

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION PERMIT

PERMIT ISSUED

Permit Number: 030894

SEP 11 2003

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Wescott & Payson Li/Chris Ballard
has permission to Construct 2424 s.f. Single family dwelling w/2 car garage
AT 36-38 Yale St (Lot #2 University Park) CITY OF PORTLAND
OBL 436 A012001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is latched or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Deanne Banke 9/11/03
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

SCANNED



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 36 Yale St

CBL 436 A012001

Issued to Westcott & Payson II/Chris Ballard

Date of Issue 04/01/2004

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 03-0894, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Single Family Dwelling w/rear deck

Use Group: R-3

Type: 5 B

BOCA 1999

Limiting Conditions:

Temporary Certificate Expires 6-1-04. All sitework must be completed by 6-1-04

This certificate supersedes certificate issued

Approved:

4-1-04 *Chris Ballard*
Inspector (Date)

Chris Ballard
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or ~~874-8693~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- Footing/Building Location Inspection:** Prior to pouring concrete
- NA **Re-Bar Schedule Inspection:** Prior to pouring concrete
- Foundation Inspection:** Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling
- Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

pd **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature]
Signature of applicant/designee

9/11/03
Date

[Signature]
Signature of Inspections Official

9/11/03
Date

CBL: 436-A-12 Building Permit #: 03-0894

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0894	Date Applied For: 07/25/2003	CBL: 436 A012001
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Location of Construction: 36-38 Yale St (Lot #2 University Par	Owner Name: Wescott & Payson Ii	Owner Address: 240 Harvard St	Phone: 207-797-4380
Business Name:	Contractor Name: Chris Ballard	Contractor Address: 7 Terra Way Falmouth	Phone (207) 838-3800
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single family dwelling: 2424 s.f.l.s. On Lot #2 University Park	Proposed Project Description: Construct 2424 s.f. Single family dwelling w/2 car garage
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 09/03/2003

Note: 8/19/03 The developer/contractor assumed that the garage was 1-1/2 stories for purposes of setbacks. My calculations on the area above the garage (based on data that isn't complete) shows it to be over 2/3 of the garage below. It is considered to be 2 sotries for setbacks. See letter 9/3/03 received revised plans 9/8/03 received revised plans showing a partial daylight basement in the rear - not enough to be considered another floor for setback purposes - re approved for zoning 9/10/03

- 1) The revised plans dated 9/8/03 show a partial daylight basement on the rear. Less than one half of the floor to ceiling height is above grade. Scaled 32' from lowest given grade level to 1/2 way point on roof line.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages. PLEASE NOTE: NO REAR DECKS are shown as part of this permit application, therefore NO REAR DECKS are being approved. The plans only reference a PATIO (patio blocks or pavers only) which is not a structure and does not require a permit.
- 3) This permit is being approved on the basis of plans submitted and received on 9/3/03. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 09/11/2003

Note: **Ok to Issue:**

- 1) Per contractor the main carrying girder will be LVL's and the design specs will be submitted to this office
- 2) Separate permits are required for any electrical or plumbing work.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approrval prior to work.

Comments:
07/25/2003-kwd: site plan information not specific to lot; Gayle called, will bring it in.
08/05/2003-gg: received site plan and \$353.00 money owed. /gg

03-0894

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: ~~30-38 Yale St~~ ~~240 Harvard St~~ Lot # 2 Yale St. (University Park)

Total Square Footage of Proposed Structure ~~2480~~ 2424 Square Footage of Lot ~~7500~~ 7500

Tax Assessor's Chart, Block & Lot: Chart# 153A Block# A 436 Lot# 100 Owner: Wescott & Payson Telephone: 776-1762 cell 797-4380 ofc

Lessee/Buyer's Name (If Applicable): _____ Applicant name, address & telephone: Wescott & Payson
240 Harvard St
Portland, Me. 04103 Cost Of Work: \$ 140,000
Fee: \$ Bldg Fee 1281.00

Current use: Vacant Site Fee 300.00

If the location is currently vacant, what was prior use: Raw land Capo 15.00

Approximately how long has it been vacant: _____ Total \$1656.00

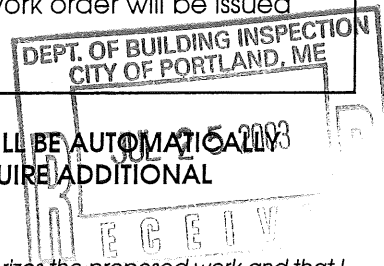
Proposed use: University Park Hous lots
Project description: new S/F 28' x 34' w/ 24' x 24' two car garage

Contractor's name, address & telephone: Chris Ballard 838-3800

Who should we contact when the permit is ready: 838-3800 Chris Ballard. + call

Mailing address: 27 terra way Falmouth, Me. 04105

We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: _____



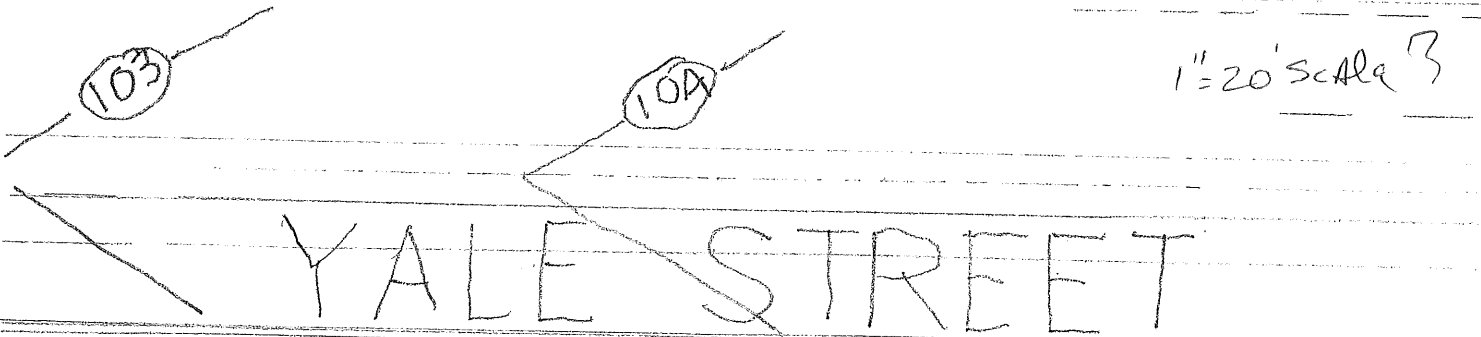
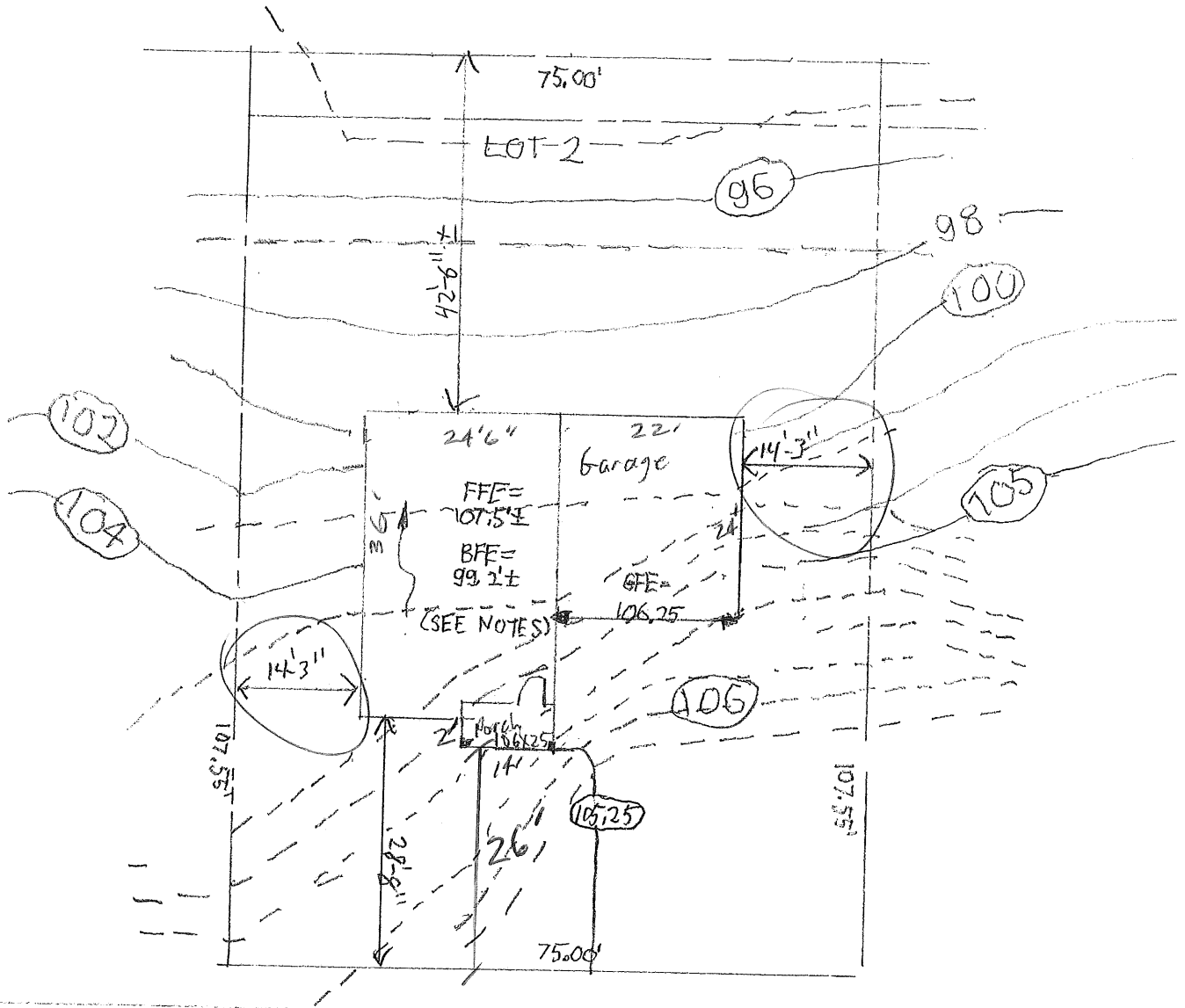
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

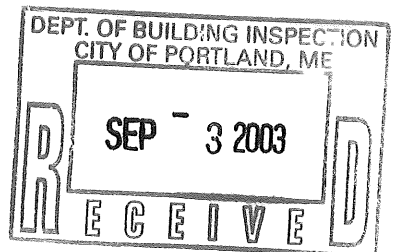
Signature of applicant: Chris Ballard Date: 7/24/03

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Owes \$353.00



Revised site plan
 which reduces the size of the
 Building



Applicant: Chris Ballard

Date: 8/18/03

Address: 36-38 Yale St (lot # 2) University Park C.B.L. 436-A - 12 E
(10 lot subdivision) X2 of 13

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Subdivision

permit appl # 03-0894

Zone Location - R-3

Interior or corner lot -

revised plans 9/3/03 24'6" x 36' ~~22' x 34'~~

Proposed Use/Work - construct New Single Dwelling with attached 2 car garage 22' x 24'

Sewage Disposal - City

Lot Street Frontage - 50' req min - 75' shown

Front Yard - 25' min - 25' exactly

Rear Yard - 25' min - 42' 9" scaled

revised plans dated 9/3/03

Side Yard - 14' req - 8' 15" shown 14' 3" & 14' 3" shown

2 spaces shown both sides

Projections - patio (not a deck) on rear - front porch 4' x 14'

Width of Lot - 75' req min - 75' shown

Height - 35' max - 24' scaled

Lot Area - 6,500 sq ft in 8,066 sq ft shown

24.5 x 36 = 882
~~28 x 34 = 952~~
22 x 24 = 528
~~22 x 24 = 528~~
2 x 14 = 28

Lot Coverage/Impervious Surface - 25% (2016.5 sq ft max)

Area per Family - 6,500 sq ft

Off-street Parking - 2 pkgs spaces req - 2 car garage shown

Loading Bays - N/A

Site Plan - minor/minor 2003-0162

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 7 - Zone X

1556 sq ft
1438 sq ft

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

September 4, 2003

Christopher Ballard, Inc.
7 Terra Way
Falmouth, ME 04105

RE: Request to Excavate and Blast
Lot 2, Yale Court Subdivision

Dear Mr. Robinson,

Thank you for your written request to excavate and blast on your lot (#2), prior to issuance of the building permit.

Please consider this letter your approval to excavate and blast your lot. This approval is based on the submitted plan. As part of this approval, all erosion control measures shall be installed prior to any soil disturbance.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jay Reynolds', is written over the typed name.

Jay Reynolds
Development Review Coordinator

CC: Sarah Hopkins, Development Review Services Manager
Todd Merkle, Public Works Department
✓ Mike Nugent, Inspection Services Manager
Marge Schmuckal, Zoning Administrator

Zoning Division
Marge Schmuckal
Zoning Administrator

Department of Planning & Development
Lee Urban, Director



CITY OF PORTLAND

August 19, 2003

Chris Ballard
7 Terra Way
Falmouth Maine 04105

*See revised size
plans (Building
Narrowed) DATED
9/3/03*

RE: 36-38 Yale Street (lot #2 University Park) – 436-A-012 & 1/2 of 13 – R-3 Zone
Permit application #03-0894

Dear Chris,

I am in receipt of your permit application to construct a new single family dwelling with an attached garage. Your permit has been denied because your proposal does not have the required setbacks as denoted within the R-3 residential zone.

Under section 14-47 the definition of "story" states, "That portion of a building included between the surface of any floor and the surface of the floor, or the roof, next above. A half story is a story situated under a sloping roof, the area which at a height of four (4) feet above the floor does not exceed two-thirds of the floor area of the story immediately below it....". Although you have not submitted full plans to show where the height of four feet hits under the sloping roof on the area above the garage, I used the open area with the front dormer as clear open space. This open area calculated to over 2/3 of the garage area immediately below it. The garage with the floor above is considered to be two (2) stories in height by definition. You are required to show fourteen (14) feet on both sides of this structure (section 14-90). Currently your plans show eight (8) feet and fifteen (15) feet. Your permit has been denied.

If you wish to resubmit additional plans to correct this violation of the ordinance, you will have thirty (30) days from the date of this letter in which to do so. Please note that complete plans showing where the four (4) foot under the sloped roof is located shall be required for a complete and accurate review. If this office does not receive revised plans within the thirty day period, your permit application will be void. Any further applications shall require a separate permit application.

You have the right to appeal my decision. If you wish to exercise your right to appeal, you have

thirty (30) days from the date of this letter in which to appeal. If you should fail to do so, my decision is binding and not subject to appeal. Please contact this office for the necessary paperwork that is required to file an appeal.

Please also note that your permit is on hold until such time that revised plans have been received or after thirty days have expired. Your permit has not yet been reviewed for submitted structurals and compliance with the building codes.

Very truly yours,

A handwritten signature in black ink, appearing to read "Marge Schmuckal". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Marge Schmuckal
Zoning Administrator

Cc: Wescott & Payson
240 Harvard Street
Portland, ME 04103

Jay Reynolds, Development Review Coordinator
File

Storm water retention area: A pond or basin used for the permanent storage of stormwater runoff.

Story: That portion of a building included between the surface of any floor and the surface of the floor, or the roof, next above. A half story is a story situated under a sloping roof, the area which at a height four (4) feet above the floor does not exceed two-thirds of the floor area of the story immediately below it and which does not contain an independent apartment or dwelling unit. A story which exceeds eighteen (18) feet in height shall be counted as two (2) stories. A basement shall be counted as a story for the purpose of height measurement where more than one-half of its height is above the average level of the adjoining ground.

Stream: A free-flowing body of water from the outlet of the confluence of two (2) perennial streams as depicted on the most recent edition of a United States Geological Survey 7.5-minute series topographic map, or if not available, a 15-minute series topographic map, to the point where the body of water becomes a river or flows to another water body or wetland within a shoreland area, or any stream designated within a Stream Protection Zone.

Stream, tributary: A channel between defined banks created by the action of surface water, whether intermittent or perennial, and which is characterized by the lack of upland vegetation or presence of aquatic vegetation and by the presence of a bed devoid of topsoil containing waterborne deposits on exposed soil, parent material or bedrock, and which flows to a water body or wetland. This definition does not include the term "stream" as defined in this section, and only applies to that portion of the tributary stream located within the shoreland zone of the receiving water body or wetland.

Street: A public way established by or maintained under public authority, or a way dedicated to the use of the public and appearing on the official map of the city.

Street line: The line of demarcation between a street and the abutting land.

Structure: Anything constructed or erected of more than one (1) member which requires a fixed location on the ground or

From: Mark Adelson
To: Jay Reynolds; Marge Schmuckal; Mike Nugent
Date: Mon, Aug 25, 2003 4:21 PM
Subject: 36 Yale Street

Permit Appl.# 03-0894

The applicant will be submitting a revised plot plan showing a bld. of different dimensions that meet the set back requirements. They will be requesting a foundation only permit. Like many others, they have an excavator waiting for the green light. If everything else is resolved, please proceed with the foundation permit. Thanks, Mark A.

CC: Karen Dunfey



A R C H I T E C T S

434 Cumberland Avenue Portland ME 04101-2325

www.CWSarch.com

FAX TRANSMITTAL

Phone: 207.774.4441

Fax: 207.774.4016

To: Marge Schmuckal

Company: City of Portland

Fax Number: 874-8716

Date:

Project No. 36-38 Yale Street

From: George Lavigne

Copy to:

Message:

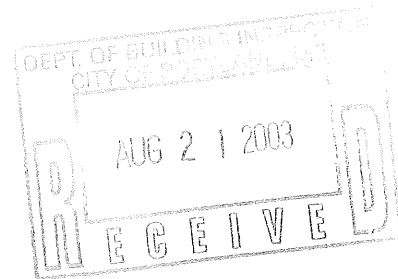
In order to revise the 1/2 story "Bonus Room" over the garage, I will need clarification on these points of the code:

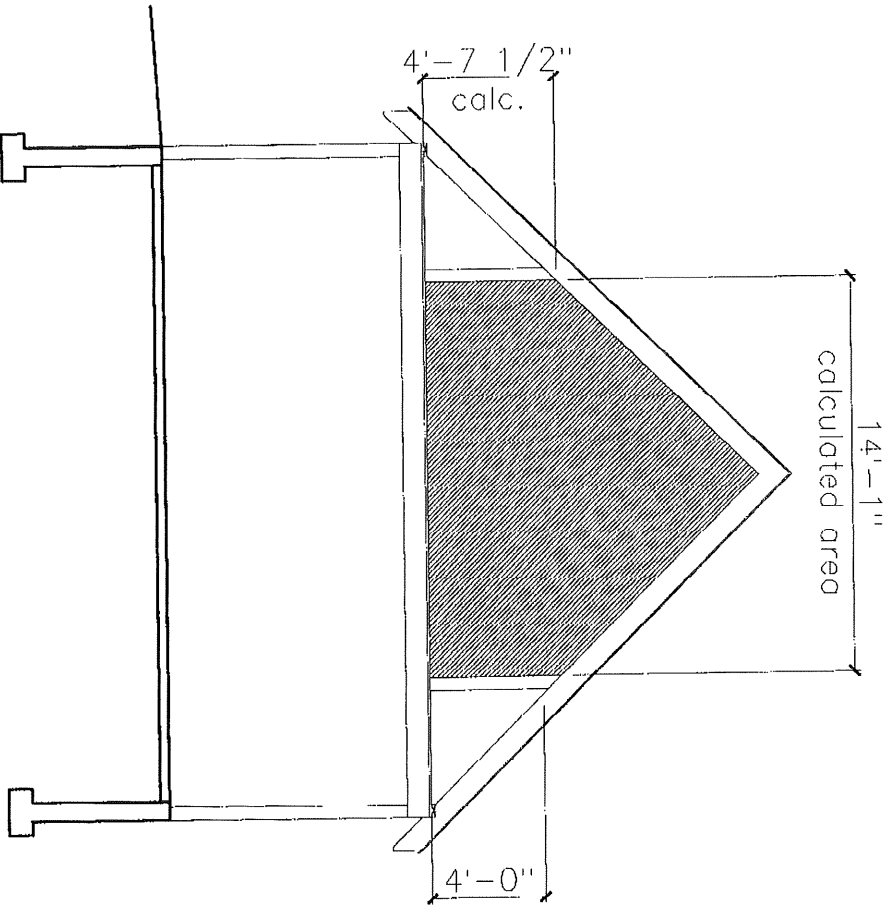
- 1) Is the AREA of the 1/2 story measured *only* within an occupied space, or does it include unoccupied space?
- 2) Is the AREA of the 1/2 story calculated by measuring 'gross', to the outside of walls, or 'net' to the inside of the walls?
- 3) Is the story below calculated by measuring 'gross', to the outside of walls, or 'net' to the inside of the walls?
- 4) Is the 4'-0" height measurement taken from the top of floor sheathing to the underside of the structure, or from top of floor sheathing to the top of the roof sheathing?

Clearly, all of the initial discussions assumed that the interior of the finished space was the only area to be counted. If this does not hold true, then in order to maintain the architectural integrity of the dormer design, we will have to lower the roof pitch from 12/12 to 12/9.

Please notify CWS if received in error.

