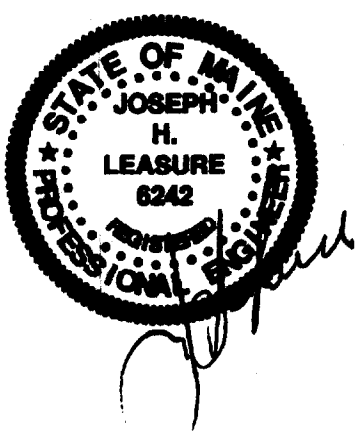
THE BATES - RESIDENTIAL BUILDING AT UNIVERSITY PARK

HARVARD STREET
PORTLAND, MAINE

STRUCTURAL DRAWINGS & GENERAL NOTES

Prepared for: Curtis, Walters, Stewart Architects
434 Cumberland Avenue
Portland, Maine 04101

Submission Date: July 18, 2003
Drawings: S1 thru S9



GENERAL NOTES:

1. The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
2. Structural drawings shall be used in conjuntion with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, reglets, sleeves, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verfied in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work. Do not scale plans.
4. The structure is designed to be self supporting and stable after the Building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the saftey of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tiedowns. Such material shall remain the property of the contractor after completion of the project.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All applicable federal, state, and municiple regulations shall be followed, including the federal department of labor occupational saftey and health act.

DESIGN LOADS:

1. Building code: BOCA Basic Building Code (1999)
2. Design Live Loads:
   Roof.....42 PSF + Drift as applicable
   Floor.....40 PSF
3. Design wind loads are based on exposure B using 85 mph basic wind speed.

designed by: JHL	THE BATES-UNIVERSITY PARK HARVARD STREET PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 767-4830 FAX: (207) 799-5432 EMAIL: LLENG@AOL.COM	
drawn by: JHL			
checked by: MFL			
scale: NOTED			
date: 7/18/03	GENERAL NOTES		S1

FOUNDATION NOTES:

1. Foundations have been designed with a presumptive soil bearing capacity of 2000 PSF to be verified in the field.
2. Interior spread footings and exterior strip footings shall be founded on undisturbed soil or compacted structural fill.
3. Exterior strip and spread footings shall be founded on a minimum of 4'–6" below finished grade.
4. Slabs on grade shall bear on a minimum of 12" of compacted structural fill. If loose or undesirable fills are encountered at the slab subgrade level, they shall be over excavated to the surface of the natural soil and replaced with structural fill. Refer to drawings and specifications for vapor barrier requirements.
5. Structural fill shall be used at all locations below footings and slabs and adjacent to the foundation walls. Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics, loam, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded within the following units:

SCREEN OR SIEVE SIZE	PERCENT FINER BY WEIGHT
4 INCH	100
3 INCH	90–100
NO.4	35–70
40	5–35
200	0–5

6. Structural fill beneath slabs shall be placed in layers not exceeding 6" in loose measure and compacted by selfpropelled compaction equipment at approximate optimum moisture content to a dry density of at least 95% of the maximum in place dry density as determined by the modified proctor test (ATSM d–1557).
7. Underdrains shall be placed as shown on the site drawings. Underdrains shall be installed to positively drain to a suitable discharge point away from the structure. Refer to the site drawings for additional information.
8. Exterior concrete slabs on grade, shall be underlain by at least 4 feet of structural fill meeting gradation and compaction requirements noted above. Reinforce slabs with 6x6 – W1.4xW1.4 WWF.
9. Open excavations shall be adequately braced or properly benched.
10. Backfill both sides of foundation walls and grade walls simultaneously.

designed by:	JHL
drawn by:	JHL
checked by:	MFL
scale:	NOTED
date:	7/18/03

THE BATES–UNIVERSITY PARK
HARVARD STREET
PORTLAND, MAINE

GENERAL NOTES

L & L STRUCTURAL
ENGINEERING SERVICES, INC.
SIX Q STREET
SOUTH PORTLAND, MAINE 04106

PHONE: (207) 767–4830
FAX: (207) 799–5432
EMAIL: LLENG@AOL.COM

S2

CONCRETE NOTES:

1. All concrete work shall conform to ACI 318–89.
2. Concrete strength at 28 days shall be:
   a. 3000 PSI for footings and walls.
   b. 4000 PSI for all slabs on grade.
3. All concrete shall be air entrained 4% to 6%.
4. Concrete shall not be not be placed in water or on frozen ground.
5. Provide PVC sleeves where pipes pass through concrete walls or slabs.
6. Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 315–Latest edition.
7. Welded wire fabric shall be provided in flat sheets.
8. Fiber reinforced concrete shall conform to ATSM C–1116.
9. Splices of reinforcing bars shall be in accordance with ACI 318–89. Splices of WWF shall be 6" minimum.
10. Concrete finishes: See specifications and Architectural drawings for additional information.
11. Anchor bolts shall conform to ASTM A307 unless noted otherwise on plan.
12. The general contractor shall be responsible for coordination of door bondout locations and slab depression & bondout locations with Architectural, Mechanical & Plumbing drawings, and kitchen equipment vendors as necessary to properly install each specific item.