Pages Following: 1

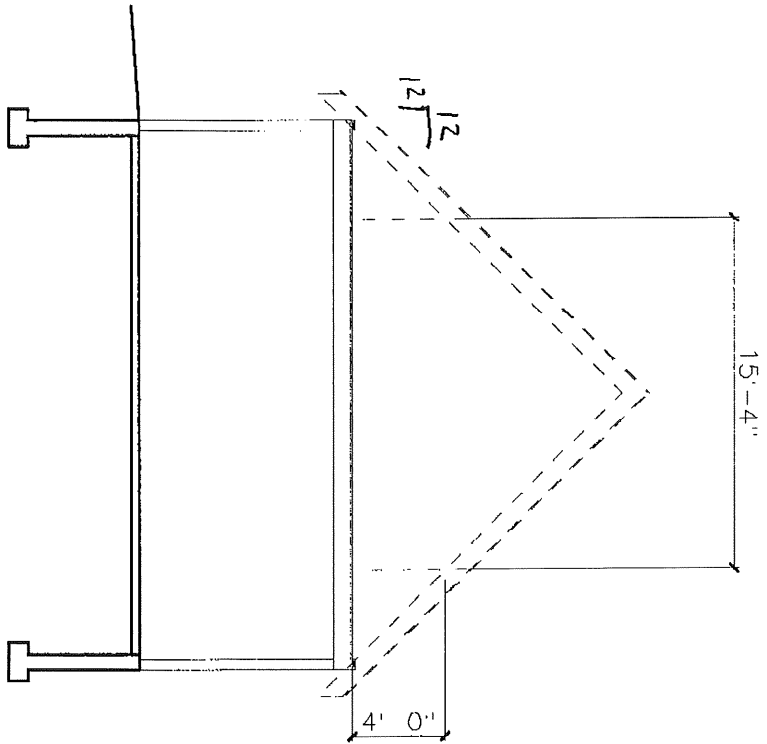




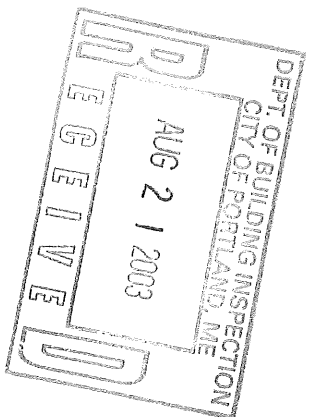
SCHEMATIC GARAGE SECTION

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 AUG 21 2003
 RECEIVED

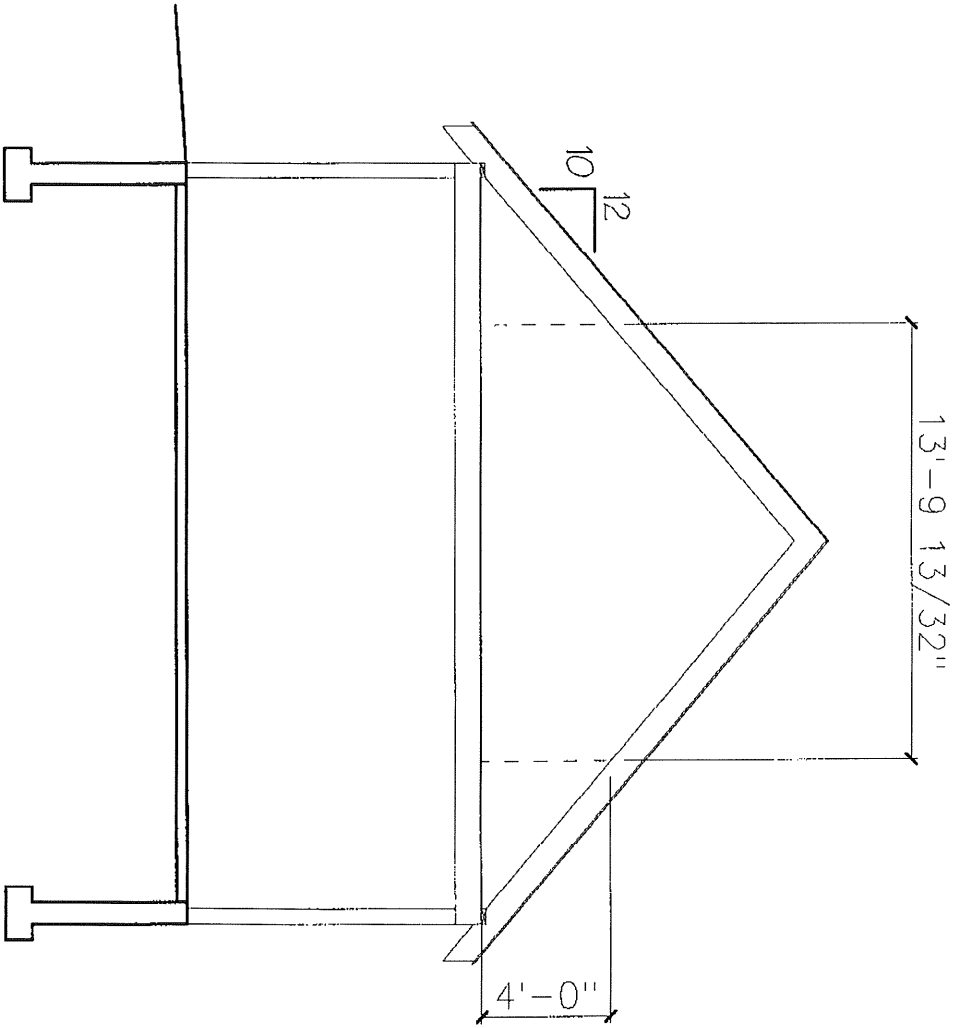
SCHEMATIC GARAGE SECTION



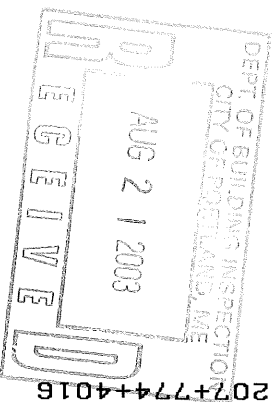
(SUBMITTED DESIGN) 1/8" = 1'-0"



SCHEMATIC GARAGE SECTION



(Possible Revision)



N.T.S.

FAX TRANSMITTAL



A R C H I T E C T S

434 Cumberland Avenue Portland ME 04101-2325
www.CWSarch.com

Phone: 207.774.4441
Fax: 207.774.4016

To: Marge Schmuckal

Company: City of Portland

Fax Number: 874-8716

Date:

Project No. 36-38 Yale Street

From: George Lavigne

Copy to:

Message:

I have developed a revised building section with a 10/12 roof pitch which will bring the entire garage within the 1 1/2 story guidelines as we have discussed. (See attached.)

It has occurred to me, however, that the 1 1/2 story requirement might apply only to the area of the garage being constructed inside of the 15' setback? Thus, we would consider only the 7' of the garage width, and bonus room width, in the calculation:

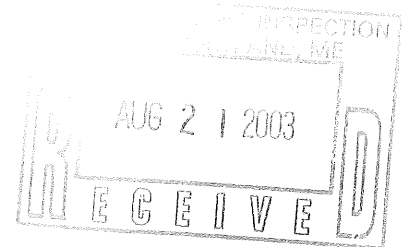
Garage: 24' x 7' = 168 s.f. x 2/3 = 112 s.f.

Bonus room at 48" with 12/12 pitch: 15'-4" x 7' = 107.3 s.f.
(See attached)

Thank you for working with us on this issue.
George

Please notify CWS if received in error.

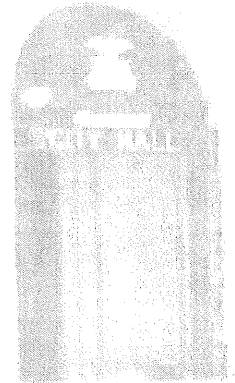
Pages Following: 2



City of Portland
INSPECTION SERVICES

Room 315
389 Congress Street
Portland, Maine 04101

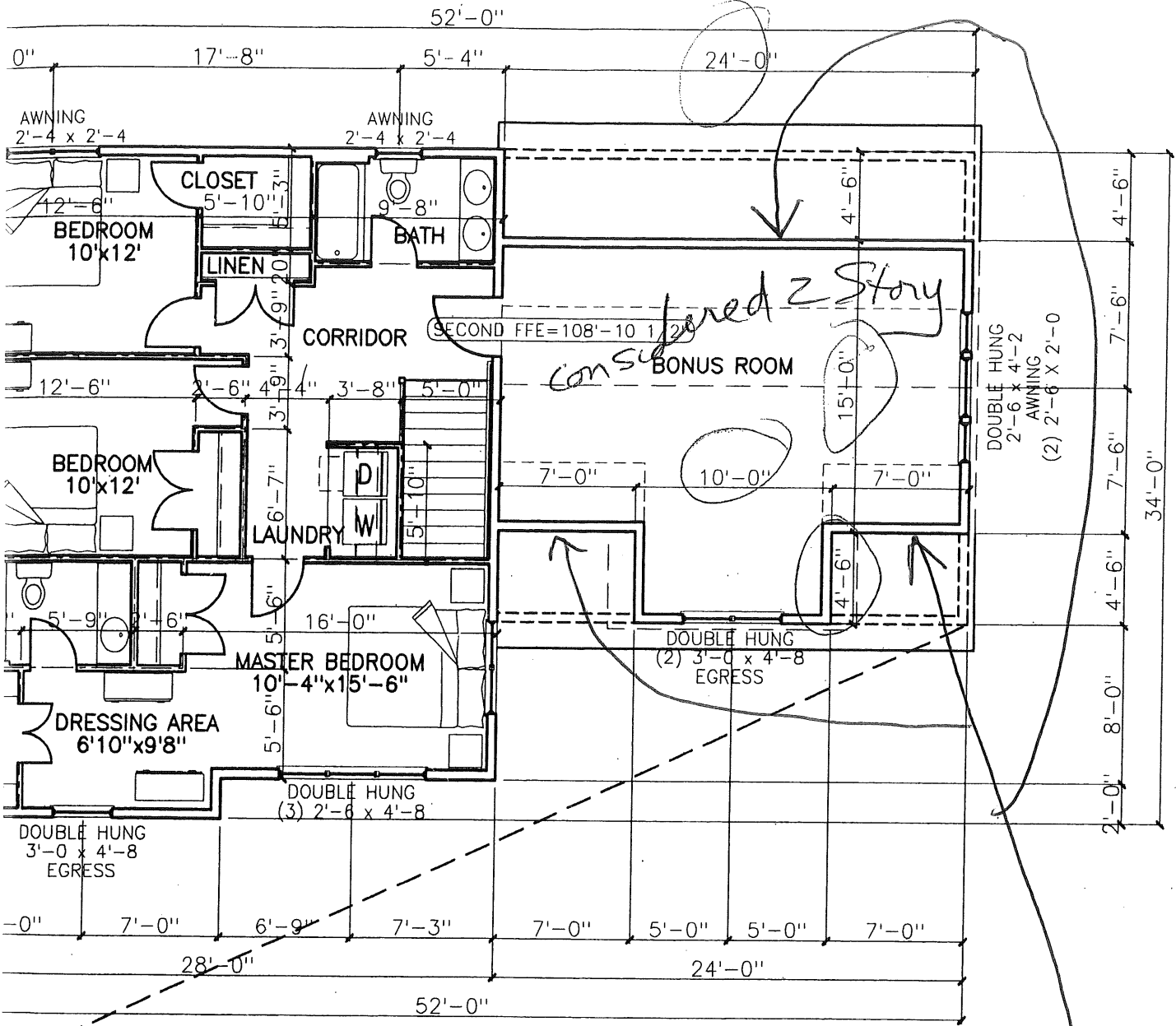
Telephone: 207-874-8703 or 207-874-8693
Facsimile: 207-874-8716



FACSIMILE TRANSMISSION COVER SHEET

TO: <u>George Levine</u>	FROM: <u>Marge Schmeckel</u>
FAX NUMBER: <u>774-4016</u>	NUMBER OF PAGES, WITH COVER: <u>4</u>
TELEPHONE: _____	RE: <u>36-38 Yale St</u>
<u>8/21/03 2:30pm</u>	

Comments: The Area measured is from the 4' height per the ordinance Definition. — If on the Garage floor plan that was original submitted, the walls are at the 4' level (I thought you said differently during our ^{last} phone conversation) and there is no dormer, then your proposal would work.
Please confirm — Marge

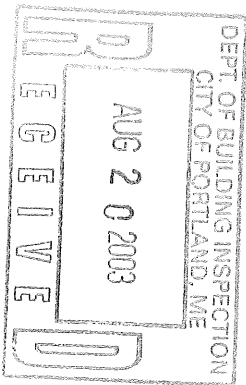
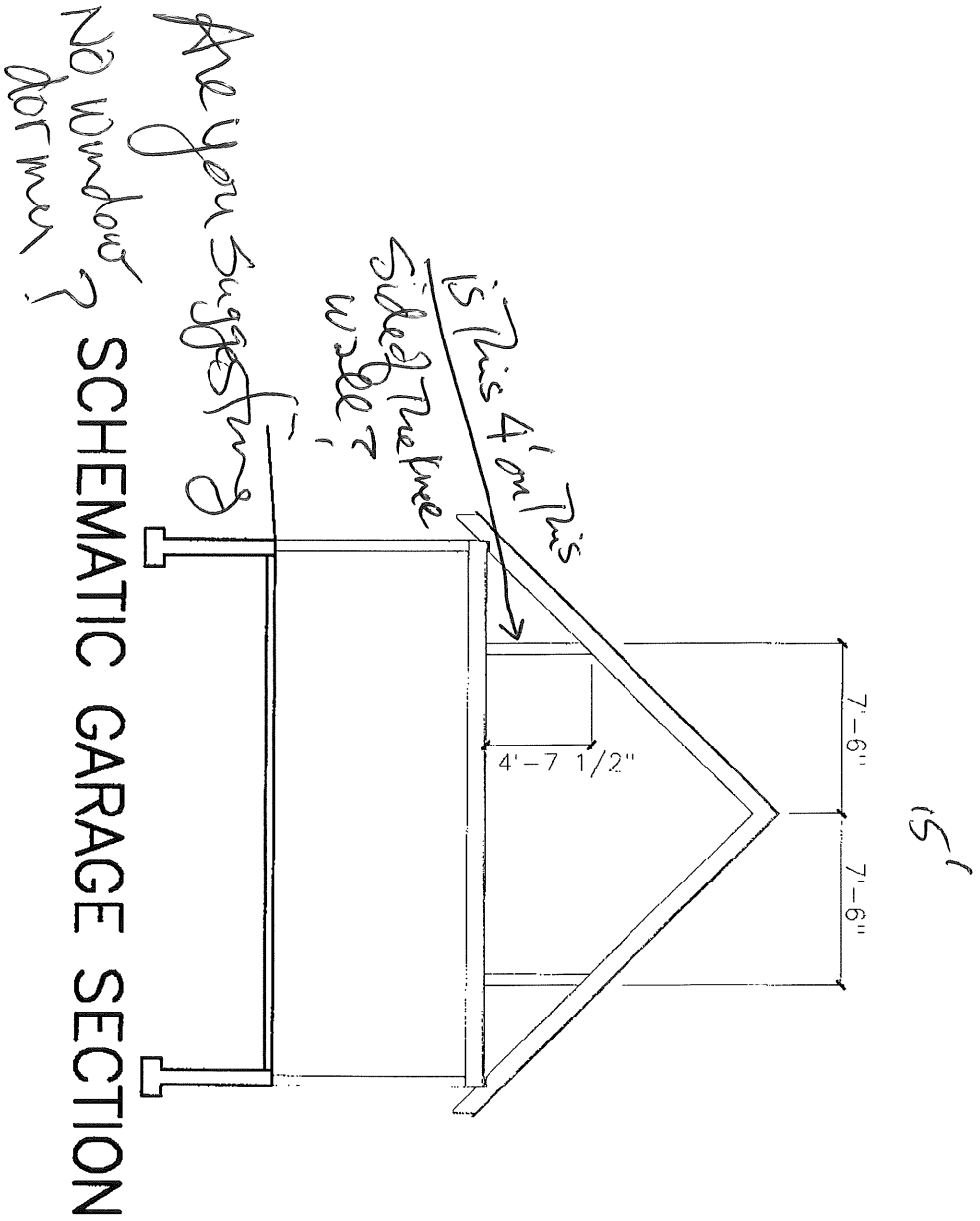


COND FLOOR PLAN

Are you saying
That these units
are at the 4th
level?

GENERAL NOTES:

ARCHITECTURAL DRAWING REPRESENTS THE DESIGN INTENT OF THE



$24 \times 24 = 576 \text{ sq ft} \times 0.66 = 380.16 \text{ sq ft}$ MAX on 2nd floor
to use 1/2 story set back

$15 \times 24 = 360$
 $4.5 \times 10 = 45$
 405 sq ft considered 2 stories



typical right side elevation



A R C H I T E C T S
434 Cumberland Avenue Portland ME 04101-2325
www.CWSarch.com

FAX TRANSMITTAL

Phone: 207.774.4441
Fax: 207.774.4016

To: Marge Schmuckal

Company: City of Portland

Fax Number: 874-8716

Date:

Project No. 36-38 Yale St

Copy to:

From: George Lavigne

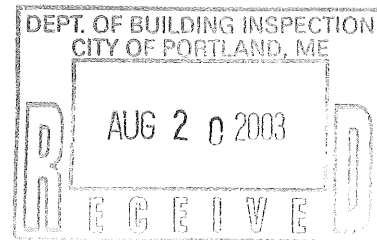
Message:

Attached is a schematic building section of the University Park House which has been submitted for permitting. I was able to reach Ben Walter, who indicated that his discussions with you concluded that the FINISHED space under the roof would be the area considered 1 1/2 story. Including the dormer area, the finished bonus room space is 372.4 net s.f., which is less than 2/3 of the 576 g.s.f. garage area. The Zoning Ordinance does not appear to address unoccupied space.

Please let me know if this addresses your concerns.

Please notify CWS if received in error.

Pages Following: 1



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2003-0162
Application I. D. Number

08/06/2003
Application Date

Lot #2 University Park
Project Name/Description

Wescott & Payson II
Applicant
240 Harvard St, Portland, ME 04103
Applicant's Mailing Address

Yale St, Portland, Maine
Address of Proposed Site
~~153A A002007~~ *A36-A-12 1/2 of 13*
Assessor's Reference: Chart-Block-Lot

Consultant/Agent
Agent Ph: _____ **Agent Fax:** _____
Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

2424 sf Proposed Building square Feet or # of Units **R-3** Zoning
Acreage of Site _____

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 08/06/2003

DRC Approval Status:

Reviewer Jay Reynolds

Approved **Approved w/Conditions** See Attached Denied *9/3/03 Jay received revised plans*
Approval Date 08/11/2003 Approval Expiration 08/11/2004 Extension to _____ Additional Sheets Attached
 Condition Compliance Jay Reynolds 08/11/2003
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------|--|-----------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ date | _____ amount | |
| <input type="checkbox"/> Building Permit Issue | _____ date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date | _____ remaining balance | _____ signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date | <input type="checkbox"/> Conditions (See Attached) | _____ expiration date |
| <input type="checkbox"/> Final Inspection | _____ date | _____ signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ date | _____ signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ date | _____ signature | |

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

2003-0162

Application I. D. Number

08/06/2003

Application Date

Lot #2 University Park

Project Name/Description

Wescott & Payson II

Applicant

240 Harvard St, Portland, ME 04103

Applicant's Mailing Address

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Yale St, Portland, Maine

Address of Proposed Site

~~153A-A062001~~

Assessor's Reference: Chart-Block-Lot

436-A-12: 1/2 of 13

Approval Conditions of DRC

- 1 STEET LIGHT AND STREET TREE WILL HAVE TO BE RELOCATED IN ORDER TO FACILITATE THE DRIVEWAY/CURB CUT LOCATION.
- 2 SILT FENCE SHALL BE INSTALLED ALONG THE REAR PROPERTY LINE/DRAINAGE EASEMENT.
- 3 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 4 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 5 Your new street address HAS NOT BEEN ASSIGNED (8/11), however, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 6 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 7 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 8 The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
- 9 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Building Copy**

2003-0162
Application I. D. Number

Wescott & Payson II
Applicant
240 Harvard St, Portland, ME 04103
Applicant's Mailing Address

8/6/2003
Application Date *36-38 yale st*
Lot #2 University Park
Project Name/Description

Consultant/Agent
Agent Ph: _____ **Agent Fax:** _____
Applicant or Agent Daytime Telephone, Fax

240 - 240 Harvard St, Portland, Maine
Address of Proposed Site
153A A002001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

2424 sf Proposed Building square Feet or # of Units **R-3** Zoning
Acreage of Site _____

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Pla \$50.00 Subdivision _____ Engineer Review \$250.00 Date 8/6/2003

Building Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied
- Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
- Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

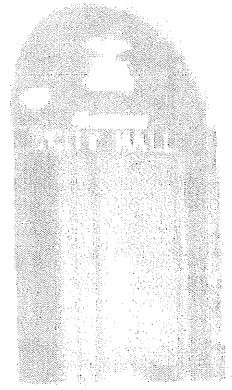
* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------|--|-----------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ date | _____ amount | |
| <input type="checkbox"/> Building Permit Issue | _____ date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date | _____ remaining balance | _____ signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date | <input type="checkbox"/> Conditions (See Attached) | _____ expiration date |
| <input type="checkbox"/> Final Inspection | _____ date | _____ signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ date | _____ signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ date | _____ signature | |

City of Portland
INSPECTION SERVICES

Room 315
389 Congress Street
Portland, Maine 04101

Telephone: 207-874-8703 or 207-874-8693
Facsimile: 207-874-8716



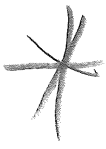
FACSIMILE TRANSMISSION COVER SHEET

TO: <u>George Levine</u>	FROM: <u>Mary Schumaker</u>
FAX NUMBER: <u>774-4016</u>	NUMBER OF PAGES, WITH COVER: <u>4</u>
TELEPHONE: _____	RE: <u>36-38 Yale St</u>

8/20/03

Comments: If you can fax me revised details that show the area above the garage to meet the 1/2 story definition, I can sign off on zoning & pass the permit on to Building Code review.
Mary

Storm water retention area: A pond or basin used for the permanent storage of stormwater runoff.



Story: That portion of a building included between the surface of any floor and the surface of the floor, or the roof, next above. A half story is a story situated under a sloping roof, the area which at a height four (4) feet above the floor does not exceed two-thirds of the floor area of the story immediately below it and which does not contain an independent apartment or dwelling unit. A story which exceeds eighteen (18) feet in height shall be counted as two (2) stories. A basement shall be counted as a story for the purpose of height measurement where more than one-half of its height is above the average level of the adjoining ground.

Stream: A free-flowing body of water from the outlet of the confluence of two (2) perennial streams as depicted on the most recent edition of a United States Geological Survey 7.5-minute series topographic map, or if not available, a 15-minute series topographic map, to the point where the body of water becomes a river or flows to another water body or wetland within a shoreland area, or any stream designated within a Stream Protection Zone.

Stream, tributary: A channel between defined banks created by the action of surface water, whether intermittent or perennial, and which is characterized by the lack of upland vegetation or presence of aquatic vegetation and by the presence of a bed devoid of topsoil containing waterborne deposits on exposed soil, parent material or bedrock, and which flows to a water body or wetland. This definition does not include the term "stream" as defined in this section, and only applies to that portion of the tributary stream located within the shoreland zone of the receiving water body or wetland.

Street: A public way established by or maintained under public authority, or a way dedicated to the use of the public and appearing on the official map of the city.

Street line: The line of demarcation between a street and the abutting land.