TIMBER FRAMING:

1. All timber framing shall be in accordance with the AITC Timber Construction Manual or the National Design Specification (NDS) –Latest editions.
2. Individual timber framing members shall be visually graded, minimum grade #2 Spruce–Pine–Fir (SPF), kiln dried 19% maximum moisture content.
3. Pressure treated lumber shall be used where wood is in contact with ground or concrete. Timber shall be southern yellow pine treated with CCA to 0.4 #/CF in accordance with AWPA C–18.
4. Provide solid 2x lumber blocking/bridging, double nailed at each end, at 8 feet maximum spacing for all dimensional lumber floor framing.
5. Standard metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
6. Provide Simpson H1 Hurricane anchors at each end of timber trusses and rafters.
7. Nailing not specified shall conform with BOCA appendix C.
8. Provide 19/32" thick APA rated sheathing on roof framing.
9. Provide 15/32" thick APA rated sheathing on exterior wall framing.
10. Provide 23/32" thick APA rated T&G plywood sheathing or Advantech on floor framing.

designed by:	JHL
drawn by:	JHL
checked by:	MFL
scale:	NOTED
date:	7/18/03

THE BATES–UNIVERSITY PARK
HARVARD STREET
PORTLAND, MAINE

GENERAL NOTES

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S3

TIMBER TRUSS FRAMING:

1. Materials: Stress graded lumber, metal plate connectors. Minimum grade No. 2 M.S.R. Southern Pine, kiln dried, 15% maximum M.C., or approved alternate.
2. Applicable specifications:
   a. National Design Specification for stress graded lumber and its fastening (NDS).
   b. Design specifications for light metal plate connected wood trusses (TPI–latest ed.).
3. Bracing: The truss manufacturer shall specify all bracing requiered both for temporary construction loading and for permanent lateral support of compression members.
4. Submittals:
   a. Submit design calculations, shop drawings and erection procedures all affixed with the seal of a professional structural engineer registered in the State of Maine.
   b. Shop drawings shall show stress grade and size of members, size and location of plate connectors, size and location of bracing and shall be approved by the truss designer.
5. All fabricated trusses shall be inspected at the fabrication plant and approved trusses shall receive the TPI mark of approval in accordance with the truss plate institute in–plant inspection license agreement.
6. Connector plates shall be galvanized.
7. Timber trusses shall be designed in accordance with BOCA and ASCE 7–latest edition.
8. Provide permanent bottom chord bracing in accordance with the truss plate institute (TPI–latest edition).
9. Trusses shall be designed for all potential load combinations of live loads (snow) and wind loads including unbalanced snow loads, drift loads and wind loads in accordance with BOCA 1999.

STRUCTURAL STEEL NOTES:

1. Structural steel fabrication, erection, and connection design shall conform to AISC "Specification for the design, fabrication, and erection of structural steel"–Ninth edition.
2. Structural steel:
   a. Structural steel shall conform to ASTM A–36.
   b. Structural tubing shall conform to ASTN A–500 GR.B.
   c. Structural pipe shall conform to ASTM A–53, TYPE E or S.
3. All welding shall conform to AWS D1.1–Latest edition. Welding electrodes shall be E70XX.