Structure: Anything constructed or erected of more than one (1) member which requires a fixed location on the ground or

**L & L STRUCTURAL
ENGINEERING SERVICES, INC.**

Six Q Street
South Portland, ME 04106
Phone: (207) 767-4830
Fax: (207) 799-5432

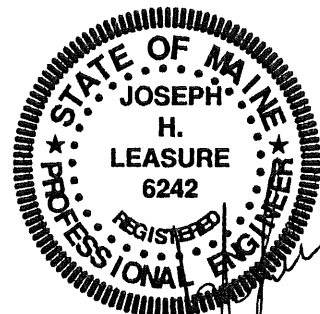
THE BATES - RESIDENTIAL BUILDING AT UNIVERSITY PARK

HARVARD STREET
PORTLAND, MAINE

STRUCTURAL DRAWINGS
& GENERAL NOTES

Prepared for: Curtis, Walters, Stewart Architects
434 Cumberland Avenue
Portland, Maine 04101

Submission Date: July 18, 2003
Drawings: S1 thru S9



GENERAL NOTES:

1. The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, reglets, sleeves, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work. Do not scale plans.
4. The structure is designed to be self supporting and stable after the Building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tiedowns. Such material shall remain the property of the contractor after completion of the project.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

1. Building code: BOCA Basic Building Code (1999)
2. Design Live Loads:
 - Roof.....42 PSF + Drift as applicable
 - Floor.....40 PSF
3. Design wind loads are based on exposure B using 85 mph basic wind speed.

designed by: JHL	THE BATES-UNIVERSITY PARK HARVARD STREET PORTLAND, MAINE GENERAL NOTES	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 767-4830 FAX: (207) 799-5432 EMAIL: LLENG@AOL.COM	S1
drawn by: JHL			
checked by: MFL			
scale: NOTED			
date: 7/18/03			

FOUNDATION NOTES:

1. Foundations have been designed with a presumptive soil bearing capacity of 2000 PSF to be verified in the field.
2. Interior spread footings and exterior strip footings shall be founded on undisturbed soil or compacted structural fill.
3. Exterior strip and spread footings shall be founded on a minimum of 4'-6" below finished grade.
4. Slabs on grade shall bear on a minimum of 12" of compacted structural fill. If loose or undesirable fills are encountered at the slab subgrade level, they shall be over excavated to the surface of the natural soil and replaced with structural fill. Refer to drawings and specifications for vapor barrier requirements.
5. Structural fill shall be used at all locations below footings and slabs and adjacent to the foundation walls. Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics, loam, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded within the following units:

SCREEN OR SIEVE SIZE	PERCENT FINER BY WEIGHT
4 INCH	100
3 INCH	90-100
NO.4	35-70
40	5-35
200	0-5

6. Structural fill beneath slabs shall be placed in layers not exceeding 6" in loose measure and compacted by selfpropelled compaction equipment at approximate optimum moisture content to a dry density of at least 95% of the maximum in place dry density as determined by the modified proctor test (ATSM d-1557).
7. Underdrains shall be placed as shown on the site drawings. Underdrains shall be installed to positively drain to a suitable discharge point away from the structure. Refer to the site drawings for additional information.
8. Exterior concrete slabs on grade, shall be underlain by at least 4 feet of structural fill meeting gradation and compaction requirements noted above. Reinforce slabs with 6x6 - W1.4xW1.4 WWF.
9. Open excavations shall be adequately braced or properly benched.
10. Backfill both sides of foundation walls and grade walls simultaneously.

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drawn by:	JHL			
checked by:	MFL			
scale:	NOTED			
date:	7/18/03			

CONCRETE NOTES:

1. All concrete work shall conform to ACI 318-89.
2. Concrete strength at 28 days shall be:
 - a. 3000 PSI for footings and walls.
 - b. 4000 PSI for all slabs on grade.
3. All concrete shall be air entrained 4% to 6%.
4. Concrete shall not be placed in water or on frozen ground.
5. Provide PVC sleeves where pipes pass through concrete walls or slabs.
6. Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 315-Latest edition.
7. Welded wire fabric shall be provided in flat sheets.
8. Fiber reinforced concrete shall conform to ATSM C-1116.
9. Splices of reinforcing bars shall be in accordance with ACI 318-89. Splices of WWF shall be 6" minimum.
10. Concrete finishes: See specifications and Architectural drawings for additional information.
11. Anchor bolts shall conform to ASTM A307 unless noted otherwise on plan.
12. The general contractor shall be responsible for coordination of door bondout locations and slab depression & bondout locations with Architectural, Mechanical & Plumbing drawings, and kitchen equipment vendors as necessary to properly install each specific item.

TIMBER FRAMING:

1. All timber framing shall be in accordance with the AITC Timber Construction Manual or the National Design Specification (NDS) -Latest editions.
2. Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried 19% maximum moisture content.
3. Pressure treated lumber shall be used where wood is in contact with ground or concrete. Timber shall be southern yellow pine treated with CCA to 0.4 #/CF in accordance with AWPA C-18.
4. Provide solid 2x lumber blocking/bridging, double nailed at each end, at 8 feet maximum spacing for all dimensional lumber floor framing.
5. Standard metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
6. Provide Simpson H1 Hurricane anchors at each end of timber trusses and rafters.
7. Nailing not specified shall conform with BOCA appendix C.
8. Provide 19/32" thick APA rated sheathing on roof framing.
9. Provide 15/32" thick APA rated sheathing on exterior wall framing.
10. Provide 23/32" thick APA rated T&G plywood sheathing or Advantech on floor framing.

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drawn by: JHL			
checked by: MFL			
scale: NOTED			
date: 7/18/03			

TIMBER TRUSS FRAMING:

1. Materials: Stress graded lumber, metal plate connectors. Minimum grade No. 2 M.S.R. Southern Pine, kiln dried, 15% maximum M.C., or approved alternate.
2. Applicable specifications:
 - a. National Design Specification for stress graded lumber and its fastening (NDS).
 - b. Design specifications for light metal plate connected wood trusses (TPI—latest ed.).
3. Bracing: The truss manufacturer shall specify all bracing required both for temporary construction loading and for permanent lateral support of compression members.
4. Submittals:
 - a. Submit design calculations, shop drawings and erection procedures all affixed with the seal of a professional structural engineer registered in the State of Maine.
 - b. Shop drawings shall show stress grade and size of members, size and location of plate connectors, size and location of bracing and shall be approved by the truss designer.
5. All fabricated trusses shall be inspected at the fabrication plant and approved trusses shall receive the TPI mark of approval in accordance with the truss plate institute in-plant inspection license agreement.
6. Connector plates shall be galvanized.
7. Timber trusses shall be designed in accordance with BOCA and ASCE 7—latest edition.
8. Provide permanent bottom chord bracing in accordance with the truss plate institute (TPI—latest edition).
9. Trusses shall be designed for all potential load combinations of live loads (snow) and wind loads including unbalanced snow loads, drift loads and wind loads in accordance with BOCA 1999.

STRUCTURAL STEEL NOTES:

1. Structural steel fabrication, erection, and connection design shall conform to AISC "Specification for the design, fabrication, and erection of structural steel"—Ninth edition.
2. Structural steel:
 - a. Structural steel shall conform to ASTM A-36.
 - b. Structural tubing shall conform to ASTM A-500 GR.B.
 - c. Structural pipe shall conform to ASTM A-53, TYPE E or S.
3. All welding shall conform to AWS D1.1—Latest edition. Welding electrodes shall be E70XX.

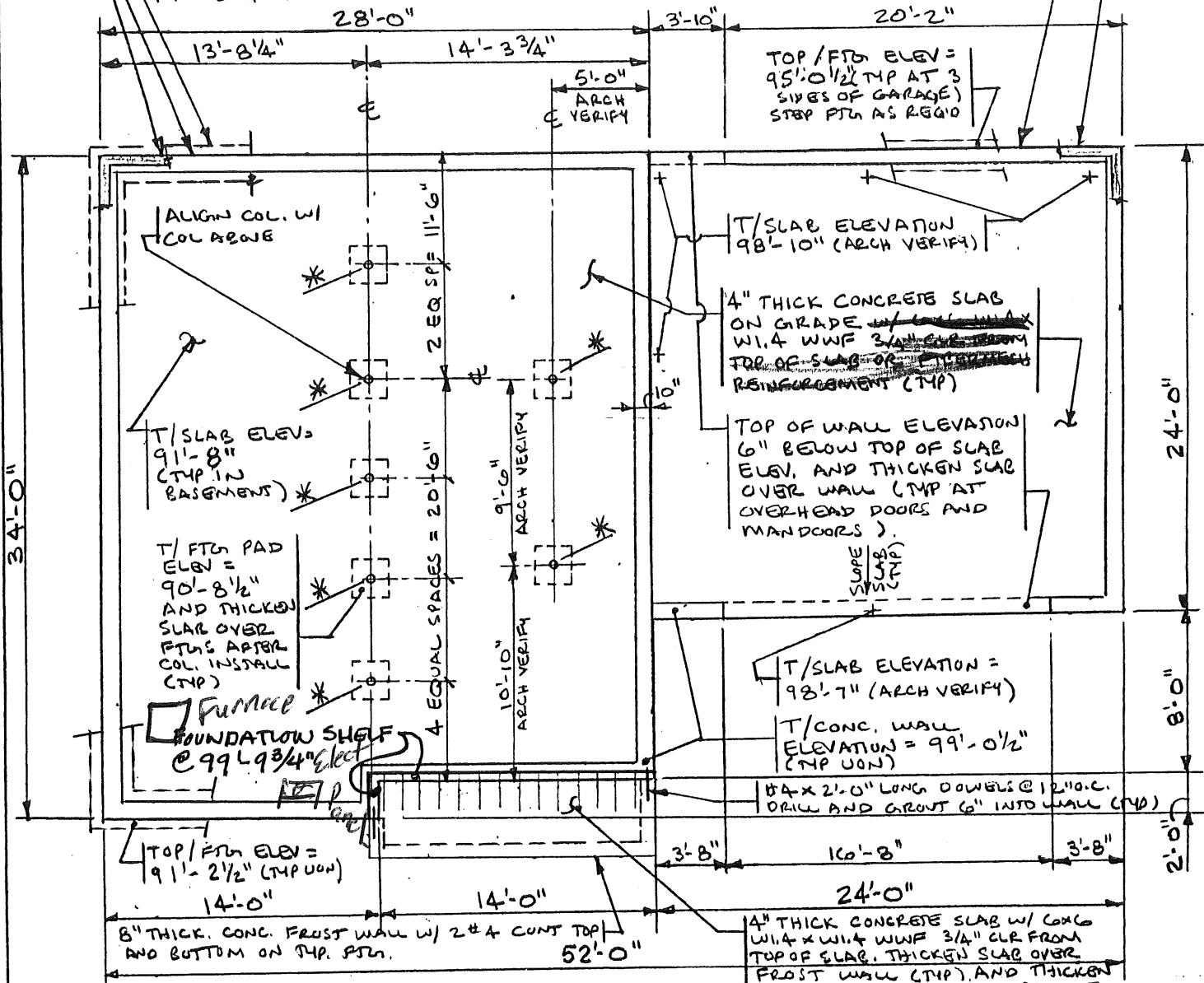
designed by: JHL	THE BATES—UNIVERSITY PARK HARVARD STREET PORTLAND, MAINE GENERAL NOTES	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106 PHONE: (207) 767-4830 FAX: (207) 799-5432 EMAIL: LLENG@AOL.COM	S4
drawn by: JHL			
checked by: MFL			
scale: NOTED			
date: 7/18/03			

2x6 CONT. P.T. SILL PLATE W/ 5/8" x 12" LONG HOOKED ANCHOR BOLTS @ 3'-0" O.C AND AT 1'-0" FROM CORNERS AND ENDS OF PLATES (TYP).

10" THICK CONCRETE WALL W/ 2-#4 CONT. TOP AND BOT. OF WALL (TYP UON)

1'-8" wide x 10" THICK CONCRETE FOOTING W/ 3-#4 CONT. 3" CLR FROM BOTTOM OF FTG. MAINTAIN 4'-6" FROM FIN. GRADE TO BOT. OF FTG (TYP).

8" THICK CONCRETE FROST WALL W/ 2-#4 CONT. TOP AND BOT (TYP AT THREE SIDES OF GARAGE) ON TYPICAL FOOTING.



FOUNDATION PLAN
 1/8" = 1'-0"

- NOTES:
- 1) SEE GENERAL NOTES ON DWGS S1, S2, S3 & S4
 - 2) * INDICATES: 3 1/2" Ø CONC. FILLED LALLY COLUMN ON 2'-6" SQUARE x 10" THICK CONC. FTG W/ 4-#4 EA. WAY 3" CLR FROM BOT OF FTG.
 - 3) PROVIDE #4 x 2'-0" x 2'-0" AT 12" O.C. AT CENTER OF SLAB AND CONC. WALL AT LOCATIONS WHERE SLAB IS THICKENED OVER CONC. WALLS (TYP).

designed by:	JHL
drawn by:	JHL
checked by:	MFL
scale:	NOTED
date:	7/18/03

THE BATES - UNIVERSITY PARK
 HARVARD STREET
 PORTLAND, MAINE

FOUNDATION PLAN

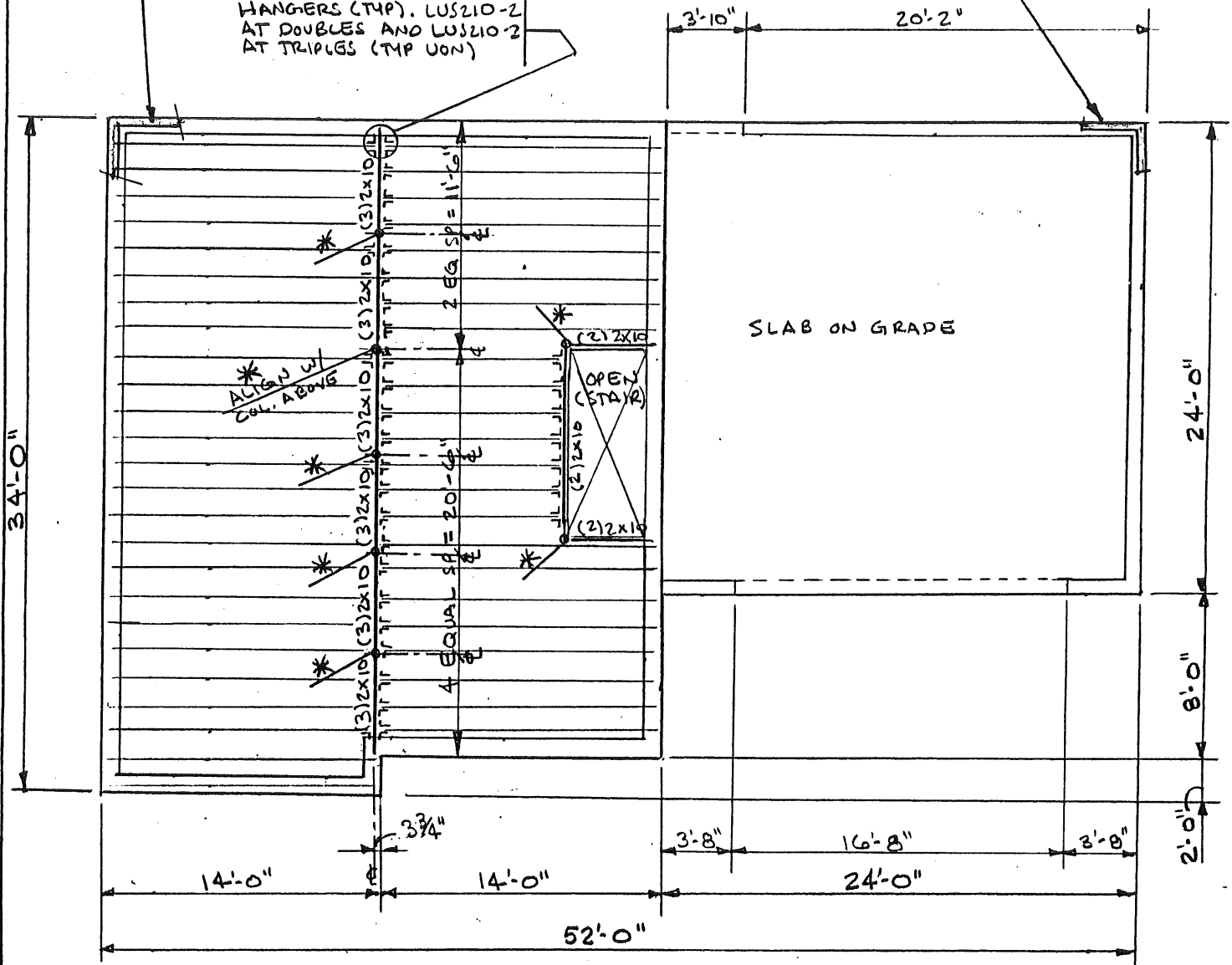
L & L STRUCTURAL ENGINEERING SERVICES, INC.
 SIX O STREET
 SOUTH PORTLAND, MAINE 04106

PHONE: (207) 787-4830
 FAX: (207) 788-8432
 EMAIL: llen@aol.com

S5

2X6 CONT. P.T. SILL PLATE W/
 5/8" ϕ X 12" LONG HOOKED ANCHOR
 BOLTS @ 3'-0" O.C. AND AT 1'-0"
 FROM CORNERS AND ENDS OF PLATES (TYP)

SIMPSON LUS210 JOIST
 HANGERS (TYP). LUS210-2
 AT DOUBLES AND LUS210-2
 AT TRIPLES (TYP UON)



FIRST FLOOR FRAMING PLAN (FIN. FLR ELEV=100'-0"; REF)
 1/8" = 1'-0"

NOTES:

- 1) SEE GENERAL NOTES ON DWG S1, S2, S3 & S4
- 2) FLOOR JOISTS SHALL BE 2X10 @ 16" O.C. (TYP UON)
- 3) ALL BMS INDICATED ARE FLUSH FRAMED.
- 4) * INDICATES: 3 1/2" ϕ CONCRETE FILLED LALLY COLUMN W/ CAP & BASE PLATES (TYP)

designed by:	JHL
drawn by:	JHL
checked by:	MFL
scale:	NOTED
date:	7/18/03

THE BATES - UNIVERSITY PARK
 HARVARD STREET
 PORTLAND, MAINE

FIRST FLR FRAMING PLAN

L & L STRUCTURAL
 ENGINEERING SERVICES, INC.
 SIX O STREET
 SOUTH PORTLAND, MAINE 04106

PHONE: (207) 767-4830
 FAX: (207) 798-8432
 EMAIL: LLENG@AOL.COM

S6

HOLD END OF STEEL BEAM BACK 1/2" FROM EX.,
FACE OF WALL TO INSTALL 1/2" THICK RIGID INSULATION.
FASTEN BM TO 2x6 PLATE ON TOP OF COLUMN INDICATED
W/ (2) 1/2" φ x 4" LONG LAG BOLTS AT 2 3/4" BM GA. AND
2" FROM END OF STEEL BEAM (TYP AT BOTH ENDS OF BM)

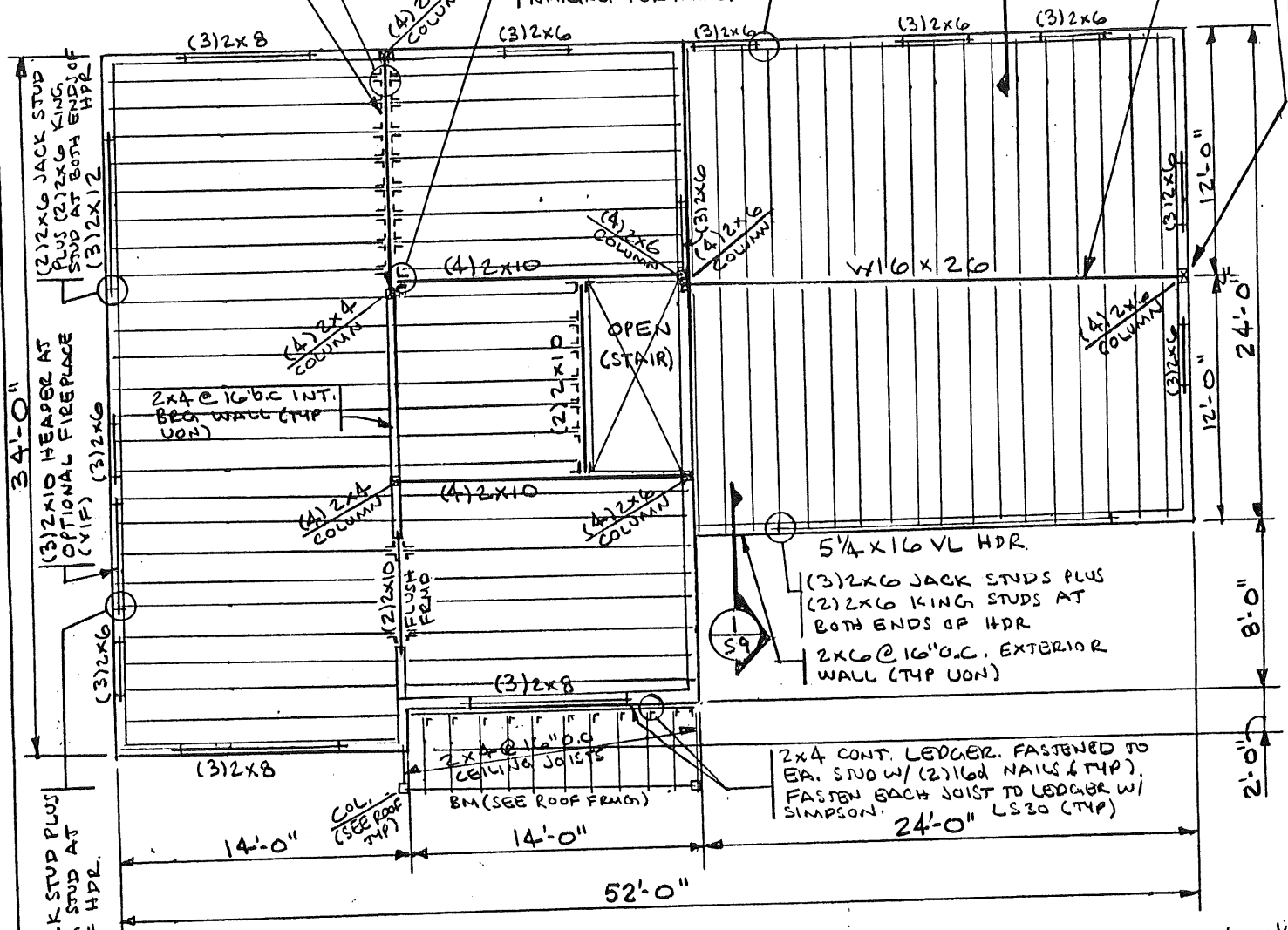
PROVIDE 2x6 PLATE ON TOP OF W16 BM AND FASTEN
W/ (2) 5/32" φ P.A.F @ 12" O.C. (TYP). FASTEN 2x10 JOISTS
TO PLATE W/ (2) 16d TDE NAILS (ONE EA SIDE) AND
PROVIDE SOLID BLOCKING ABOVE BEAM (TYP)

SIMPSON LUS210
JOIST HANGERS (TYP)
LUS210-2 AT DOUBLES &
LUS210-3 AT TRIPLES
(TYP UON)

5/4 x 9/4 YL FLUSH
FRAMED

2x6 JACK STD PLUS 2x6
KING STD AT BOTH ENDS OF
HDR (TYP UON). 2x4'S AT
INTERIOR BRG WALL (TYP UON)

SIMPSON U610R
HANGER W/ MAX
NAILING PER MANUF



SECOND FLOOR FRAMING PLAN (FIN. FLR ELEV = 108'-10 1/2")