designed by:	JHL
drawn by:	JHL
checked by:	MFL
scale:	NOTED
date:	7/18/03

THE BATES–UNIVERSITY PARK
HARVARD STREET
PORTLAND, MAINE

GENERAL NOTES

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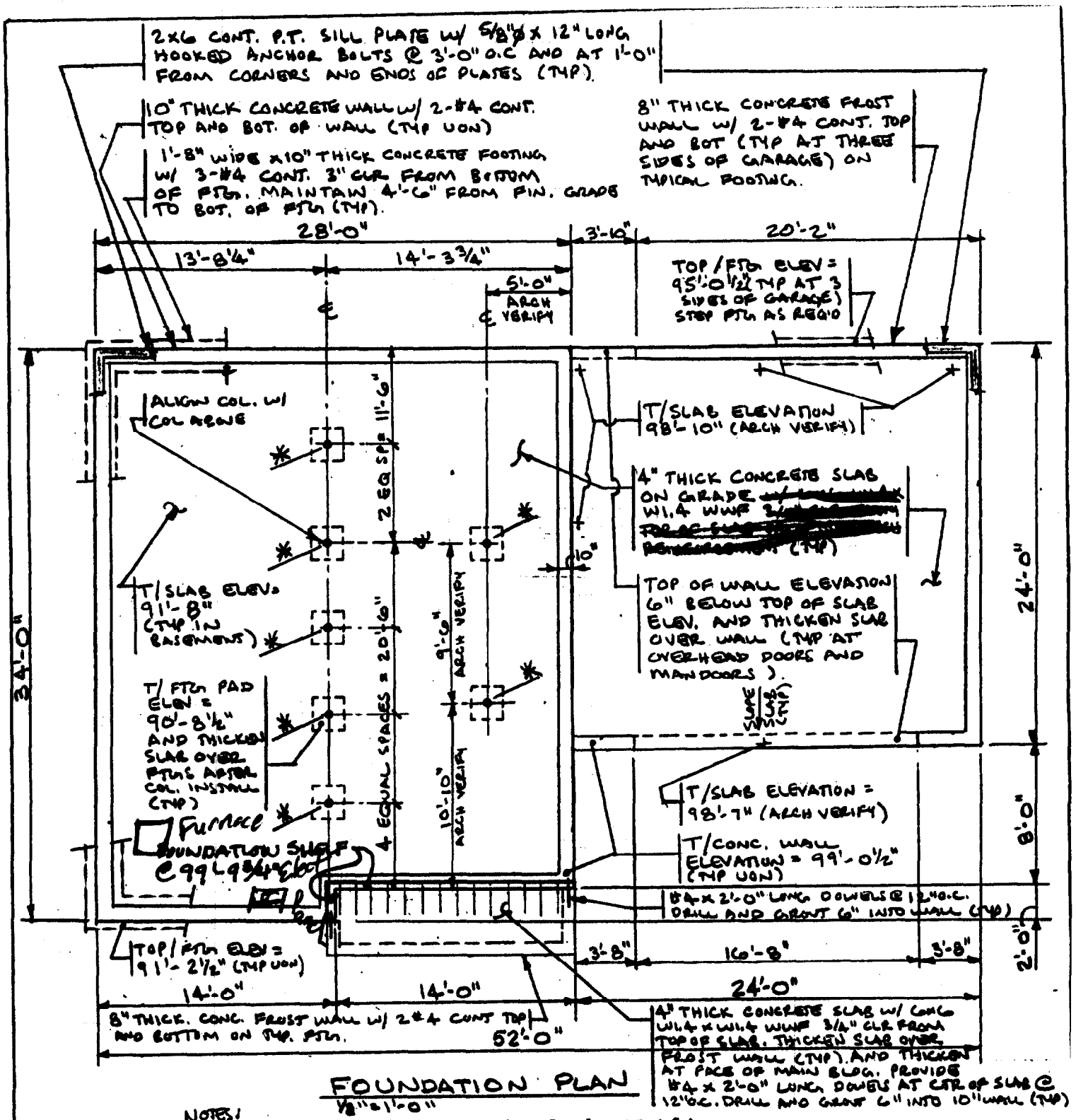

FOUNDATION PLAN

1/8" = 1'-0"

NOTES:
1) SEE GENERAL NOTES ON DWG S1, S2, S3 & S4
2) "*" INDICATES: 3 1/2" ø CONC. FILLED LALLY COLUMN ON 2'-6" SQUARE x 10" THICK CONC. FTG w/ 4-#4 EA. WAY 3" CLR FROM BOT OF FTG.
3) PROVIDE #4 x 2'-0" x 2'-0" AT 12" O.C. AT CENTER OF SLAB AND CONC. WALL AT LOCATIONS WHERE SLAB IS THICKENED OVER CONC. WALLS (TYP.).

designed by:	JHL
drawn by:	JHL
checked by:	MFL
scale:	NOTED
date:	7/18/03

THE BATES - UNIVERSITY PARK
HANARD STREET
PORTLAND, MAINE

FOUNDATION PLAN

L & L STRUCTURAL ENGINEERING SERVICES, INC.
SIX Q STREET
SOUTH PORTLAND, MAINE 04106
PHONE: (207) 767-4830
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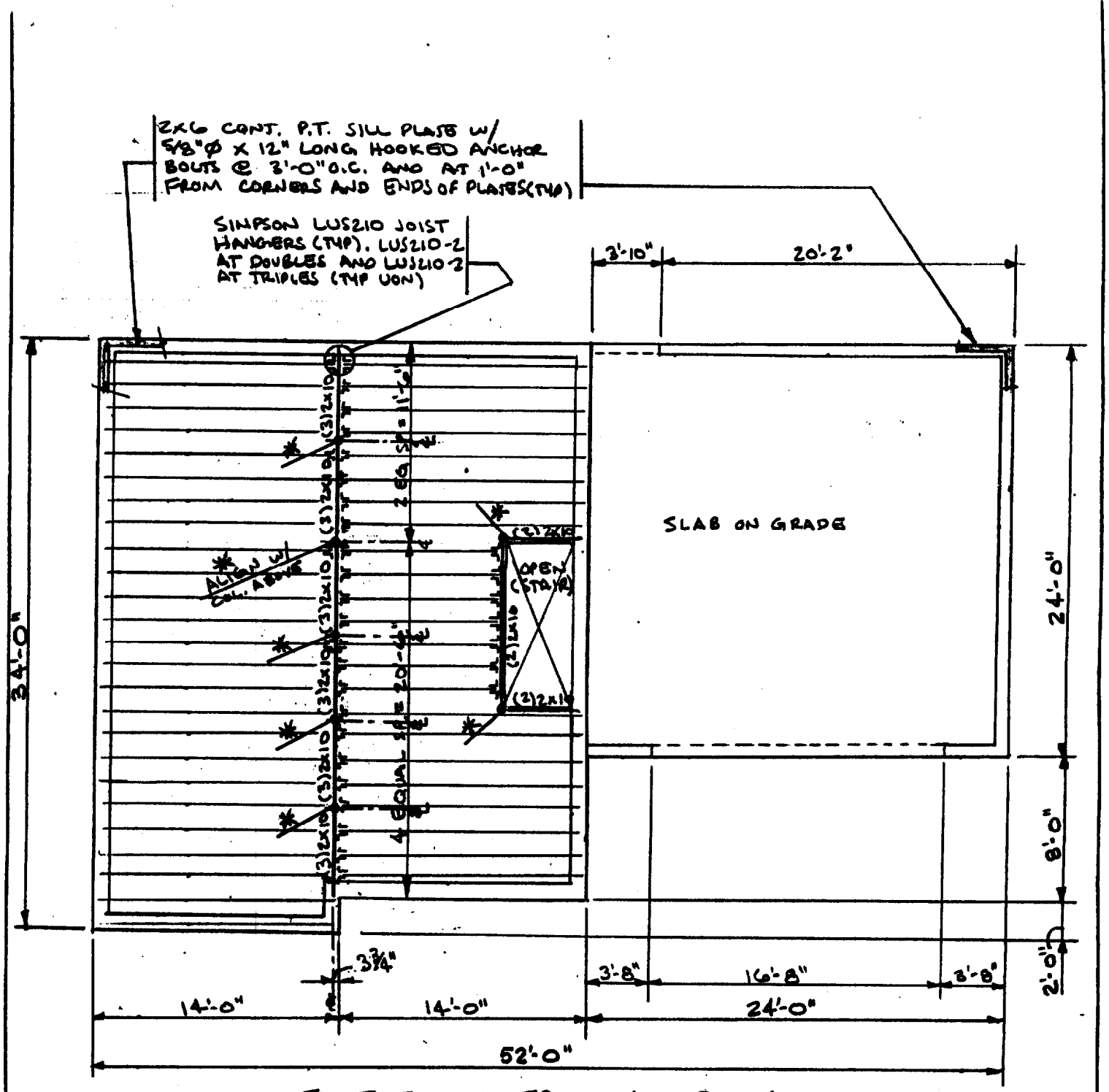
EMAIL: LLDI@AOL.COM

S5



FIRST FLOOR FRAMING PLAN (FIN. FLR. ELEV=100'-0"; REF)

1/8"=1'-0"

NOTES:

1) SEE GENERAL NOTES ON DWG S1, S2, S3 & S4
2) FLOOR JOISTS SHALL BE 2X10 @ 16" O.C. (TYP UON)
3) ALL BMS INDICATED ARE FLUSH FRAMED.
4) * INDICATES: 3 1/2" Ø CONCRETE FILLED LALLY COLUMN W/ CAP & BASE PLATES (STD)