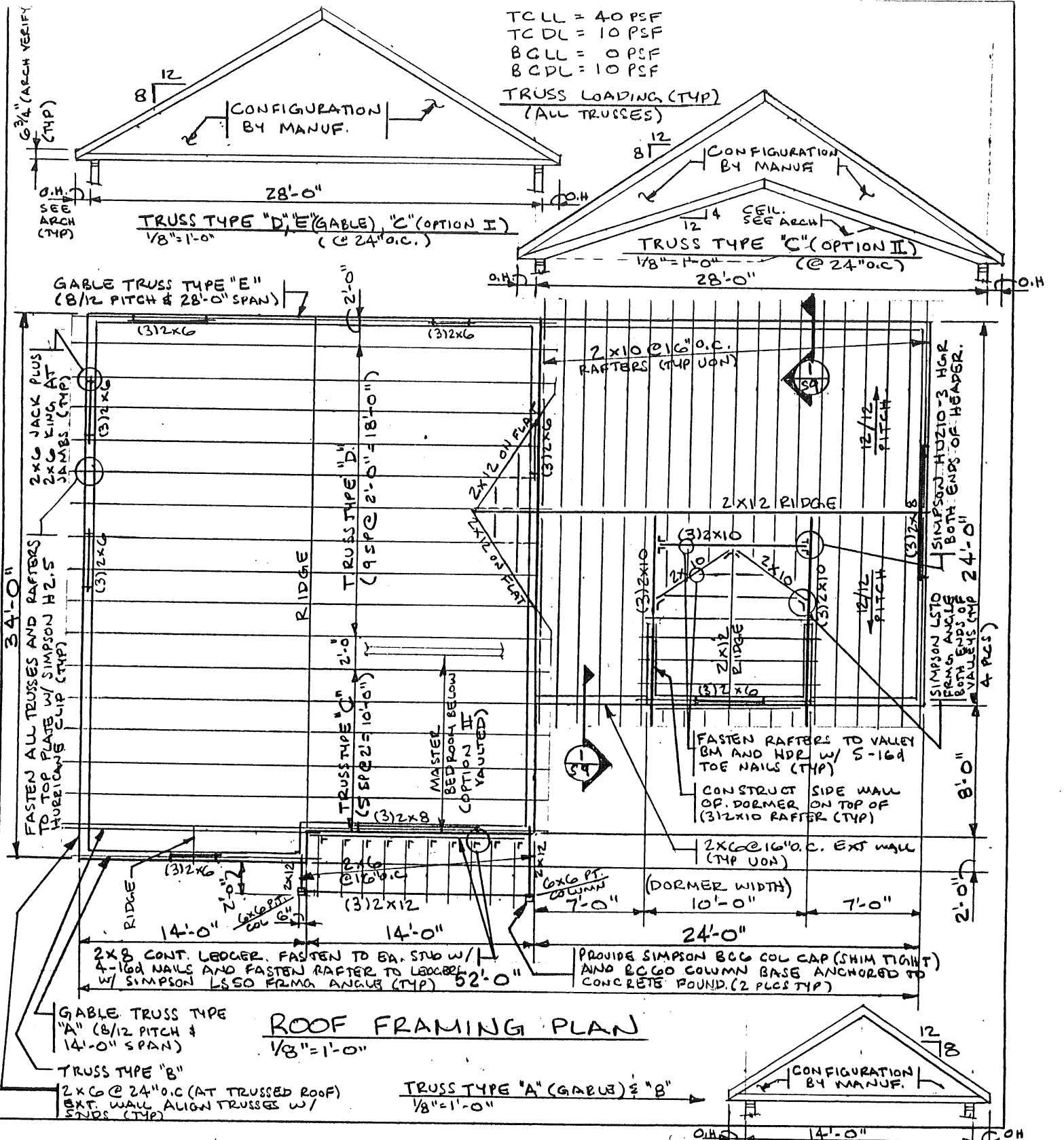
- 1/8" = 1'-0" NOTES:
 1) SEE GENERAL NOTES ON DWG S1, S2, S3 & S4.
 2) FLOOR JOISTS SHALL BE 2x10 @ 16" O.C (TYP UON)
 3) "YL" INDICATES: VERSALAM BEAM MANUF. BY BOISE CASCADES
 OR APPROVED EQUAL.

designed by:	JHL
drawn by:	JHL
checked by:	MFL
scale:	NOTED
date:	7/18/03

THE BATES - UNIVERSITY PARK
 HARVARD STREET
 PORTLAND, MAINE
 SECOND FLR FRAMING PLAN.

L & L STRUCTURAL
 ENGINEERING SERVICES, INC.
 SIX O STREET
 SOUTH PORTLAND, MAINE 04106
 PHONE: (207) 787-4830
 FAX: (207) 788-5432
 EMAIL: LLENG@AOL.COM

S7



ROOF FRAMING PLAN

designed by:	JHL
drawn by:	JHL
checked by:	MFL
scale:	NOTED
date:	7/18/03

THE BATES - UNIVERSITY PARK
HAWARD STREET
PORTLAND, MAINE

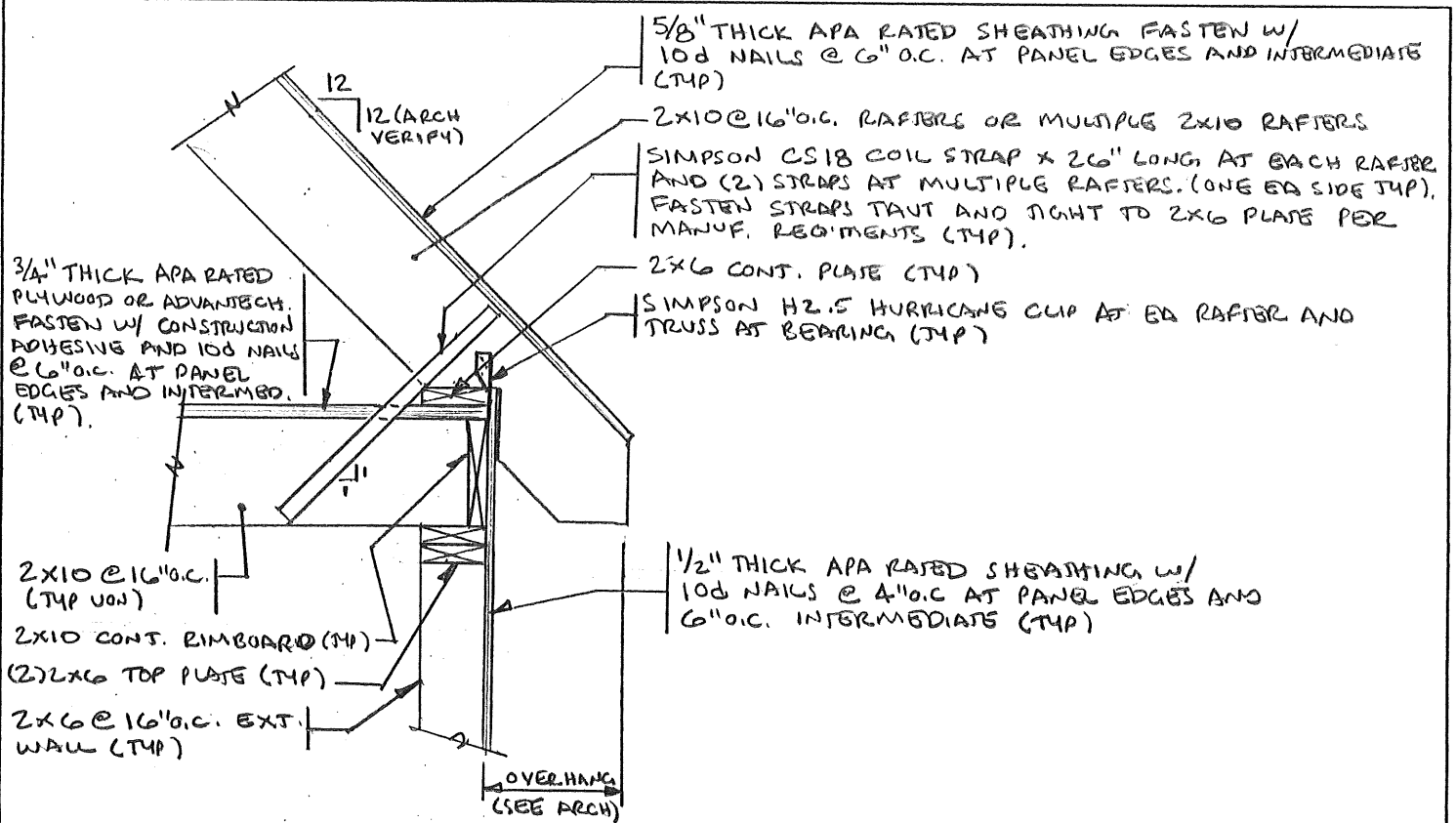
ROOF FRAMING PLAN

**L & L STRUCTURAL
ENGINEERING SERVICES, INC.**

SIX Q STREET
SOUTH PORTLAND, MAINE 04106

PHONE: (207) 787-4830
FAX: (207) 788-8432
EMAIL: LLENG@AOL.COM

S8



SECTION 1
 $\frac{3}{4}'' = 1'-0''$ S7458

designed by:	JHL
drawn by:	JHL
checked by:	MFL
scale:	NOTED
date:	7/18/03

THE BATES - UNIVERSITY PARK
 HARVARD STREET
 PORTLAND, MAINE

SECTIONS AND DETAILS.

L & L STRUCTURAL
 ENGINEERING SERVICES, INC.
 SIX Q STREET
 SOUTH PORTLAND, MAINE 04106

PHONE: (207) 767-4830
 FAX: (207) 788-5432
 EMAIL: LLENG@AOL.COM

59

YALE STREET
LOT 2, PORTLAND, ME

Beam for Garage Deck

Date: 9/08/03 BeamChek 2.2

Choice

W 14x 26 A36 Wide Flange Steel Lateral Support at: Lc = 5.3 ft max.

Conditions

Actual Size is 5 x 13-7/8 in.,
Min Bearing Length R1= 0.9 in. R2= 0.9 in. DL Defl 0.11 in Suggested Camber 0.16 in

Data

Beam Span	22.0 ft	Reaction 1	5566 #	Reaction 1 LL	3960 #
Beam Wt per ft	26.0 #	Reaction 2	5566 #	Reaction 2 LL	3960 #
Beam Weight	572 #	Maximum V	5566 #		
Max Moment	30613 #'	Max V (Reduced)	N/A		
TL Max Defl	L / 240	TL Actual Defl	L / 704		
LL Max Defl	L / 360	LL Actual Defl	L / 990		

Attributes

	Section (in ²)	Shear (in ²)	TL Defl (in)	LL Defl
Actual	35.30	3.55	0.37	0.27
Critical	15.46	0.39	1.10	0.73
Status	OK	OK	OK	OK
Ratio	44%	11%	34%	36%

Values

	Fb (psi)	Fv (psi)	E (psi x mil)
Base Value Fy	36000	36000	29.0
Base Adjusted	23760	14400	29.0

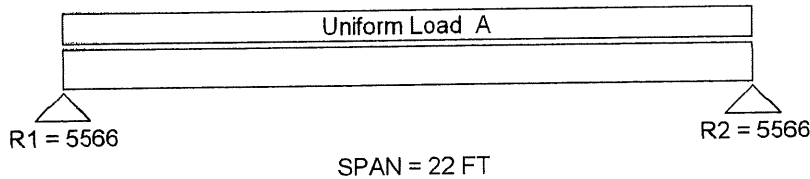
Adjustments

YP Factor, Lc	0.66	0.40	
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BeamChek has automatically added the beam self-weight into the calculations.

Loads

Uniform TL: 480 = A Uniform LL: 360



Uniform and partial uniform loads are lbs per lineal ft.



**YALE STREET - GARAGE HEADER
LOT 2, PORTLAND, ME**

Garage Door Header

Date: 9/08/03

BeamChek 2.2

Choice

W 12x 22 A36 Wide Flange Steel

Lateral Support at: Lc = 4.3 ft max.

Conditions

Actual Size is 4 x 12-1/4 in.,

Min Bearing Length R1= 0.9 in. R2= 0.9 in. DL Defl 0.11 in Suggested Camber 0.16 in

Data

Beam Span	18.0 ft	Reaction 1	7758 #	Reaction 1 LL	5940 #
Beam Wt per ft	22.0 #	Reaction 2	7758 #	Reaction 2 LL	5940 #
Beam Weight	396 #	Maximum V	7758 #		
Max Moment	34911 #	Max V (Reduced)	N/A		
TL Max Defl	L / 240	TL Actual Defl	L / 481		
LL Max Defl	L / 360	LL Actual Defl	L / 628		

Attributes

	Section (in ³)	Shear (in ²)	TL Defl (in)	LL Defl
Actual	25.40	3.20	0.45	0.34
Critical	17.63	0.54	0.90	0.60
Status	OK	OK	OK	OK
Ratio	69%	17%	50%	57%

Values

	Fb (psi)	Fv (psi)	E (psi x mil)
Base Value Fy	36000	36000	29.0
Base Adjusted	23760	14400	29.0

Adjustments

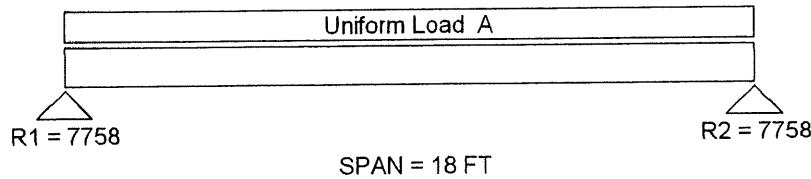
YP Factor, Lc	0.66	0.40	
---------------	------	------	--

BeamChek has automatically added the beam self-weight into the calculations.

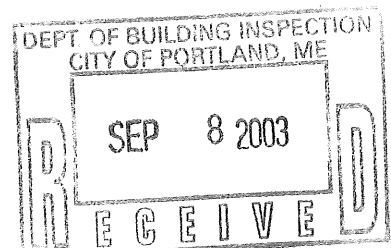
Loads

Uniform TL: 840 = A

Uniform LL: 660



Uniform and partial uniform loads are lbs per lineal ft.

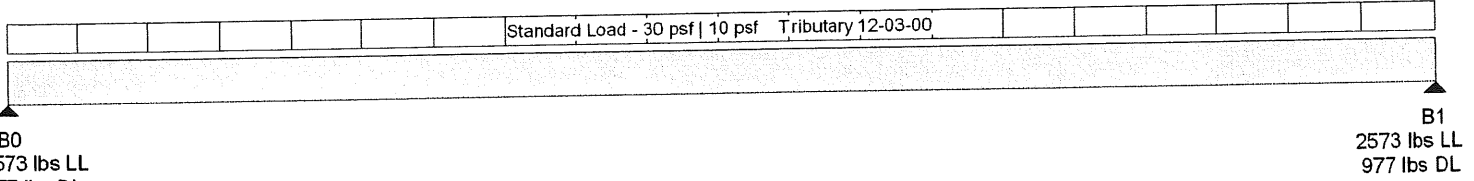


Single 7" x 9 1/2" VERSA-LAM® 3080 DF

Job Name: YALE STREET
 Address: LOT 2
 City, State, Zip: PORTLAND, ME
 Customer:
 Code reports: ICBO 5663, NER 442

over kitchen

File Name: BC CALC Project : FB01
 Description:
 Specifier:
 Designer: MB
 Company: Hancock Lumber
 Misc:



General Data

Version: US Imperial
 Member Type: Floor Beam
 Number of Spans: 1
 Left Cantilever: No
 Right Cantilever: No
 Slope: 0/12
 Tributary: 12-03-00

Live Load: 30 psf
 Dead Load: 10 psf
 Partition Load: 0 psf
 Duration: 100

Disclosure

The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application. The output above is based upon building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with the current Installation Guide and the applicable building codes. To obtain an Installation Guide or if you have any questions, please call (800)232-0788 before beginning product installation.

BC CALC®, BC FRAMER®, BCI®, BC RIM BOARD™, BC OSB RIM BOARD™, BOISE GLULAM™, VERSA-LAM®, VERSA-RIM®, VERSA-RIM PLUS®, VERSA-STRAND™, VERSA-STUD®, ALLJOIST® and AJS™ are trademarks of Boise Cascade Corporation.

Load Summary

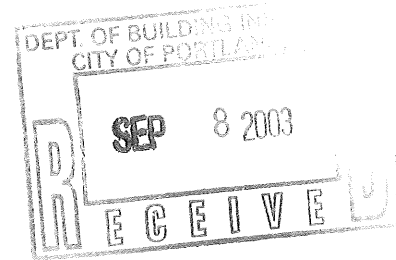
ID	Description	Load Type	Ref.	Start	End	Type	Value	Trib.	Dur.
S	Standard Load	Unf. Area	Left	00-00-00	14-00-00	Live	30 psf	12-03-00	100%
						Dead	10 psf	12-03-00	90%

Controls Summary

Control Type	Value	% Allowable	Duration	Load Case	Span Location
Moment	12424 ft-lbs	44.8%	100%	2	1 - Internal
Neg. Moment	0 ft-lbs	n/a	100%		
End Shear	3148 lbs	24.9%	100%	2	1 - Left
Total Load Defl.	L/383 (0.438")	62.6%		2	1
Live Load Defl.	L/529 (0.318")	68.0%		2	1
Max Defl.	0.438"	43.8%		2	1

Notes

Design meets Code minimum (L/240) Total load deflection criteria.
 Design meets Code minimum (L/360) Live load deflection criteria.
 Design meets arbitrary (1") Maximum load deflection criteria.
 Minimum bearing length for B0 is 1-1/2".
 Minimum bearing length for B1 is 1-1/2".
 Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing



$24 \times 24 = 576 \text{ sq ft} \times 1.66 = 380.16 \text{ sq ft}$ MAX on 2nd floor
to use 1/2 story setback

$15 \times 24 = 360$

$4.5 \times 10 = 45$

405 sq ft

OVER
considered 2 stories

↑
my CALCS.



typical right side elevation

**TABLE 1003.1
SUMMARY OF REQUIREMENTS FOR MASONRY FIREPLACES AND CHIMNEYS**

NOTE: This table provides a summary of major requirements for the construction of masonry chimneys and fireplaces. Letter references are to Figure 1003.1, which shows examples of typical construction. This table does not cover all requirements, nor does it cover all aspects of the indicated requirements. For the actual mandatory requirements of the code, see the indicated section of text.

ITEM	LETTER	REQUIREMENTS	
		Summary	See Section
Hearth and hearth extension thickness	A	4-inch minimum thickness for hearth.	1003.9.1
		2-inch minimum thickness for hearth extension.	1003.9.2
Hearth extension (each side of opening)	B	8 inches for fireplace opening less than 6 square feet.	1003.10
		12 inches for fireplace opening greater than or equal to 6 square feet.	
Hearth extension (front of opening)	C	16 inches for fireplace opening less than 6 square feet.	1003.10
		20 inches for fireplace opening greater than or equal to 6 square feet.	
Hearth and hearth extension reinforcing	D	Reinforced to carry its own weight and all imposed loads.	1003.9
Firebox dimensions	E	20-inch minimum firebox depth.	1003.11
		12-inch minimum firebox depth for Rumford fireplaces.	
Thickness of wall of firebox	F	10 inches solid masonry or 8 inches where firebrick lining is used.	1003.5
Distance from top of opening to throat	G	8 inches minimum.	1003.7
Smoke chamber	H	6 inches lined; 8 inches unlined.	1003.8
Wall thickness Dimensions		Not taller than opening width; walls not inclined more than 45 degrees from vertical for prefabricated smoke chamber linings or 30 degrees from vertical for corbeled masonry.	1003.8.1
Chimney vertical reinforcing ^a	I	Four No. 4 full-length bars for chimney up to 40 inches wide. Add two No. 4 bars for each additional 40 inches or fraction of width, or for each additional flue.	1003.3.1
Chimney horizontal reinforcing ^a	J	1/4-inch ties at each 18 inches, and two ties at each bend in vertical steel.	1003.3.2
Fireplace lintel	K	Noncombustible material with 4-inch load-bearing length of each side of opening.	1003.7
Chimney walls with flue lining	L	4-inch-thick solid masonry with liner.	1001.7;
		1/2-inch grout or airspace between liner and wall.	1001.9
Effective flue area (based on area of fireplace opening and chimney)	M	See Section 1001.12.	1001.12
Clearances	N	2 inches interior, 1 inch exterior.	1001.15
From chimney		2 inches front, back or sides.	1003.12
From fireplace		6 inches from opening.	1003.13
Combustible trim or materials		3 feet above roof penetration, 2 feet above part of structure within 10 feet.	1001.6
Above roof			
Anchorage ^a	O	3/16 inch by 1 inch.	1003.4
Strap		Two.	
Number		12 inches hooked around outer bar with 6-inch extension.	
Embedment into chimney		Four joists.	
Fasten to		Two 1/2-inch diameter.	
Bolts			
Footing	P	12-inch minimum.	1003.2
Thickness		6 inches each side of fireplace wall.	
Width			

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 square foot = 0.0929 m², 1 degree = 0.01745 rad.

^a Required only in Seismic Zones 3 and 4.

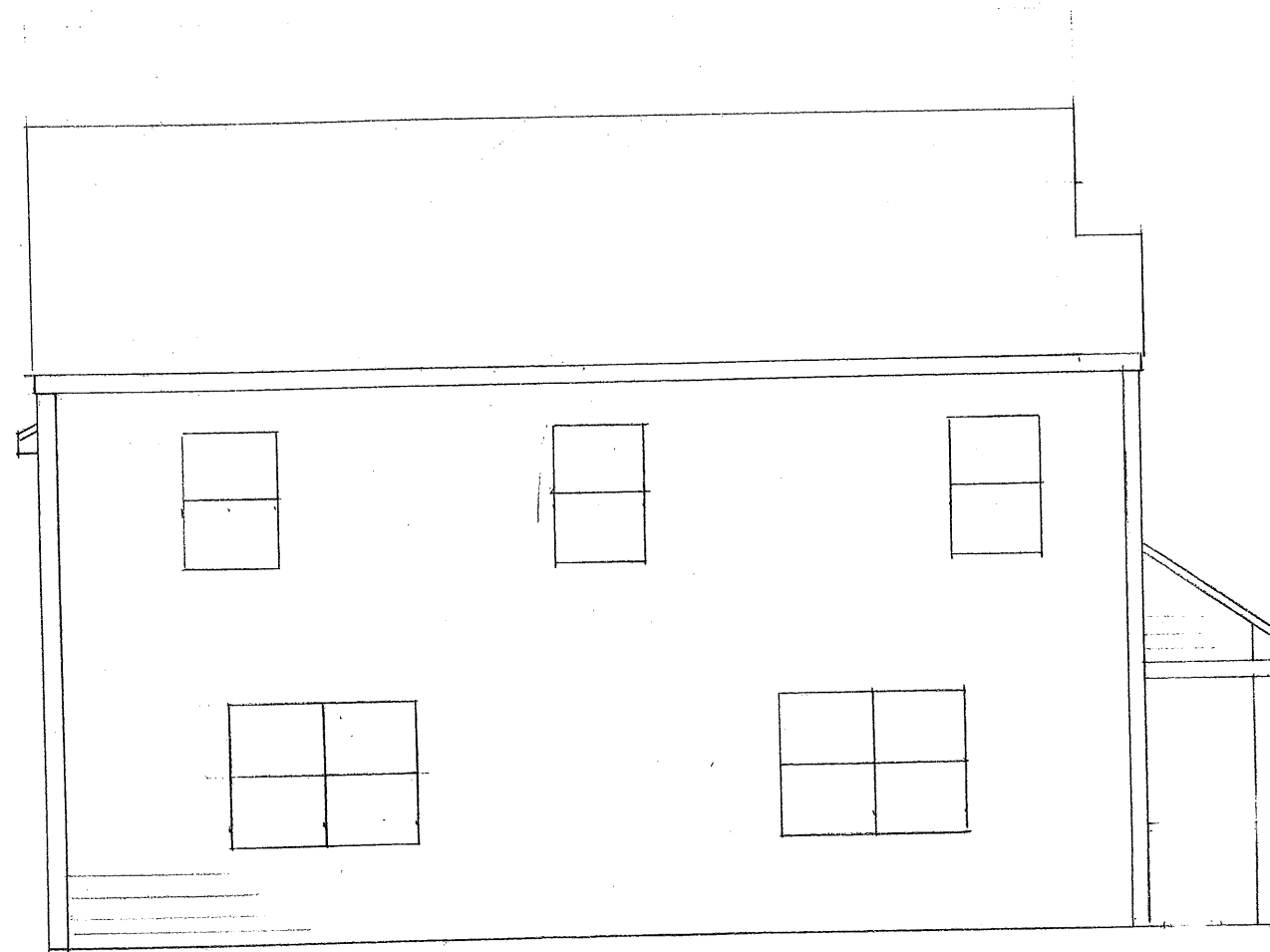


FRONT ELEVATION

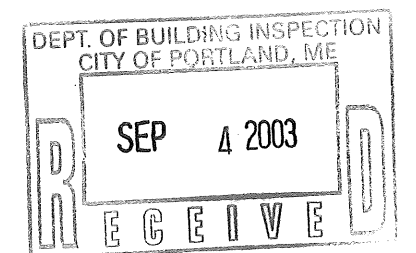
*See Revision
9/8/03*

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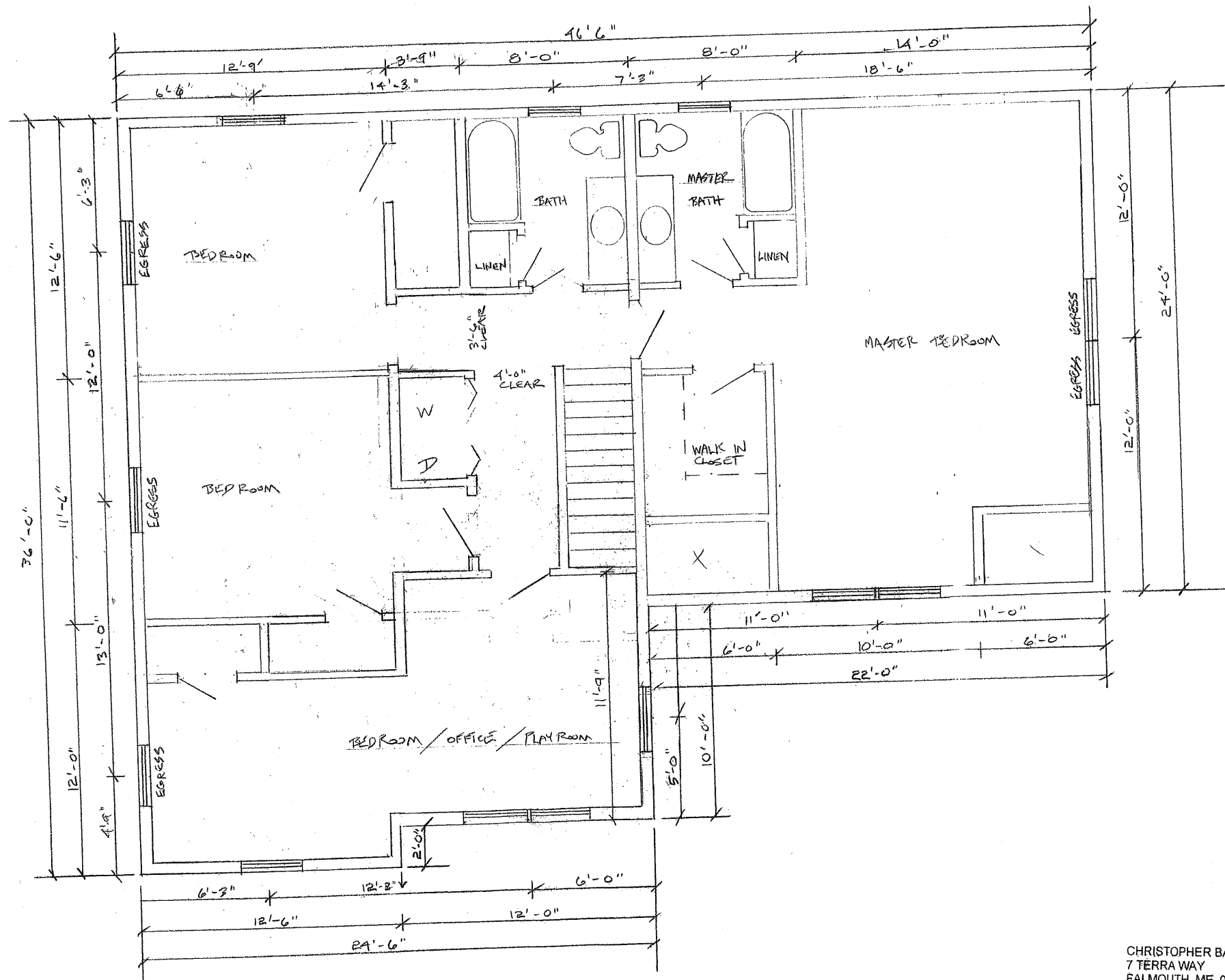
CHRISTOPHER BALLARD INC
7 TERRA WAY
FALMOUTH, ME 04105



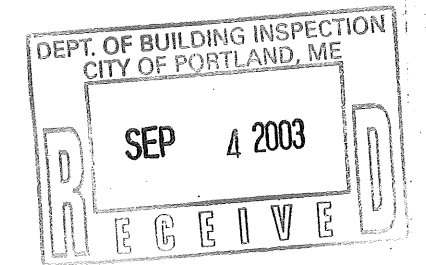
LEFT ELEVATION



CHRISTOPHER BALLARD INC
7 TERRA WAY
FALMOUTH, ME 04105

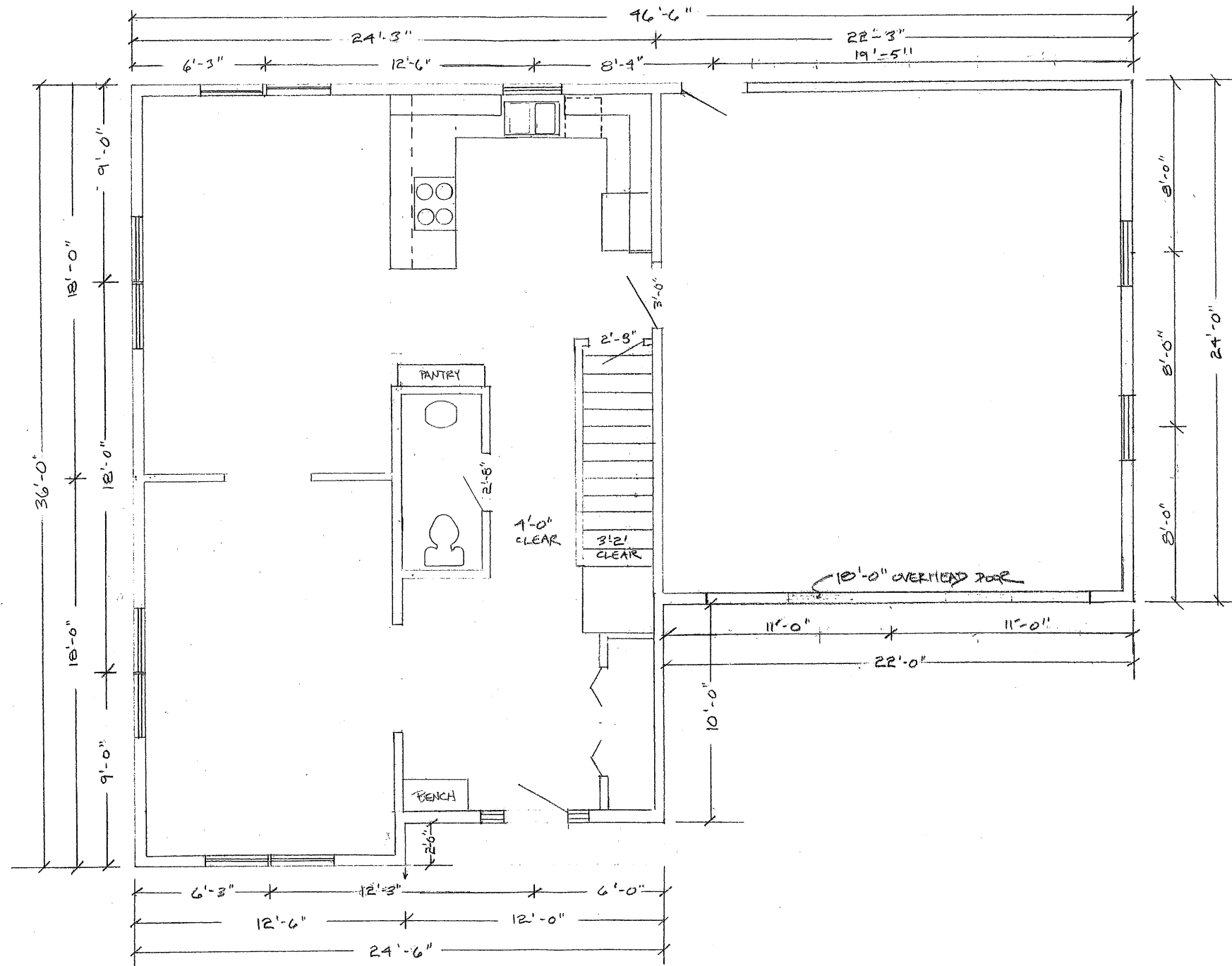


1st FLOOR PLAN

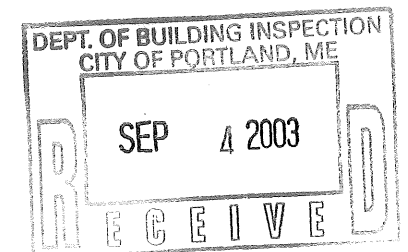


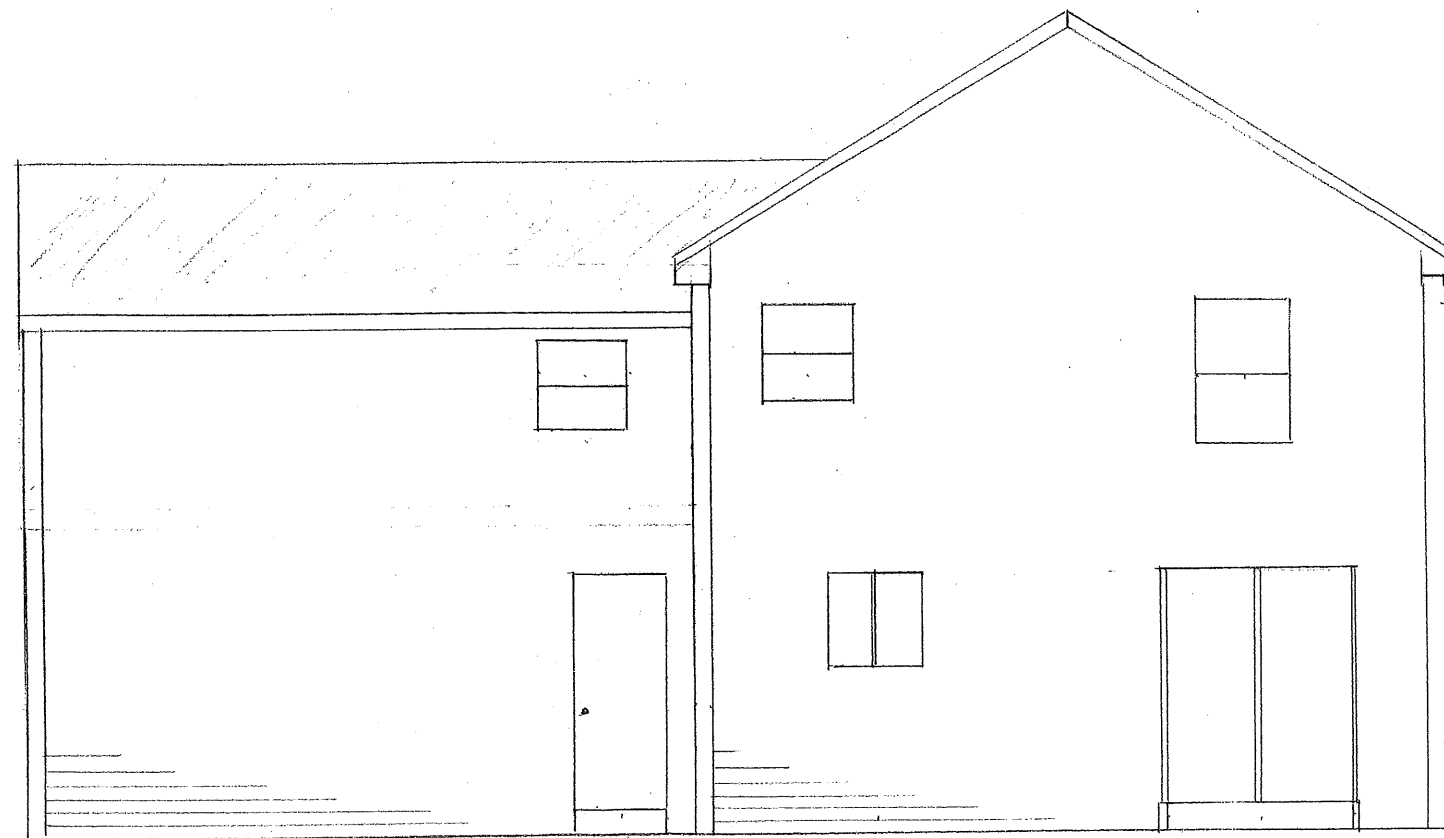
CHRISTOPHER BALLARD INC
7 TERRA WAY
FALMOUTH, ME 04106