designed by:	JHL
drawn by:	JHL
checked by:	MFL
scale:	NOTED
date:	7/18/03

THE BATES - UNIVERSITY PARK
HARVARD STREET
PORTLAND, MAINE

FIRST FLR FRAMING PLAN

L & L STRUCTURAL
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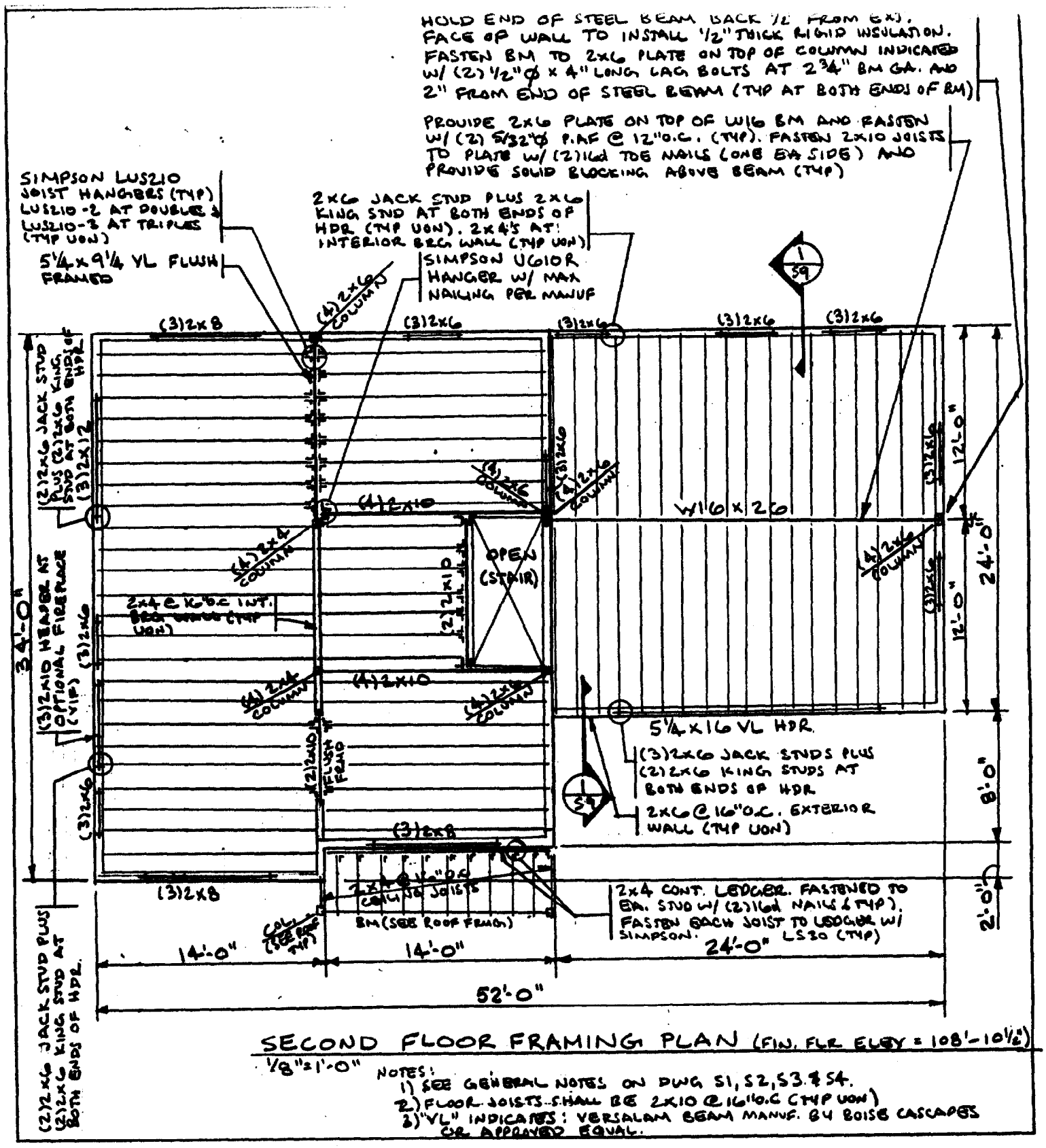
S6



SECOND FLOOR FRAMING PLAN (FIN. FLR. ELEV = 108'-10 1/2")

1/8"=1'-0"

NOTES:
1) SEE GENERAL NOTES ON DWG S1, S2, S3 & S4.
2) FLOOR JOISTS SHALL BE 2x10 @ 16" O.C. (TYP UON)
3) "VL" INDICATES: VERSALAM BEAM MANUF. BY BOISE CASCADES OR APPROVED EQUAL.