CHRISTOPHER BALLARD INC
7 TERRA WAY
FALMOUTH, ME 04105

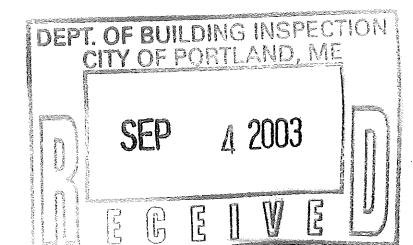


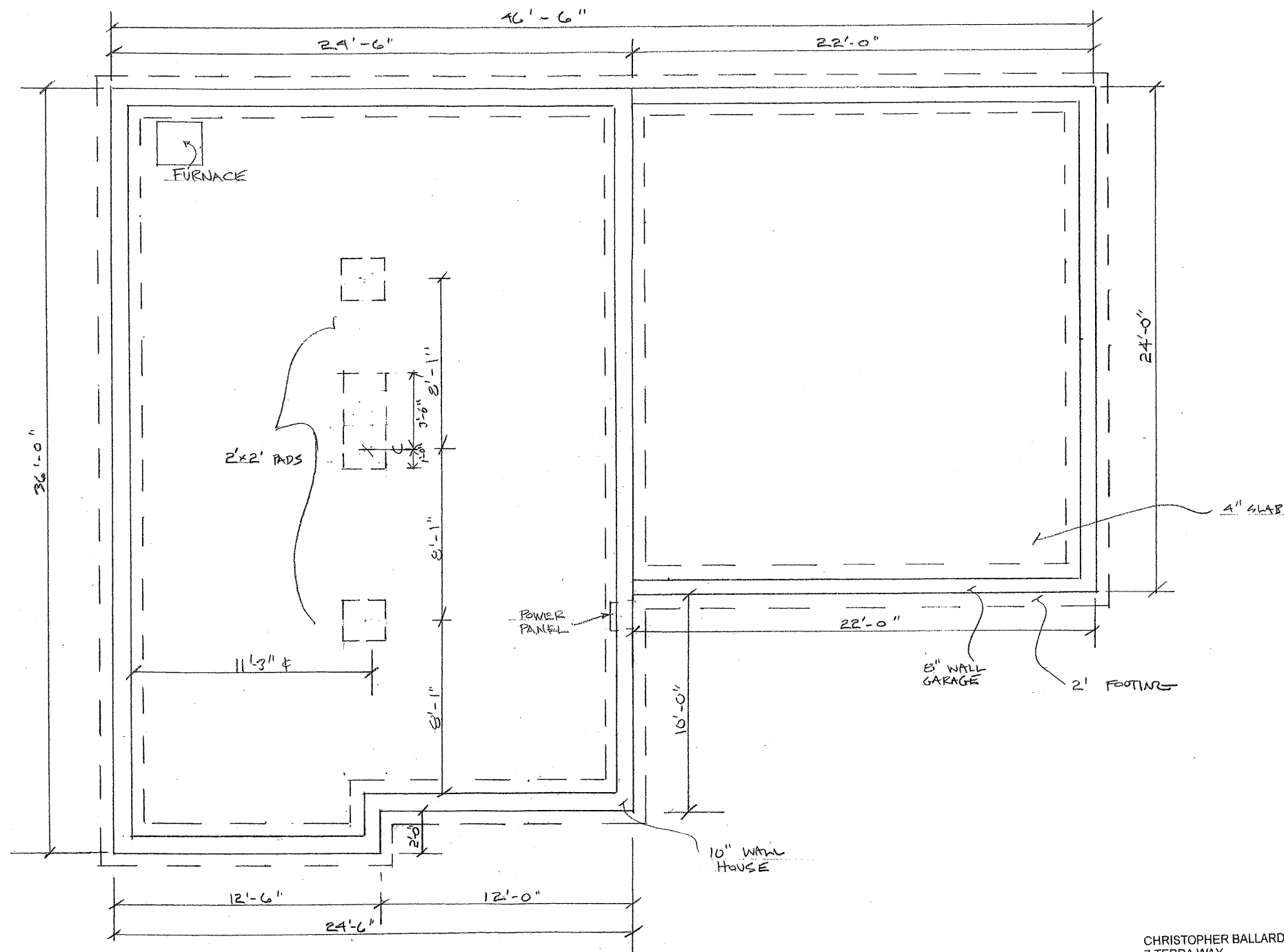
2ND FLOOR PLAN





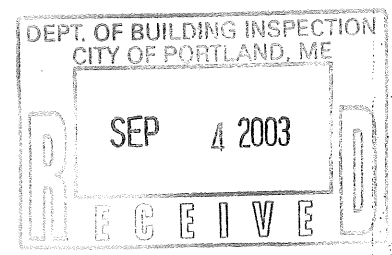
REAR ELEVATION

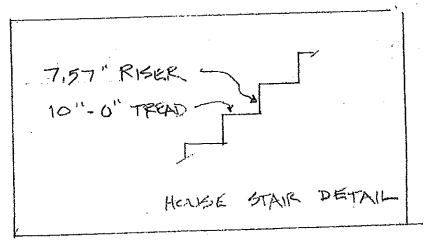
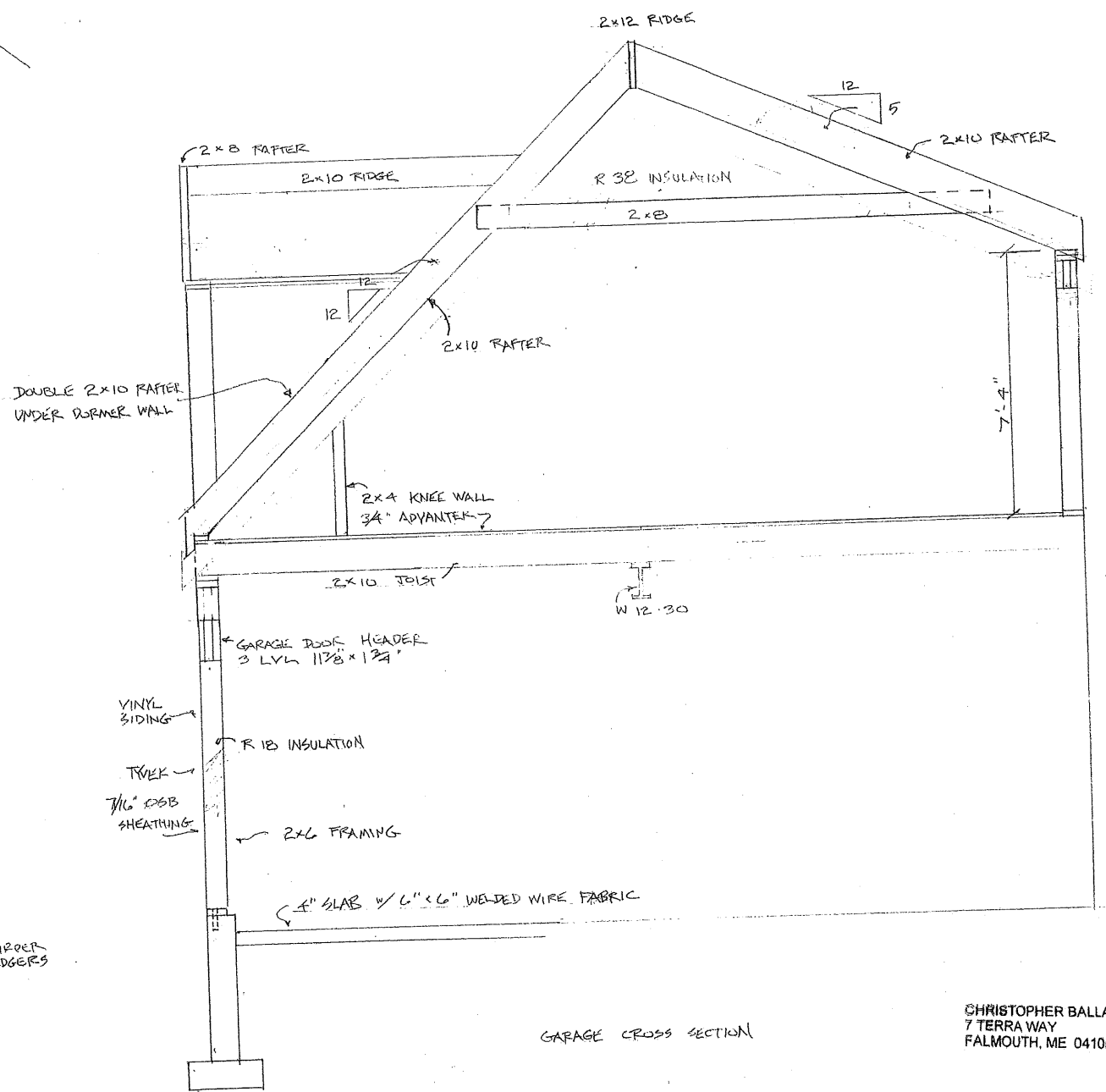
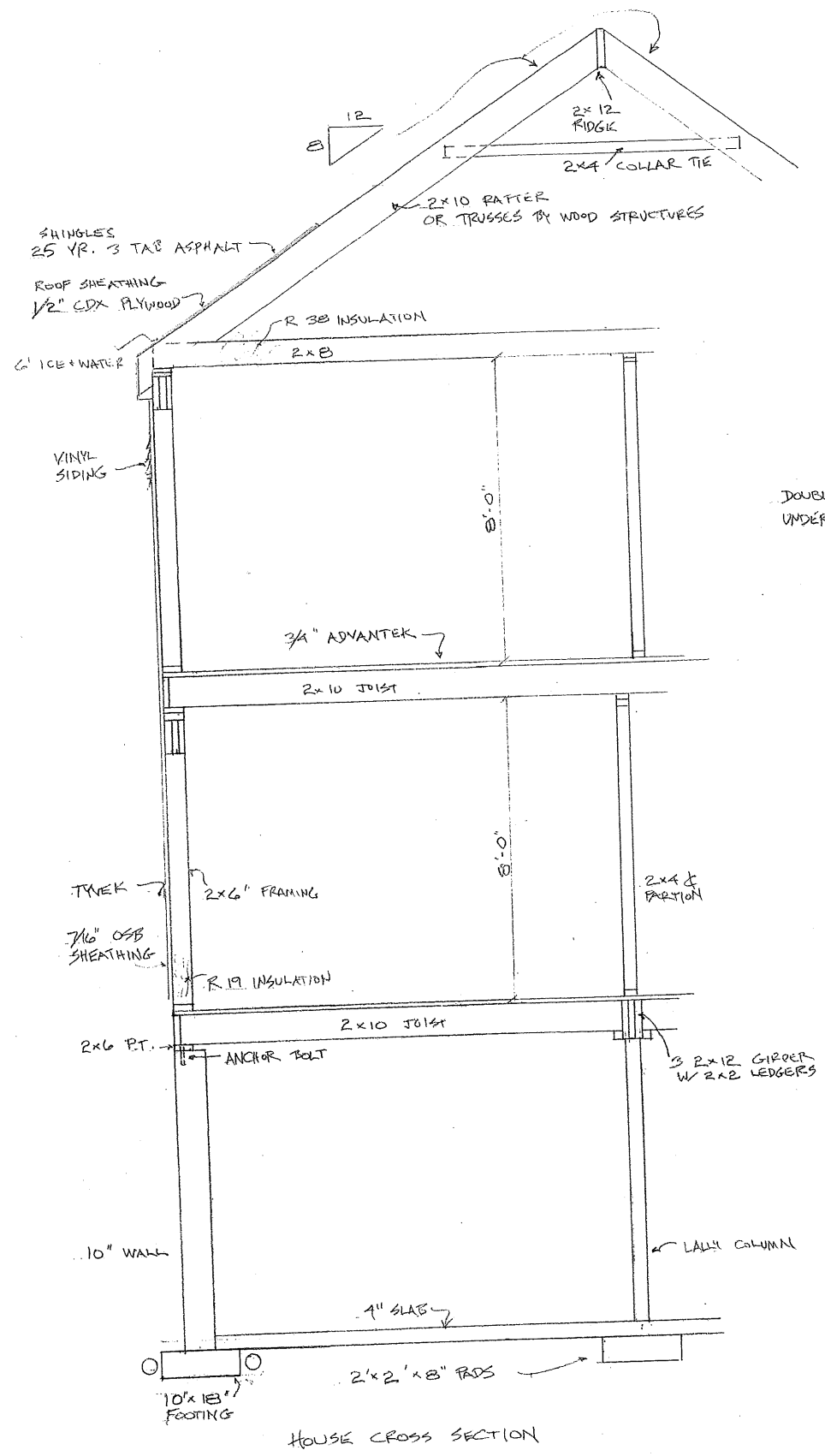




FOUNDATION PLAN

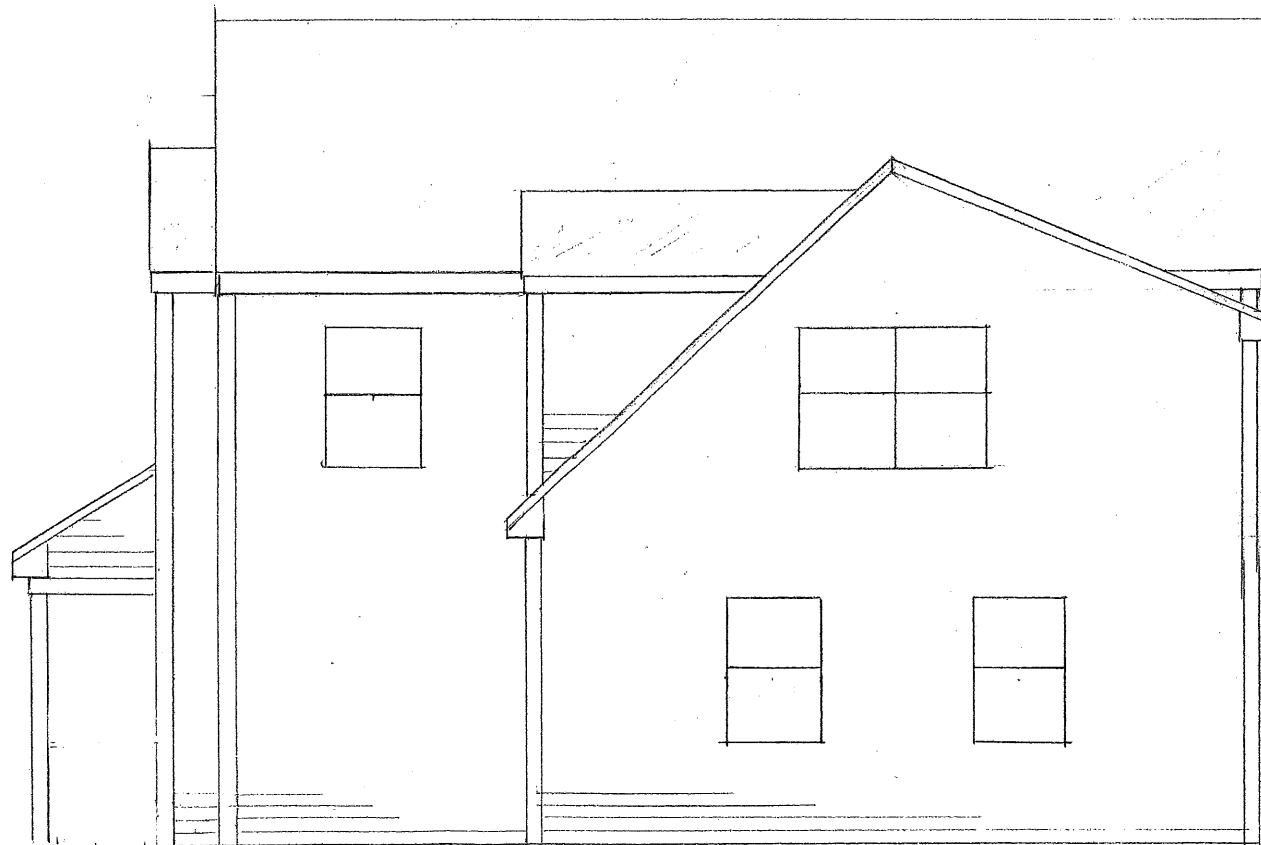
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 7 TERRA WAY
 FALMOUTH, ME 04105



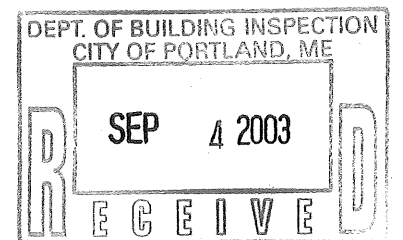


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7 TERRA WAY
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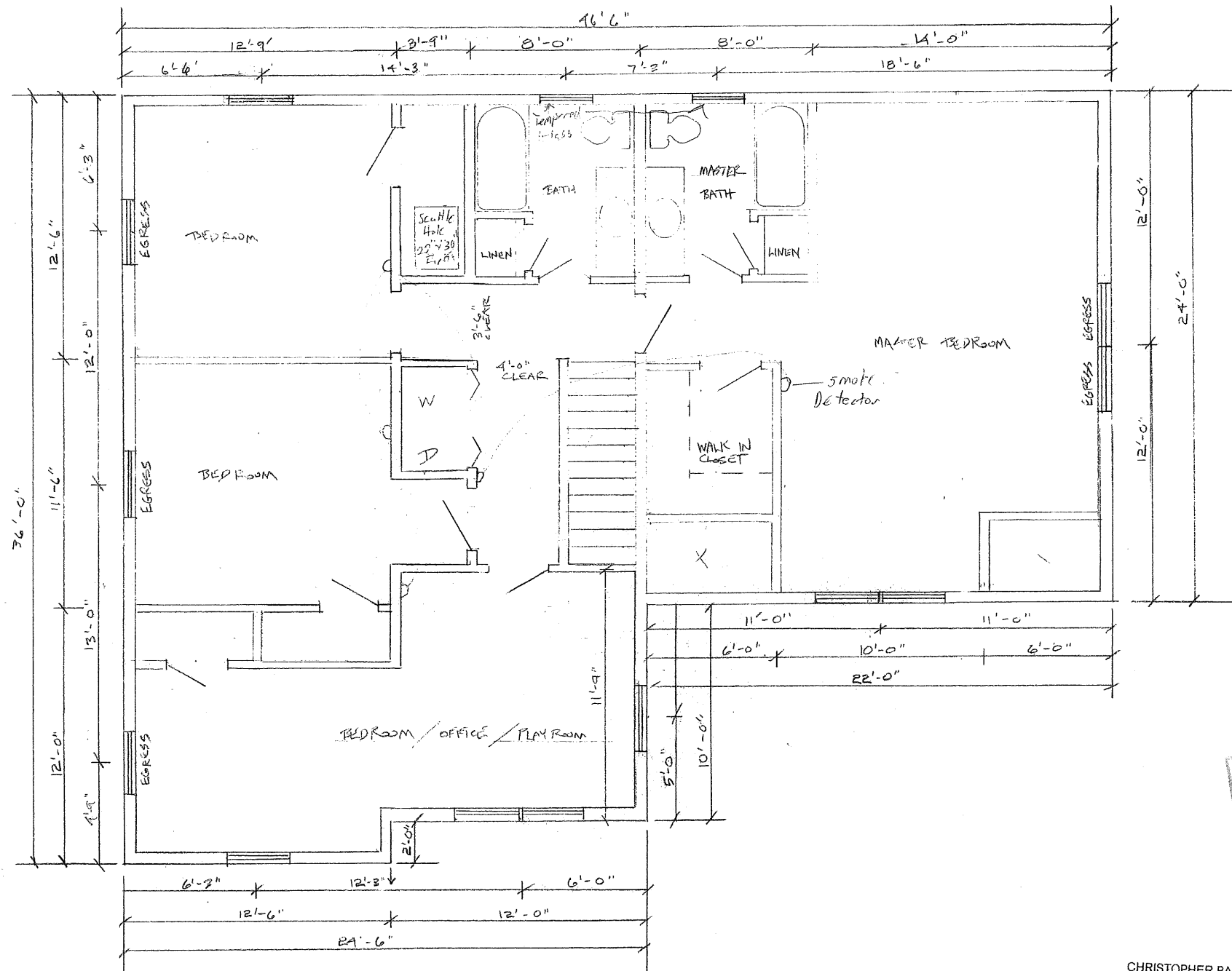
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CITY OF PORTLAND, ME
SEP 2 2003
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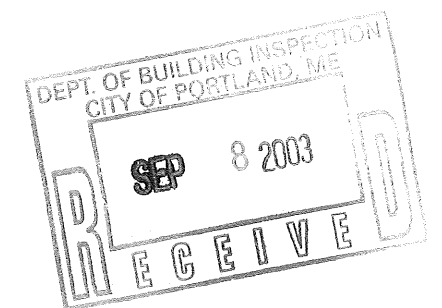
RIGHT ELEVATION



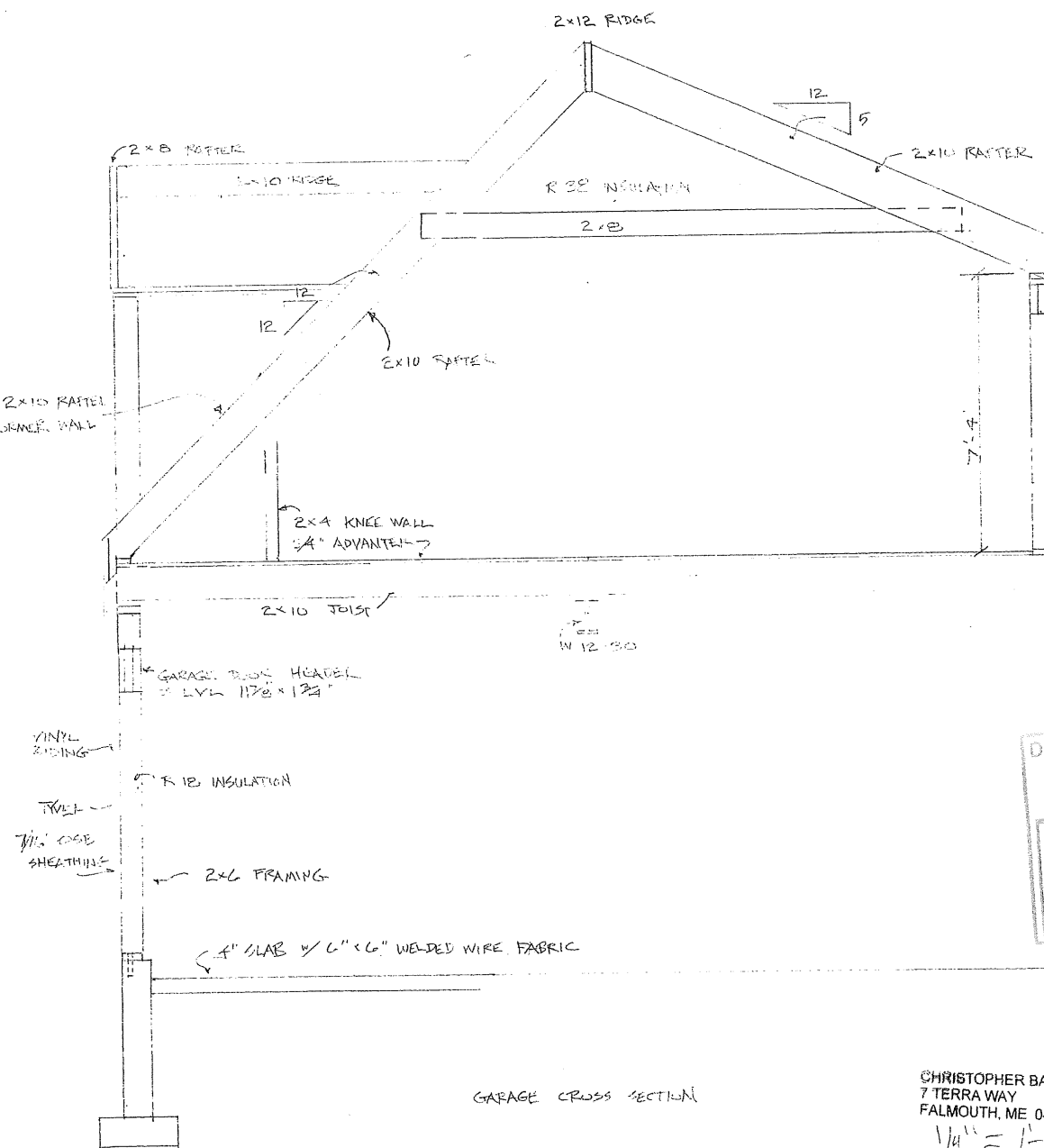
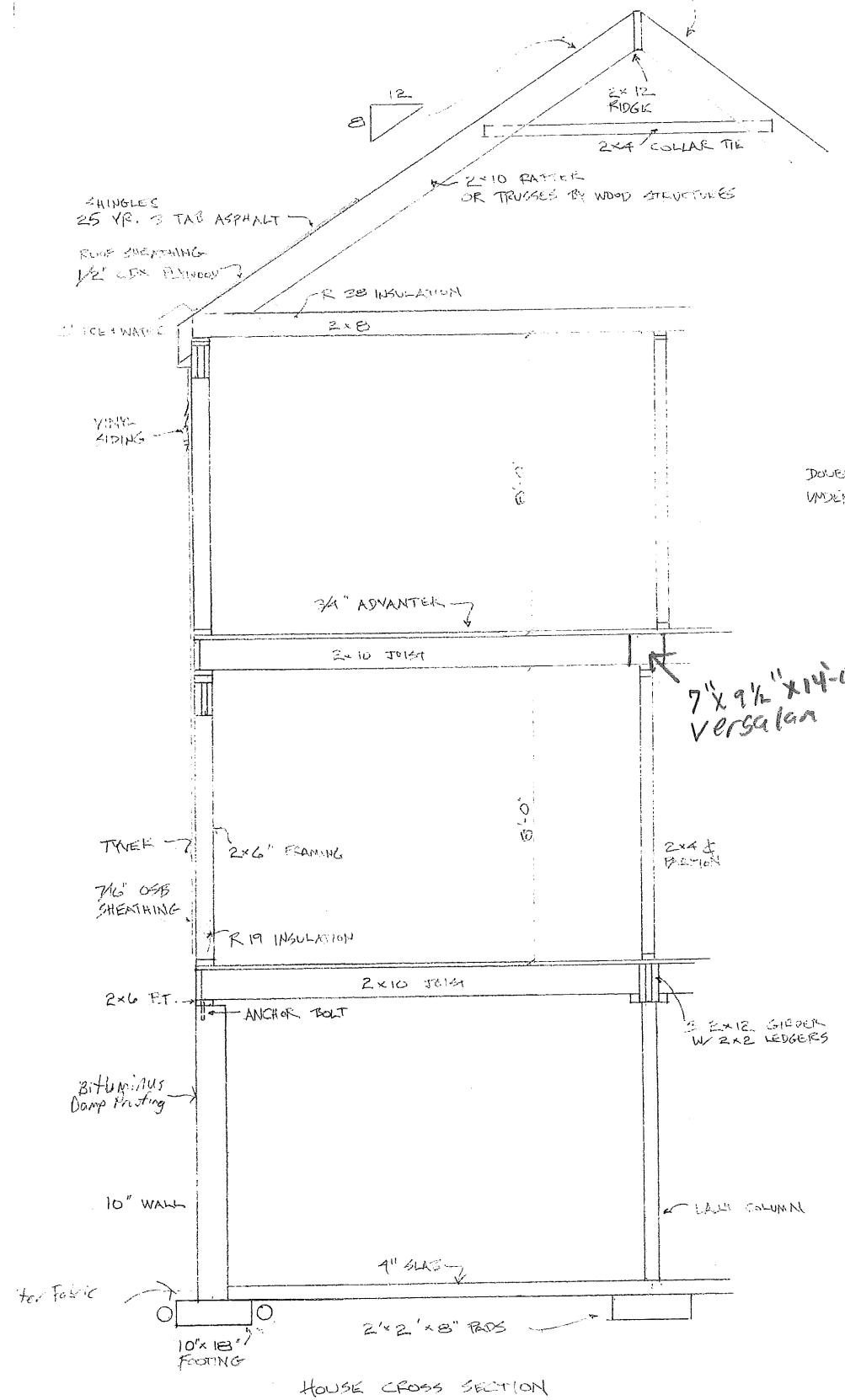
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7 TERRA WAY
FALMOUTH, ME 04105



2ND FLOOR PLAN 1/4" = 1'-0"

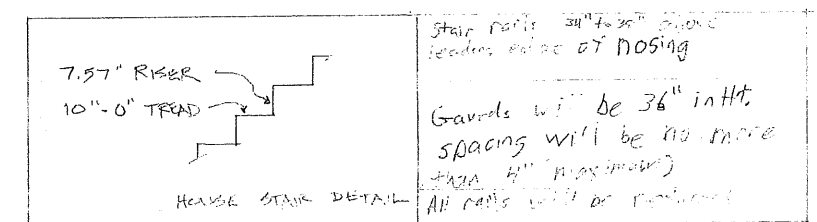


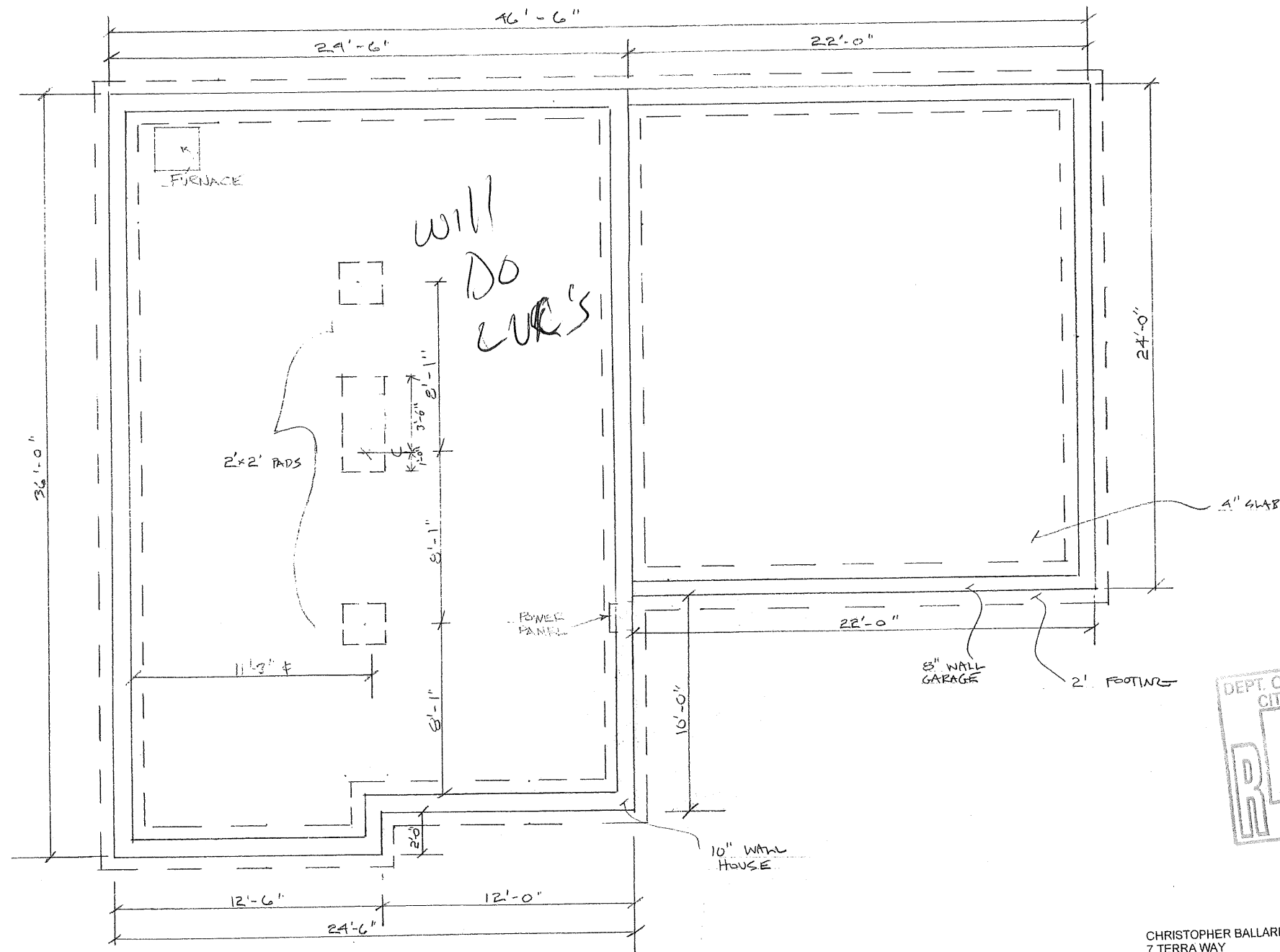
CHRISTOPHER BALLARD INC
 7 TERRA WAY
 FALMOUTH, ME 04105



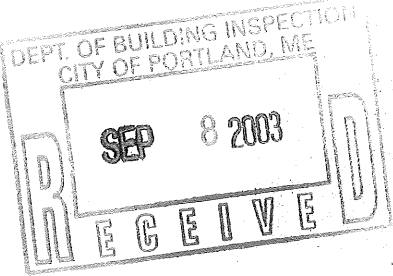
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CITY OF PORTLAND, ME
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CHRISTOPHER BALLARD INC
7 TERRA WAY
FALMOUTH, ME 04105
1/4" = 1'-0"





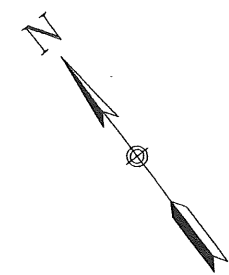
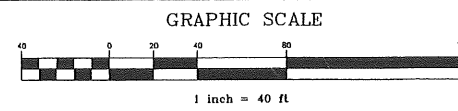
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DO
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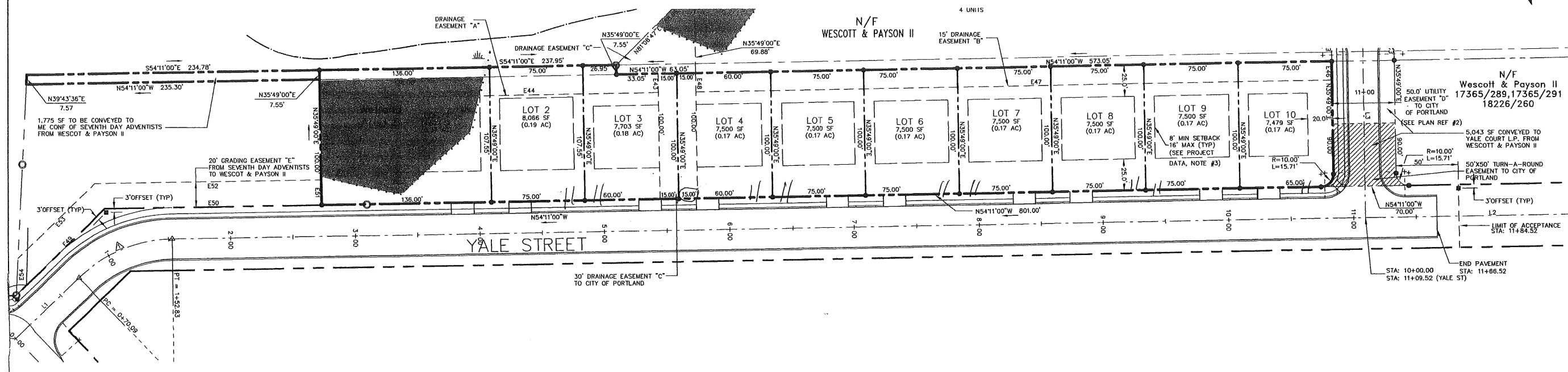
FOUNDATION PLAN

CHRISTOPHER BALLARD INC
7 TERRA WAY
FALMOUTH, ME 04105

1/4" = 1'-0"



TUC
 TOWN & COUNTRY
 URBAN CONSULTANTS
 1000 BANGS AVENUE
 PORTLAND, MAINE 04105
 PHONE (207) 878-3313
 FAX (207) 878-3314



AMENDED SUBDIVISION PLAN
 TO PLAN OF LOTS AT UNIVERSITY PARK
 PORTLAND, MAINE
 PREPARED FOR RECORD OWNER
 WESCOTT & PAYSON II
 240 HARVARD STREET, PORTLAND, ME 04103

PROJECT DATA:

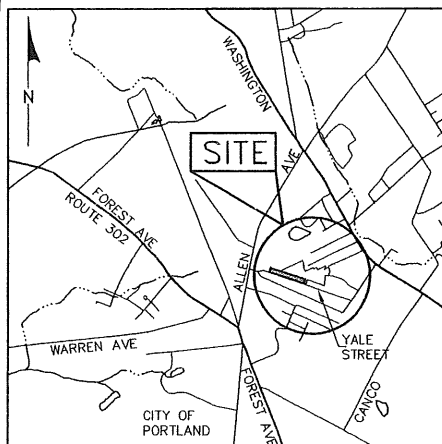
- PROPERTY IS LOCATED IN THE R-3 RESIDENTIAL ZONE WHICH PERMITS MEDIUM DENSITY SINGLE FAMILY DWELLINGS ON INDIVIDUAL LOTS AND PLANNED RESIDENTIAL UNIT DEVELOPMENTS (PRUD) OF HORIZONTALLY ATTACHED DWELLING UNITS.
- PARCEL ACREAGE: 1.90 AC
- SPACE & BULK REGULATIONS: R-3 RESIDENTIAL ZONE - SINGLE FAMILY

REQUIRED	PROVIDED
MIN LOT AREA	6,500 SF
MIN STREET FRONTAGE	50'
MIN FRONT & REAR YARD	25'
MIN SIDE YARD	

1. 5 STORY = 8'
 2. 5 STORY = 14'
 2. 5 STORY = 16'

(REFER TO ZONING ORDINANCE FOR ACCESSORY STRUCTURES & SWIMMING POOLS)

 - MAX BUILDING HEIGHT 35'
 - MAX LOT COVERAGE 25%
 - MIN LOT WIDTH 75'
- NO PART OF THIS PROJECT FALLS WITHIN THE F.E.M.A. 100 YEAR FLOOD HAZARD ZONE.



LOCUS
SCALE: 1"=2000'

PLAN REFERENCES:

- THIS PLAN REFERENCES PLAN ENTITLED "STANDARD BOUNDARY SURVEY, YALE STREET, BERRY AVENUE AND CHESLEY AVENUE, PORTLAND, MAINE", MADE FOR WESCOTT & PAYSON II, BY TITCOMB ASSOCIATES, DATED 6/12/02, RECORDED 11-22-02, PLAN BOOK 202, PAGE 693.
- REFER TO PLAN ENTITLED "SUBDIVISION RECORDING PLAT (PRUD), YALE COURT, YALE STREET, PORTLAND, MAINE", MADE FOR YALE COURT L.P., BY LAND USE CONSULTANTS, INC., DATED 9/30/02 AND REVISED 12/20/02.

OWNERSHIP RECORD:

NOW OR FORMERLY WESCOTT & PAYSON II, PLAN BOOK/PAGE 17365/289, 17365/291 AND 18226/260.

CERTIFICATION:

THIS SURVEY CONFORMS TO THE CURRENT STANDARDS OF THE MAINE STATE BOARD OF LICENSURE FOR LAND SURVEYORS EXCEPT AS NOTED:

- EXCEPTIONS
- NO PINS SET AS OF PLAN DATE
 - NO REPORT WRITTEN
 - NO DESCRIPTION WRITTEN

REX J. CROTEAU, PLS #2273

WAIVERS:

APPLICANT HAS REQUESTED A WAIVER FOR CONSTRUCTION OF SIDEWALK ON SOUTH SIDE OF YALE STREET.

LEGEND

EXISTING	PROPOSED
CONTOUR	CONTOUR
SPOT GRADE	SPOT GRADE
ROW	ROW
PROPERTY LINE	PROPERTY LINE
ROADWAY CENTERLINE	ROADWAY CENTERLINE
BUILDING SETBACK	BUILDING SETBACK
EDGE OF PAVEMENT	EDGE OF PAVEMENT
BIT CURB	BIT CURB
VERTICAL GRANITE CURB	VERTICAL GRANITE CURB
CAPE COD BIT CURB	CAPE COD BIT CURB
BUILDING	BUILDING
SANITARY SEWER	SANITARY SEWER
STORM DRAIN	STORM DRAIN
WATER MAIN	WATER MAIN
GAS SERVICE	GAS SERVICE
ETTV	ETTV
CATCH BASIN	CATCH BASIN
MANHOLE	MANHOLE
HYDRANT	HYDRANT
GATE VALVE	GATE VALVE
SIDEWALK RAMP	SIDEWALK RAMP
POLE LIGHT - 'B' TYPE	POLE LIGHT - 'B' TYPE
POLE LIGHT - 'A' TYPE	POLE LIGHT - 'A' TYPE
UTILITY POLE	UTILITY POLE
IRON PIN FOUND	IRON PIN FOUND
FOUND GRANITE MONUMENT TO BE SET GRANITE MONUMENT	FOUND GRANITE MONUMENT TO BE SET GRANITE MONUMENT
TO BE SET REBAR W/ CAP	TO BE SET REBAR W/ CAP
WETLANDS	WETLANDS

SPECIAL NOTES:

- PER CITY OF PORTLAND, MAINE CODE OF ORDINANCES, SECTION 14-493, LAND USE CHAPTER 14, REV. 2-21-01: "A SUBDIVISION SHALL MEAN THE DIVISION OF A LOT, TRACT, OR PARCEL OF LAND, INTO THREE (3) OR MORE LOTS, INCLUDING LOTS OF FORTY (40) ACRES OR MORE, WITHIN ANY FIVE-YEAR PERIOD WHETHER ACCOMPLISHED BY SALE, LEASE, DEVELOPMENT, BUILDINGS OR OTHERWISE AND AS FURTHER DEFINED IN 30-A M.R.S.A. SECTION 4401. THE TERM SUBDIVISION SHALL ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OF STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD AND THE DIVISION OF AN EXISTING STRUCTURE OR STRUCTURES PREVIOUSLY USED FOR COMMERCIAL OR INDUSTRIAL USE INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSES OF THIS PARAGRAPH. A DWELLING UNIT SHALL INCLUDE ANY PART OF A STRUCTURE WHICH, THROUGH SALE OR LEASE, IS INTENDED FOR HUMAN HABITATION, INCLUDING SINGLE-FAMILY AND MULTIFAMILY HOUSING CONDOMINIUMS, TIME-SHARE UNITS AND APARTMENTS."
 - BUILDING WINDOWS SHOWN ON THIS PLAN FOR LOTS 1 THROUGH 10 REPRESENT THE MAXIMUM BUILDING AREA WINDOW FOR HOUSES. SIDE YARD SETBACKS MAY NEED TO BE INCREASED PER ZONING REQUIREMENTS FOR R-3 RESIDENTIAL ZONE BASED UPON PROPOSED CONSTRUCTION AND SHALL BE APPROVED BY CITY OF PORTLAND CODE ENFORCEMENT OFFICE.
 - EACH LOT SHALL REQUIRE THE SUBMISSION OF A SITE PLAN FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, AND SHALL BE SUBJECT TO REVIEW PURSUANT TO ARTICLE V OF CHAPTER 14 OF THE PORTLAND CITY CODE.
 - A MINIMUM OF TWO TREES SHALL BE CONSERVED OR PLANTED BY THE DEVELOPER ON EACH LOT IN ACCORDANCE WITH THE CITY OF PORTLAND ARBORIST SPECIFICATIONS, LOCATED IN THE FRONT OF EACH LOT. LOCATION AND SPECIES MAY VARY, BUT SHALL BE APPROVED BY THE CITY OF PORTLAND ARBORIST. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN ULTIMATELY LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH THE CITY ORDINANCES AND APPROVALS. SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVERABLE BY THE DEVELOPER.
 - MINIMUM ELEVATIONS FOR THE PROPOSED BUILDING SILL SHALL BE AS DEPICTED ON THIS PLAN. THE LOWEST BUILDING SILL ELEVATION SHALL BE CALCULATED AS AN ELEVATION DETERMINED TO BE A MINIMUM OF TWO FEET ABOVE THE ROAD CENTERLINE ELEVATION. THE LOWEST BUILDING OR FOUNDATION OPENING SHALL BE CALCULATED AS AN ELEVATION A MINIMUM OF SIX INCHES ABOVE THE ROAD CENTERLINE ELEVATION AND SHALL BE AS DEPICTED ON THIS PLAN. MODIFICATIONS TO THE MINIMUM BUILDING SILL ELEVATIONS OR MINIMUM BUILDING OPENING ELEVATIONS AS INDICATED ON THIS PLAN SHALL BE APPROVED BY THE CITY OF PORTLAND PLANNING AUTHORITY UNDER SITE PLAN REVIEW PRIOR TO ISSUANCE OF A BUILDING PERMIT. THE MINIMUM BUILDING SILL AND BUILDING OPENING ELEVATIONS FOR LOTS 1 THROUGH 10 AS HEREBY RECORDED ON THIS PLAN ARE AS FOLLOWS:
- | LOT NO. | SILL ELEV. | LOWEST BLDG. ELEV. | LOT NO. | SILL ELEV. | LOWEST BLDG. ELEV. |
|---------|------------|--------------------|---------|------------|--------------------|
| 1 | 105.0 | 103.5 | 6 | 102.0 | 100.5 |
| 2 | 106.5 | 105.0 | 7 | 102.5 | 101.0 |
| 3 | 106.5 | 105.0 | 8 | 103.0 | 101.5 |
| 4 | 104.5 | 103.0 | 9 | 103.5 | 102.0 |
| 5 | 102.5 | 101.0 | 10 | 104.0 | 102.5 |
- PRIVATE DRAINAGE EASEMENTS: BUILDINGS, STRUCTURES, ACCESSORY STRUCTURES, RECORDING, FILING, EXCAVATING, STORAGE OR PLACEMENT OF ANY MATERIALS AND OBSTRUCTIONS OR SOIL OR VEGETATIVE DISTURBANCE WITHIN PRIVATE DRAINAGE EASEMENTS SHALL BE PROHIBITED, UNLESS APPROVED IN WRITING BY THE CITY OF PORTLAND UNDER SITE PLAN REVIEW. PLACEMENT OF FENCES AND LANDSCAPE SCREENING IS PERMITTED ALONG THE REAR PROPERTY LINE PROVIDED IT DOES NOT OBSTRUCT FLOW WITHIN THE EASEMENT. EACH INDIVIDUAL DEED FOR LOTS 1 - 10 WILL INCLUDE A REFERENCE TO THIS EASEMENT AND WILL BE RECORDED AT THE CORD.
 - LOT 1 CONTAINS WETLANDS WHICH ARE SUBJECT TO FEDERAL AND STATE REGULATIONS. ANY DISTURBANCE OR FILLING SHOULD BE AVOIDED AND/OR MINIMIZED. IF TOTAL DISTURBANCE EXCEEDS 4,300 SF, A STATE AND FEDERAL PERMIT IS REQUIRED.

CURVE TABLE

CHORD	RADIUS	LENGTH	TANGENT	CHORD BEARING	DELTA
1	110.00'	82.73'	43.44'	80.81°	56°36'11"W

CENTERLINE LINE TABLE

LINE	LENGTH	BEARING
L1	70.09	S45°03'14"W
L2	2055.32	S89°09'11"W
L3	162.00	N00°50'49"W

EASEMENT 'A' LINE TABLE			EASEMENT 'B' LINE TABLE			EASEMENT 'E' LINE TABLE		
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
E43	15.00	S35°49'00"W	E46	15.00	S35°49'00"W	E49	99.00	N82°40'20"E
E44	271.00	N54°11'00"W	E47	510.00	N54°11'00"W	E50	174.00	S54°11'00"E
E45	22.55	N35°49'00"E	E48	15.00	N35°49'00"E	E51	20.00	N35°49'00"E
						E52	181.91	N54°11'00"W
						E53	85.55	S82°40'20"W
						E54	29.26	S39°32'54"W



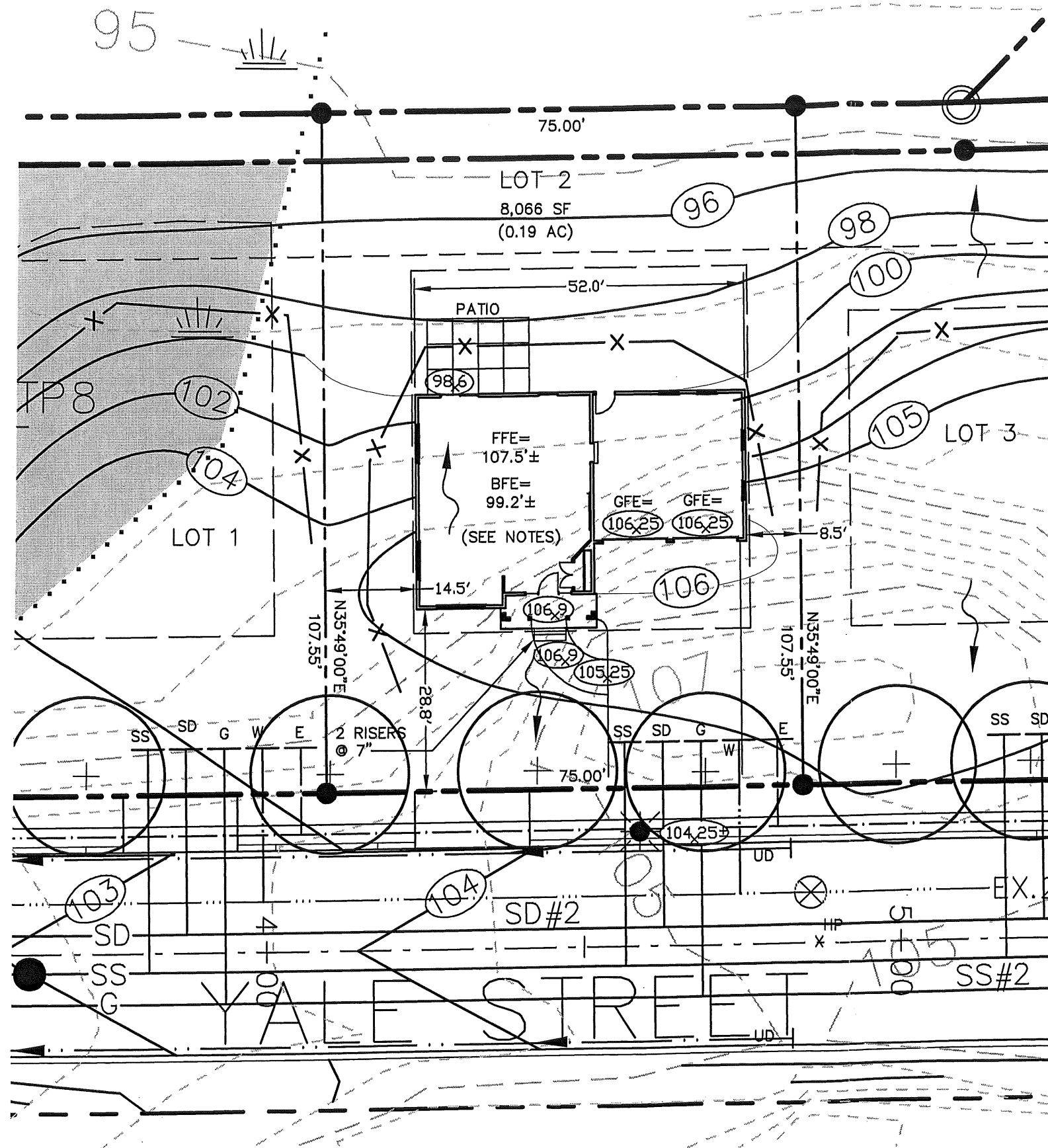
Date	Revision
11-19-02	ISSUE FOR FINAL REVIEW
12-20-02	FINAL REVISIONS
1-18-03	NO REVISIONS THIS SHEET

Designed SNC/FLC
 Drawn CAM
 Checked DAK
 Scale 1" = 40'
 Date 9-30-02

SUBDIVISION RECORDING PLAT
 (AMENDMENT TO "PLAN OF LOTS" AT UNIVERSITY PARK")

Job No. 4080
 Sheet 1 of 1

REFERENCE:



NOTES:

1. GRADING ON LOTS #1 & #3 IS CONCEPTUAL BASED ON SHEET C-9, GRADING, DRAINAGE & EROSION CONTROLS PLAN OF "YALE COURT PRUD SITE PLANS AND AMENDED SUBDIVISION PLAN OF LOTS AT UNIVERSITY PARK" AS APPROVED BY CITY OF PORTLAND.
2. DRIVEWAYS, UTILITY CONNECTIONS, LIGHT POLES, AND STREET TREES SHOWN ARE AS SHOWN ON SHEET C-9 OF APPROVED PLANS. NO AS-BUILT INFORMATION FOR THESE IMPROVEMENTS ON YALE STREET IS AVAILABLE.
3. BUILDING FOOTPRINT AND LAYOUT SHOWN IS BASED ON FLOOR PLAN PROVIDED BY OWNER.
4. SITE ADAPTATION FOR LOT 2 AS SHOWN ON THIS PLAN BY LAND USE CONSULTANTS IS BASED ON INFORMATION DESCRIBED IN NOTES #1 TO #3.
5. OWNER SHALL BE RESPONSIBLE FOR ALL LAYOUT AND FOR CONFORMANCE TO ZONING AND ALL APPROVED PLANS AND PERMITS.
6. EROSION CONTROLS SHALL BE INSTALLED BY CONTRACTOR PRIOR TO CONSTRUCTION, AS REQUIRED. EROSION CONTROLS SHOWN ARE CONCEPTUAL AND SHALL BE PLACED BASED ON ACTUAL FIELD CONDITIONS.