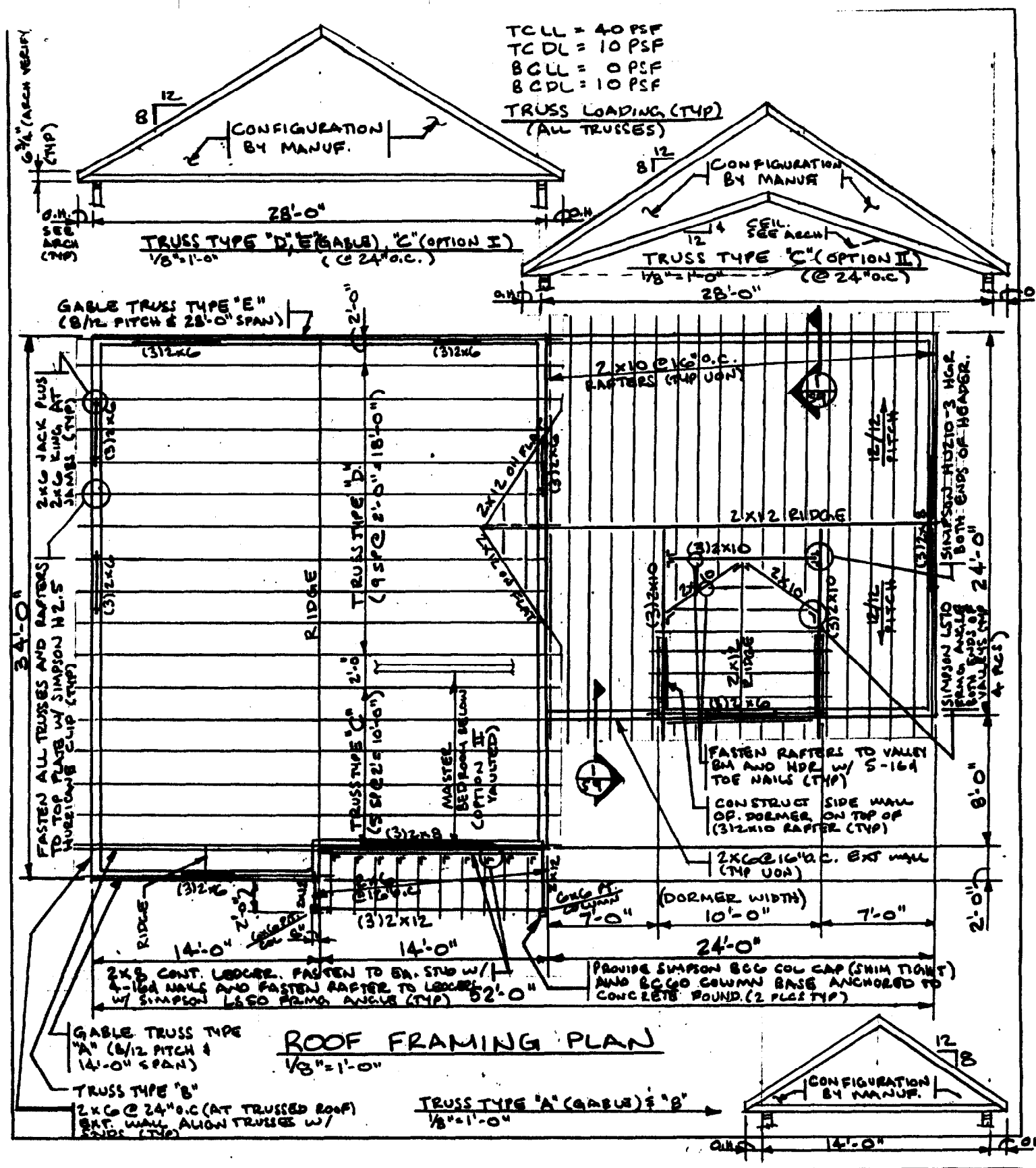
designed by:	JHL
drawn by:	JHL
checked by:	MFL
scale:	NOTED
date:	7/18/03

THE BATES - UNIVERSITY PARK
HARVARD STREET
PORTLAND, MAINE

SECOND FLR FRAMING PLAN.

L & L STRUCTURAL
ENGINEERING SERVICES, INC.
SIX O STREET
SOUTH PORTLAND, MAINE 04106
PHONE: (207) 767-4830
FAX: (207) 799-8432
EMAIL: LLENGR@AOL.COM

S7



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drawn by:	JHL
checked by:	MFL
scale:	NOTED
date:	7/18/03

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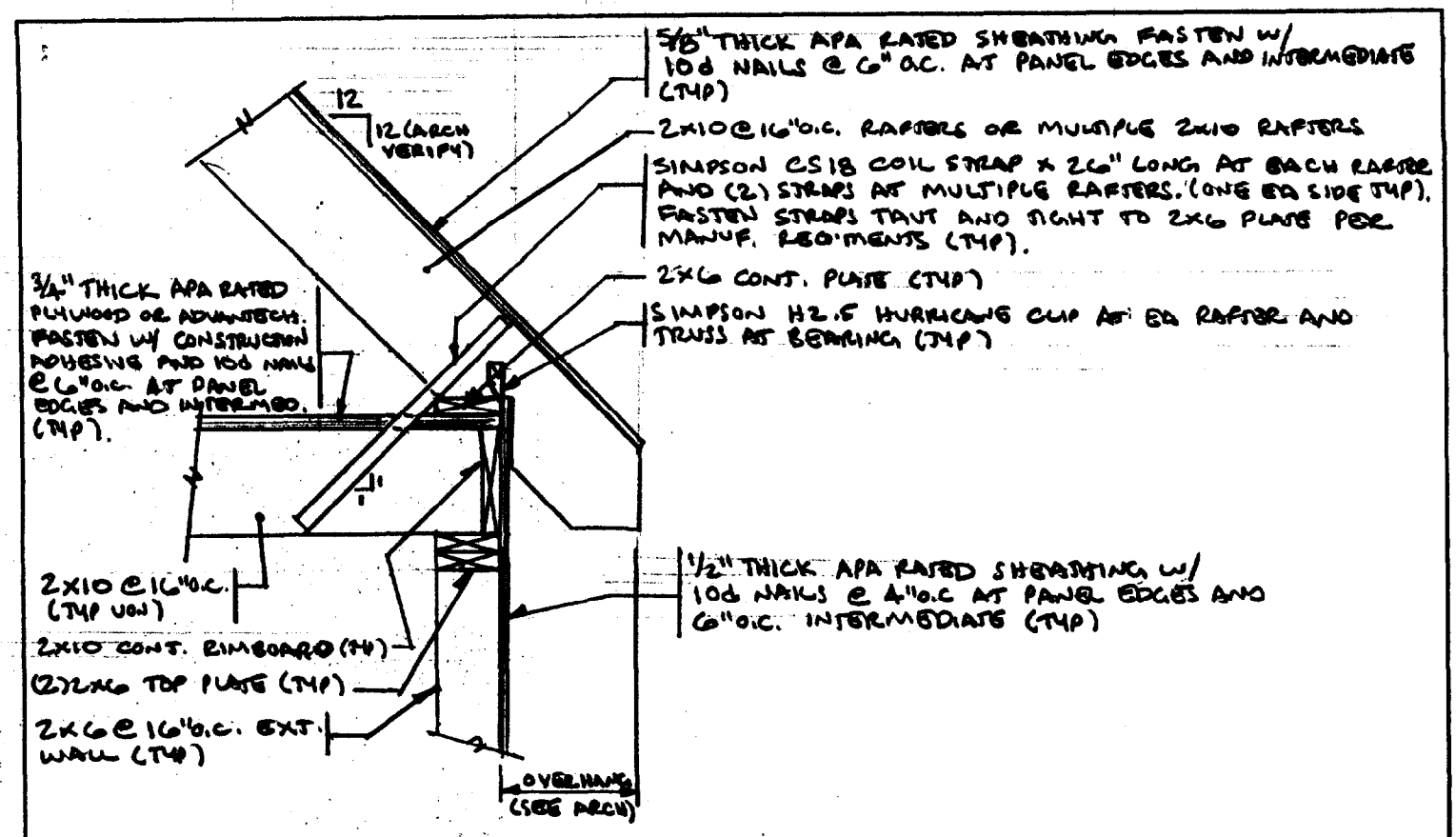
ROOF FRAMING PLAN

L & L STRUCTURAL
ENGINEERING SERVICES, INC.
SIX Q STREET
SOUTH PORTLAND, MAINE 04106
PHONE: (207) 767-4830
FAX: (207) 799-8432
EMAIL: LLDESIGN@AOL.COM

S8



SECTION 1

3/4" = 1'-0" S7.1 SB

designed by:	JHL
drawn by:	JHL
checked by:	MFL
scale:	NOTED
date:	7/18/03

THE BATES - UNIVERSITY PARK
HARVARD STREET
PORTLAND, MAINE

SECTIONS AND DETAILS.

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S 9

YALE STREET
LOT 2, PORTLAND, ME

Beam for Garage Deck

Date: 9/08/03 BeamChek 2.2

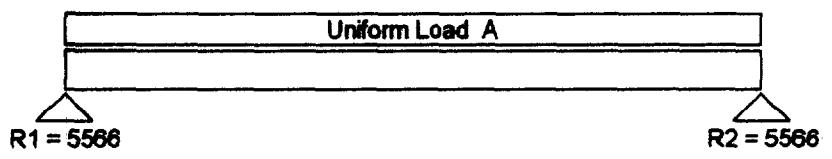
Choice	**W 14x 26 A36 Wide Flange Steel**				**Lateral Support at: Lc = 5.3 ft max.**	
Conditions	Actual Size is 5 x 13-7/8 in.,					
	Min Bearing Length	R1= 0.9 in.	R2= 0.9 in.	DL Defl 0.11 in	Suggested Camber	0.16 in
Data	Beam Span	22.0 ft	Reaction 1	5566 #	Reaction 1 LL	3960 #
	Beam Wt per ft	26.0 #	Reaction 2	5566 #	Reaction 2 LL	3960 #
	Beam Weight	572 #	Maximum V	5566 #		
	Max Moment	30613 '#	Max V (Reduced)	N/A		
	TL Max Defl	L / 240	TL Actual Defl	L / 704		
	LL Max Defl	L / 360	LL Actual Defl	L / 990		

Attributes	Section (in³)	Shear (in²)	TL Defl (in)	LL Defl
Actual	35.30	3.55	0.37	0.27
Critical	15.46	0.39	1.10	0.73
Status	OK	OK	OK	OK
Ratio	44%	11%	34%	36%

		Fb (psi)	Fv (psi)	E (psi x mil)
Values	Base Value Fy	36000	36000	29.0
	Base Adjusted	*23760*	*14400*	*29.0*
Adjustments	YP Factor, Lc	0.66	0.40	

BeamChek has automatically added the beam self-weight into the calculations.

Loads Uniform TL: 480 = A Uniform LL: 360



SPAN = 22 FT

Uniform and partial uniform loads are lbs per lineal ft.