153 AA002

03 0894

~~Revised~~ Site Plan

engineers
planners
landscape
architects
966 RIVERSIDE STREET
PORTLAND, MAINE 04103
Voice (207) 878 - 3313
Fax (207) 878 - 0201
landuse@swi.net

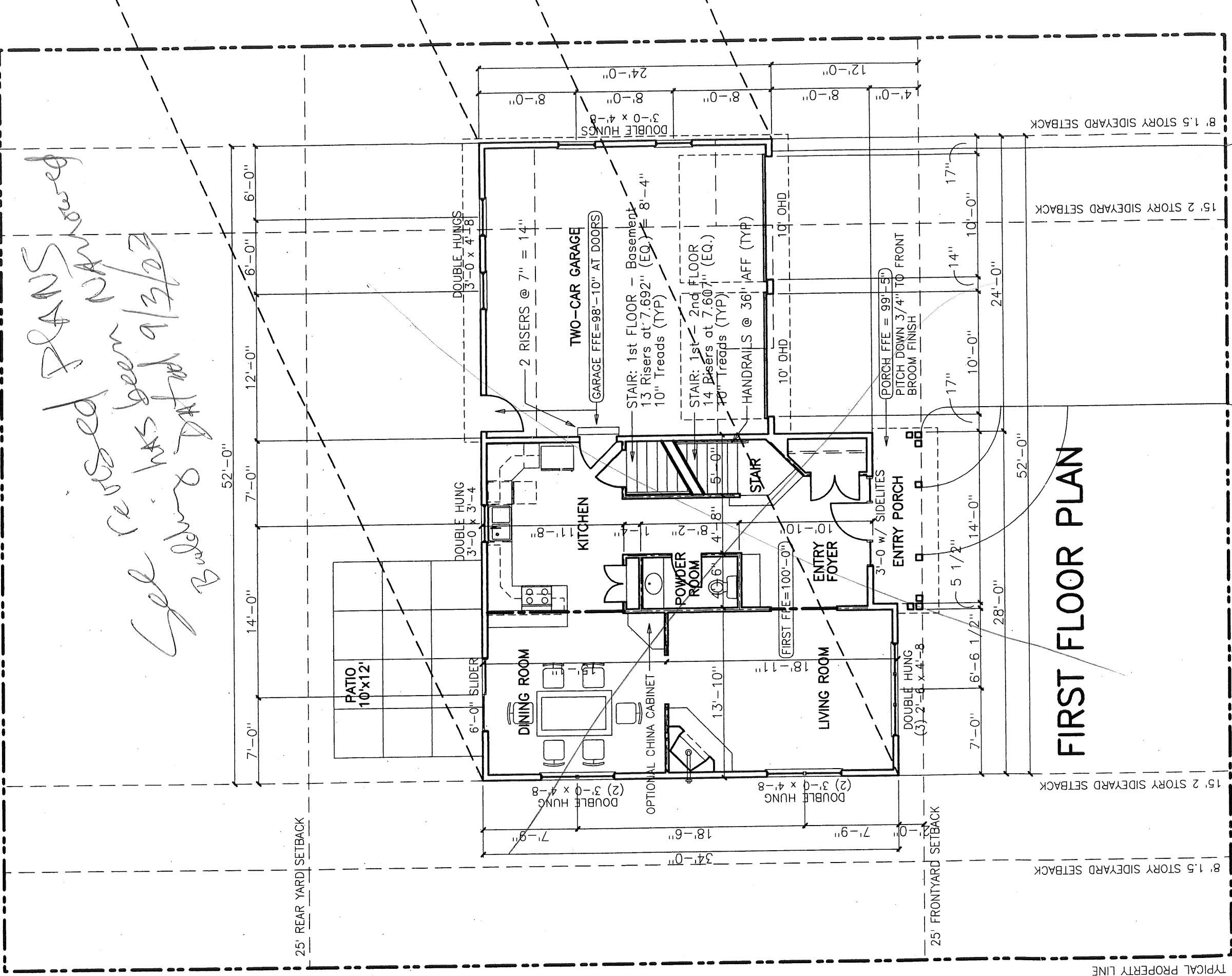


PREPARED FOR:
2003 YALE COURT PRUD
DEPT. OF BUILDING INSPECTION
YALE STREET STREET PORTLAND MAINE
REG-5 2003

TITLE:
LOT 2
BUILDING LAYOUT
CWS ARCHITECTS
SCALE: 1"=20'
DATE: 8-4-03
JOB #: 4080

LOT # University Park / 840 Harvard

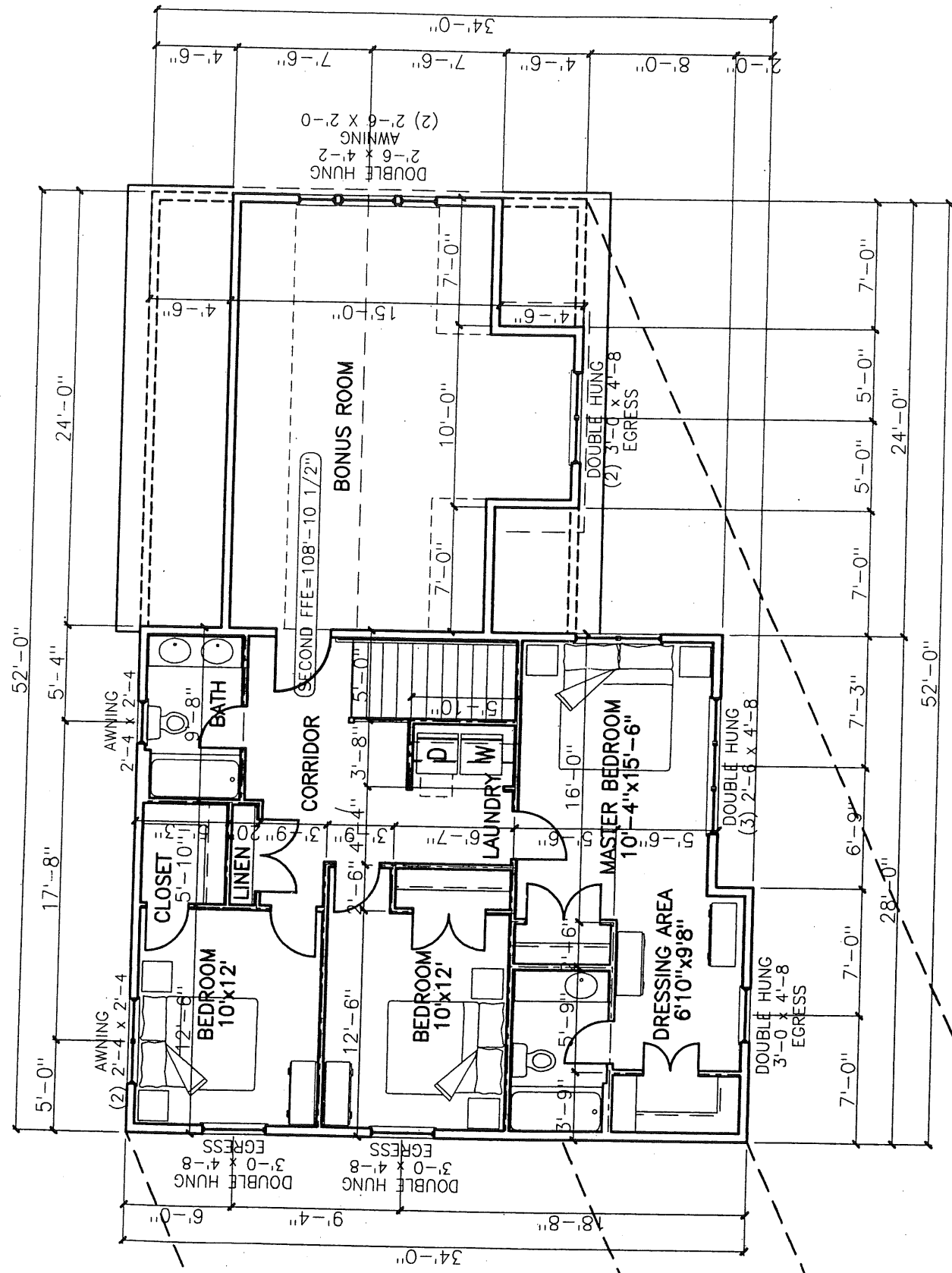
75'



See Revised Plans Building Detail 9/3/03

See Revised Plans Building Detail 9/3/03

FIRST FLOOR PLAN



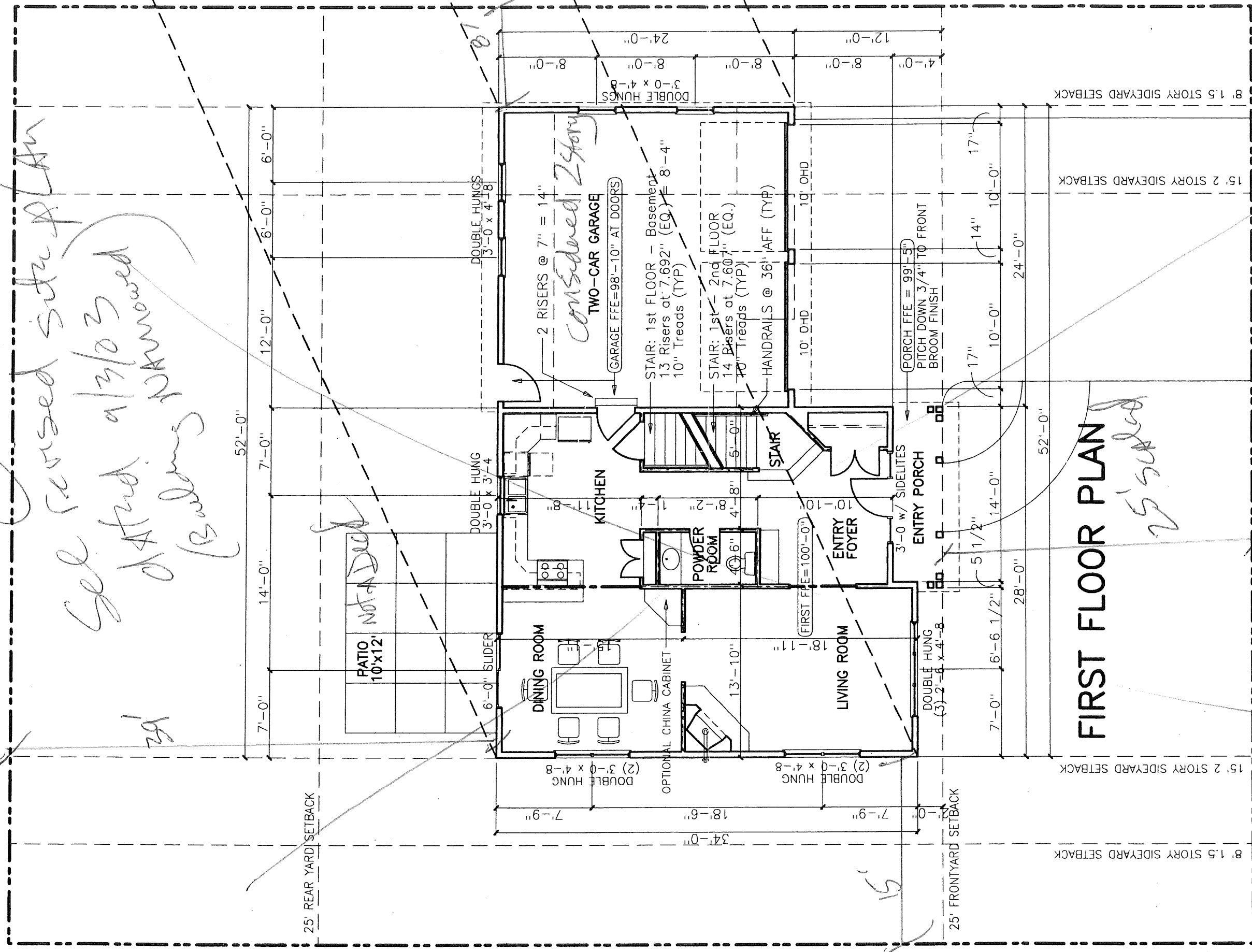
SECOND FLOOR PLAN

GENERAL NOTES:

1. ARCHITECTURAL DRAWING REPRESENTS THE DESIGN INTENT OF THE STRUCTURES FLOOR PLAN LAYOUT AND EXTERIOR BUILDING TREATMENT. DESIGN OF THE BUILDING'S DETAILED COMPONENTS, SUCH AS CASEWORK, CABINETS, APPLIANCES, WINDOWS, DOORS, HARDWARE, AND FINISHES ETC. IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
2. SEE STRUCTURAL DRAWINGS AND GENERAL NOTES BY L&L STRUCTURAL ENGINEERING FOR ALL FOUNDATION AND FRAMING CONSTRUCTION, DETAILS FLOOR TO FLOOR HEIGHTS & BEARING PLATE HEIGHTS.
3. PROVIDE AT LEAST ONE EGRESS WINDOW AT ALL BEDROOMS.
4. GENERAL CONTRACTOR TO VERIFY COMPLIANCE OF ALL BUILDING'S COMPONENTS WITH ALL APPLICABLE BUILDING CODES.
5. GENERAL CONTRACTOR TO REVIEW COMPLIANCE OF BUILDING DESIGN WITH THE LOCAL CODE ENFORCEMENT OFFICER FOR COMPLIANCE WITH ALL APPLICABLE ZONING REQUIREMENTS.
6. ALL SITE WORK DESIGN UTILITY CONNECTION BY THE GENERAL CONTRACTOR.
7. EXTERIOR ELEVATIONS SHOWN SCHEMATICALLY. COORDINATE EXTERIOR GRADES AT PORCH SLABS AND GARAGE ENTRIES BASED ON STRUCTURAL DRAWINGS.
8. GENERAL CONTRACTOR TO CONFIRM CONFORMANCE OF DESIGN WITH THE PERMITTING AUTHORITY PRIOR TO CONSTRUCTION. REVIEW PROPOSED REVISIONS AND MODIFICATIONS WITH ARCHITECT.

75'

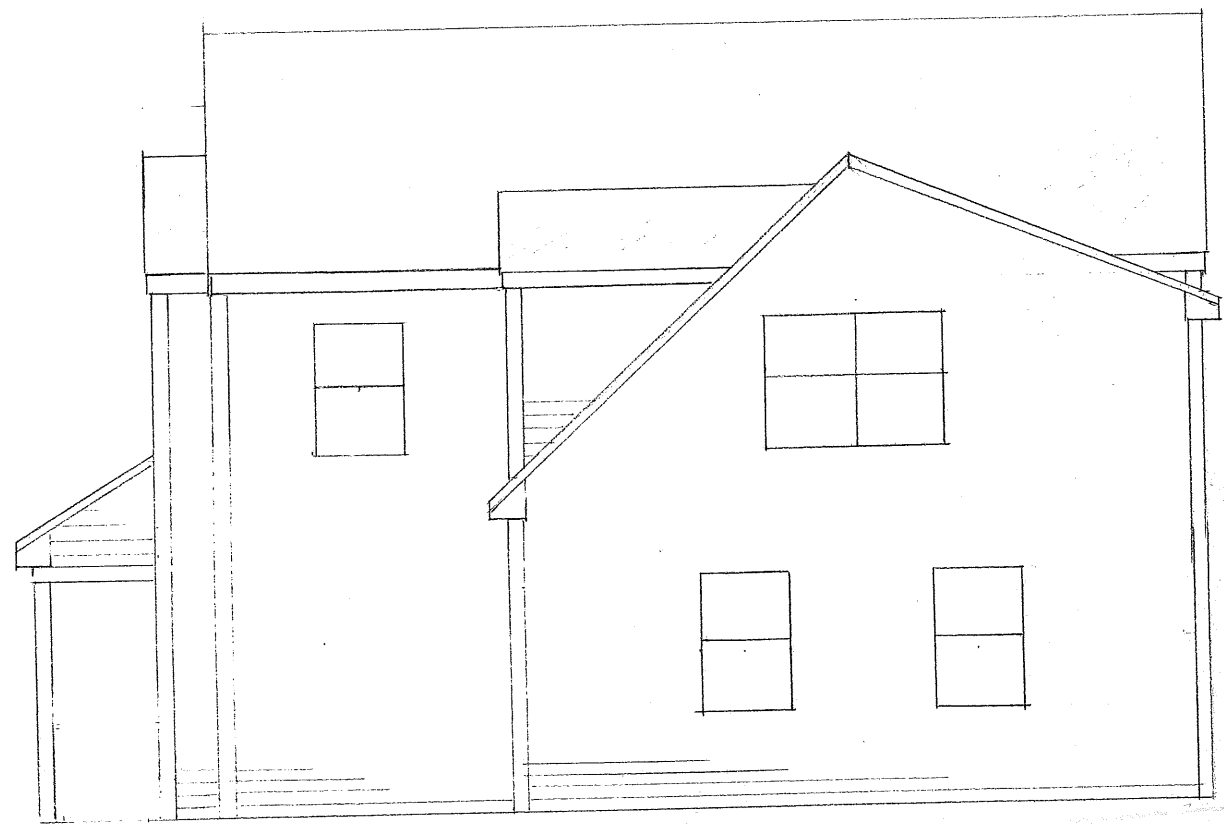
See revised site plan dated 1/3/03
patio expanded
landings



FIRST FLOOR PLAN

25' setback

SITE PLAN 1" = 1/8"



RIGHT ELEVATION $\frac{1}{4}'' = 1'-0''$

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
SEP 8 2003
RECEIVED

CHRISTOPHER BALLARD INC
7 TERRA WAY
FALMOUTH, ME 04105



FRONT ELEVATION

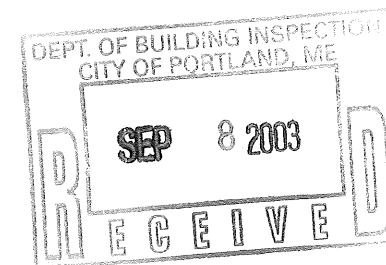
CHRISTOPHER BALLARD INC
7 TERRA WAY
FALMOUTH, ME 04105
1/4" = 1'-0"



Newest



LEFT ELAVATION



CHRISTOPHER BALLARD INC
7 TERRA WAY
FALMOUTH, ME 04105
1/4" = 1'-0"

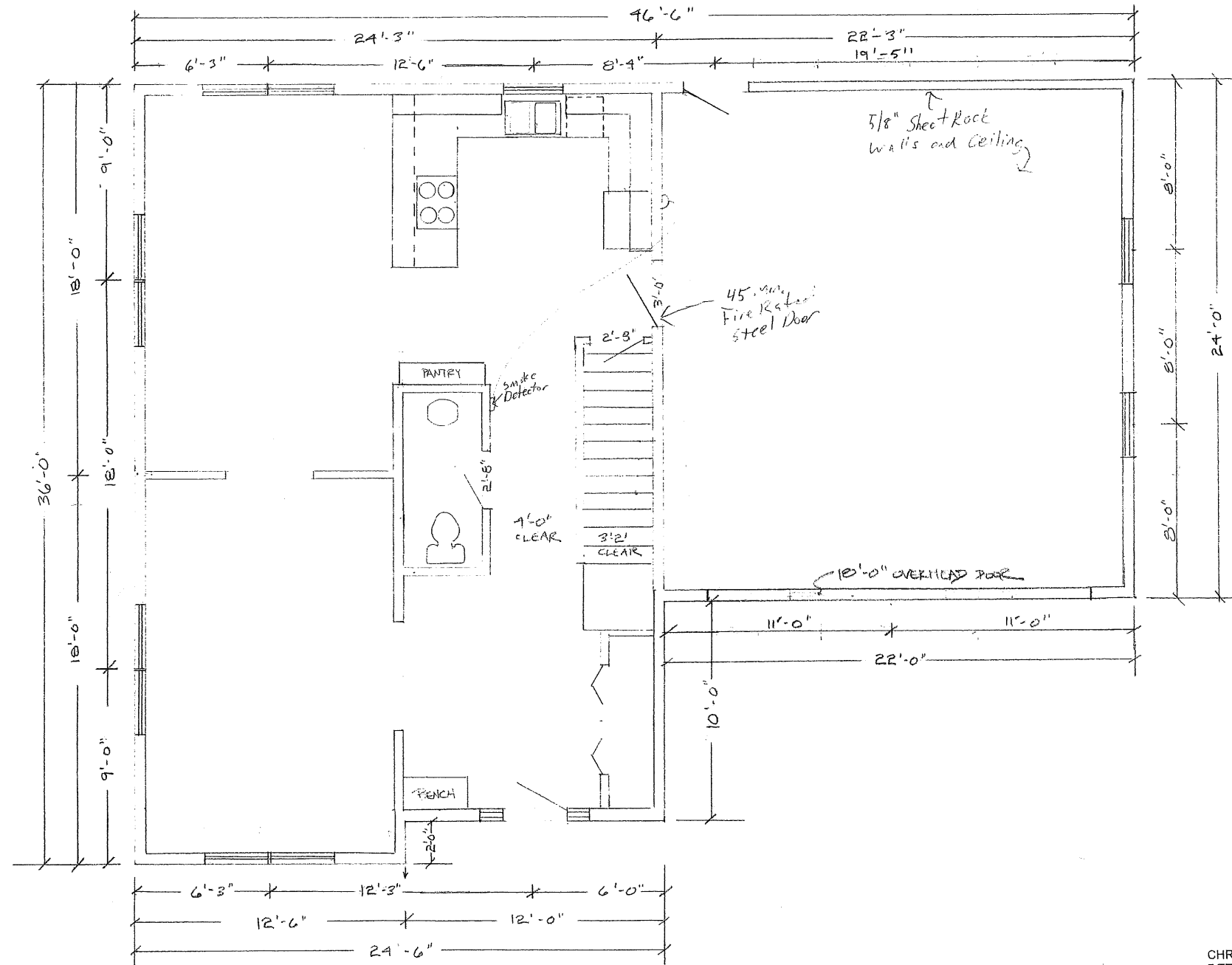


REAR ELEVATION
1/4" = 1'-0"

CHRISTOPHER BALLARD INC
7 TERRA WAY
FALMOUTH, ME 04105

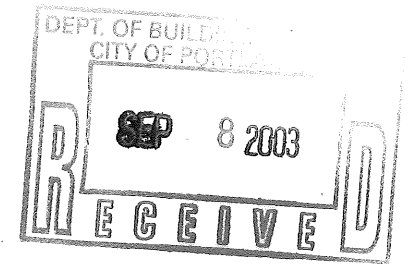
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
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CHRISTOPHER BALLARD INC
7 TERRA WAY
FALMOUTH, ME 04105



1ST FLOOR PLAN

1/4" = 1'-0"



CHRISTOPHER BALLARD INC
7 TERRA WAY
FALMOUTH, ME 04105