YALE STREET - GARAGE HEADER
LOT 2, PORTLAND, ME

Garage Door Header Date: 9/08/03 BeamChek 2.2

Choice	**W 12x 22 A36 Wide Flange Steel** — **Lateral Support at: Lc = 4.3 ft max.**
Conditions	Actual Size is 4 x 12-1/4 in.,
	Min Bearing Length R1= 0.9 in. R2= 0.9 in. DL Defl 0.11 in *Suggested Camber* 0.16 in

Data

Beam Span	18.0 ft	Reaction 1	7758 #	Reaction 1 LL	5940 #
Beam Wt per ft	22.0 #	Reaction 2	7758 #	Reaction 2 LL	5940 #
Beam Weight	396 #	Maximum V	7758 #		
Max Moment	34911 '#	Max V (Reduced)	N/A		
TL Max Defl	L / 240	TL Actual Defl	L / 481		
LL Max Defl	L / 360	LL Actual Defl	L / 628		

Attributes

	Section (in³)	Shear (in²)	TL Defl (in)	LL Defl
Actual	25.40	3.20	0.45	0.34
Critical	17.63	0.54	0.90	0.60
Status	OK	OK	OK	OK
Ratio	69%	17%	50%	57%

Values

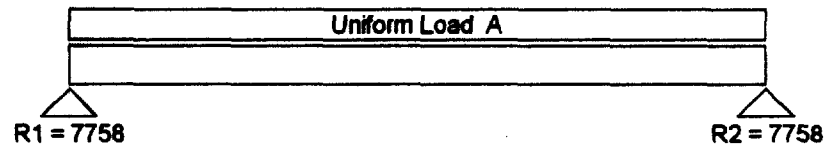
	Fb (psi)	Fv (psi)	E (psi x mil)
Base Value Fy	36000	36000	29.0
Base Adjusted	23760	14400	29.0

Adjustments

YP Factor, Lc	0.66	0.40

BeamChek has automatically added the beam self-weight into the calculations.

Loads Uniform TL: 840 = A Uniform LL: 660



SPAN = 18 FT

Uniform and partial uniform loads are lbs per lineal ft.

BC CALC® 2003 DESIGN REPORT - US

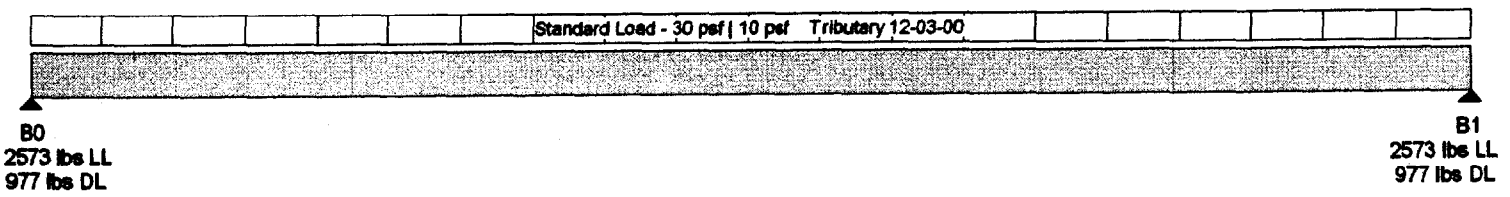
Monday, September 08, 2003 12:17

Single 7" x 9 1/2" VERSA-LAM® 3080 DF

Job Name: YALE STREET
Address: LOT 2
City, State, Zip: PORTLAND, ME
Customer:
Code reports: ICBO 5663, NER 442

over kitchen

File Name: BC CALC Project : FB01
Description:
Specifier:
Designer: MB
Company: Hancock Lumber
Misc:



Total Horizontal Length - 14-00-00

General Data

Version:	US Imperial
Member Type:	Floor Beam
Number of Spans:	1
Left Cantilever:	No
Right Cantilever:	No
Slope:	0/12
Tributary:	12-03-00
Live Load:	30 psf
Dead Load:	10 psf
Partition Load:	0 psf
Duration:	100

Disclosure

The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)232-0788 before beginning product installation.

Load Summary

ID	Description	Load Type	Ref.	Start	End	Type	Value	Trib.	Dur.
S	Standard Load	Unf. Area	Left	00-00-00	14-00-00	Live	30 psf	12-03-00	100%
						Dead	10 psf	12-03-00	90%

Controls Summary

Control Type	Value	% Allowable	Duration	Load Case	Span Location
Moment	12424 ft-lbs	44.8%	100%	2	1 - Internal
Neg. Moment	0 ft-lbs	n/a	100%		
End Shear	3148 lbs	24.9%	100%	2	1 - Left
Total Load Defl.	L/383 (0.438")	62.6%		2	1
Live Load Defl.	L/529 (0.318")	68.0%		2	1
Max Defl.	0.438"	43.8%		2	1

Notes

Design meets Code minimum (L/240) Total load deflection criteria.
Design meets Code minimum (L/360) Live load deflection criteria.
Design meets arbitrary (1") Maximum load deflection criteria.
Minimum bearing length for B0 is 1-1/2".
Minimum bearing length for B1 is 1-1/2".
Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing